

CASE INFORMATION

CASE:	UDP-S23057
MEETING DATE:	November 28, 2023
REQUEST:	Site Plan Level II Review: Mixed Use Development Consisting of 257 Multifamily Units and 11,400 Square- Feet of Commercial Use in the Downtown Regional Activity Center
APPLICANT:	650 NORTH ANDREWS LLC
AGENT:	Stephanie Toothaker, Esq.
PROJECT NAME:	650 N Andrews
LOCATION:	Progresso 1-125 D Lots 1 Thru 10, Lots 40 Thru 47, 48,
ZONING DISTRICT:	Regional Activity Center – Urban Village District (RAC-UV)
LAND USE:	Downtown Regional Activity Center
CASE PLANNER:	Adam Schnell

Applicant REV 1 responses are bolded and dated December 12 2023
CITY REV 1 Comments

Applicant REV 2 responses are bolded and dated March 7, 2024
CITY REV 2 Comments

Applicant REV 3 responses are bolded and dated May 23, 2024
CITY REV 3 Comments

Applicant REV 4 responses are bolded and dated September 10, 2024
CITY REV 4 Comments

Applicant REV 5 responses are bolded and dated October 11, 2024

BUILDING - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
RESPONSE: Primary Occupancy: Residential R-2; Additional Classification: Business Group B
2. Show provisions for either open or closed interior parking per FBC 406.5 or 406.6.
RESPONSE: The proposed parking garage is enclosed and mechanically ventilated.
3. Specify height and area compliance per Chapter 5 of the 2020 FBC.
RESPONSE:
BUILDING HEIGHT AND NUMBER OF STORIES
Allowed: 180 feet, Provided: 175 feet Allowed: Unlimited, Provided: 14 stories
MEZZANINES AND EQUIPMENT PLATFORMS
Allowed: 1/3 of the floor area, Provided: 1/3 of the floor BUILDING AREA
Allowed: Unlimited, Provided: 469,680 SF
4. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2020 FBC.
RESPONSE: Please see response for Comment 3.
5. Provide building construction type designation per Chapter 6 of the 2020 FBC.
RESPONSE: Construction Type: 1-A
6. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
RESPONSE:
Primary Structural Frame: 2 Hours Floor Construction: 2 Hours
Roof Construction: 1 Hour
Open parking garage complying with section 406 not required to have Fire Resistance: 0 Hour Other Facades: 0 to 1 Hour depending on location.
7. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
RESPONSE: Acknowledged. Occupancy loads and life safety egress design will be provided in the future.
8. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC.
RESPONSE: Fire Sprinkler system to comply with all requirements in Section 903 of the 2020 FBC.
9. Designate Fair Housing Provisions per 2020 FBC Accessibility volume.
RESPONSE: Comply with Fair Housing Guidelines as per Florida Building Code 2020 – Accessibility.
10. Dimension accessibility requirements to site per FBC Accessibility Code
RESPONSE: Please refer to Sheet A-080.
11. Show that exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028.
RESPONSE: Stair #2 & Stair #3 discharge directly to the street while Stair #1 & Stair #4 discharge to the street through residential lobby. Please see site plan on Sheet A-080.
12. Provide accessible parking spaces in accordance with the Fair Housing ACT and the FBC Accessibility Volume.
RESPONSE: Please see accessible parking spaces on Sheet A-202 & A-203 for compliance with FHA and Florida Building Code 2020 – Accessibility.
13. Exterior exit door must be readily visible and identifiable from interior exit stairways terminating at a lobby per section 1028.1.1.1 of the 2020 FBC.
RESPONSE: The exit door paths to public way from Stair #1 & Stair #4 to the lobby are clear and obvious.
14. Show that the openings in the exterior walls adjacent to the south property line meet the requirements of Table 705.8 of the 2020 FBC.
RESPONSE: South podium wall is a blank façade, window openings on west and east towers are set back from the podium 30 feet and 37 feet.

DRC Comment Report: BUILDING
Member: Noel Zamora, P.E., S.I.
NZamora@fortlauderdale.gov
954-828-5536

15. Reference the Florida Building Code 7th edition on plan for the proposed development per section 101.2 of the 2020 FBC.

RESPONSE: Acknowledged

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
RESPONSE: Acknowledged.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
RESPONSE: Acknowledged.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

C. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COO_R_CH_14FLMA

RESPONSE: Acknowledged.

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

RESPONSE: Acknowledged.

ENGINEERING - Case Number: UDP-S23057

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide 9' Right-of-Way dedication or permanent Right-of-Way Easement along east side of N Andrews Avenue (coordinate with BCHCED), to complete half of 88' Right-of-Way section per the most current Broward County Trafficways Plan; show / label delineation in the plans. Clarify with BCHCED if Right-of-Way dedication (which may affect building setbacks) or Right-of-Way Easement (which doesn't affect building setbacks) will be required.
RESPONSE: 9' ROW easement is being provided to complete the required half 88' ROW for Andrews Ave. The easement will NOT be a dedication. Easement is shown on both the Site Plan and the Easement Exhibit (Sheet X1).
ENG RESPONSE (1/8/2024): Comment addressed.
2. Provide 5' permanent Right-of-Way Easement or dedication along south side of NE 7th Street, to complete half of 50' Right-of-Way section. Show / label delineation in the plans.
RESPONSE: A 5.0' ROW easement is being provided to complete the required half 25' ROW for NE 7th Street. The easement will NOT be a dedication. Easement is shown on both the Site Plan and the Easement Exhibit (Sheet X1).
ENG RESPONSE (1/8/2024): Comment addressed.
3. Provide permanent Sidewalk Easement as appropriate along east side of N Andrews Avenue to accommodate portion of pedestrian clear path (coordinate required width with BCHCED and TAM) that may be located beyond public Right-of-Way; show / label delineation in the plans.
RESPONSE: A 8' sidewalk is located within the 9' County easement, therefore no additional sidewalk easement is needed.
ENG RESPONSE (1/8/2024): Comment closed.
4. Provide permanent Sidewalk Easement as appropriate along the east side of Flagler Drive to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication; show / label delineation in the plans.
RESPONSE: A 2.0' sidewalk easement will be provided to the City. 5' of the required 7' clear sidewalk is located within the ROW. The sidewalk easement is indicated on the Easement Exhibit (Sheet X1) and will be added to the Site Plan.
ENG RESPONSE (1/8/2024): Comment addressed.
5. Provide permanent Sidewalk Easement as appropriate along the south side of NE 7th Street to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication; show / label delineation in the plans.
RESPONSE: A 5.5' sidewalk easement will be provided to the City. 1.5' of the required 7' clear sidewalk is located within the ROW. The sidewalk easement is indicated on the Easement Exhibit (Sheet X1) and will be added to the Site Plan.
ENG RESPONSE (1/8/2024): Comment addressed.
6. Provide 10' x 15' (min.) permanent water Easement for any 4 Inch or larger water meter located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
 - a. No above/below ground structures shall be located within the proposed easement.
RESPONSE: The easement has been adjusted to not overlap the building on the ground floor and over 14' of clearance is provided within the water easement where it is beneath the building. Refer to the revised Water and Sewer Plan, Sheet C3.
ENG RESPONSE (1/8/2024): Comment addressed.
7. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater,

stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.

- Q. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.

RESPONSE: The water & wastewater capacity request was submitted on Oct 26, 2023. The letter will be uploaded to LauderBuild once obtained.

REV1 COMMENT: Thank you. Please provide once obtained.

RESPONSE: A Water and Sewer Capacity Letter dated February 22, 2024 has been provided.

ENG RESPONSE (3/14/2024): Comment addressed. Conditions will be made.

- 8. The provided survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).

RESPONSE: The updated title survey is forthcoming and will be provided once obtained.

ENG RESPONSE (1/8/2024): Comment addressed.

- 9. Discuss status of existing encumbrances such as easements (including whether public or private) shown on ALTA / NSPS Land Title Survey: 15' Alley. Vacation of any platted Utility Easement or right of way would require a separate DRC submittal, DRC staff support, and City Commission approval.

RESPONSE: A separate easement vacation application has been submitted for the 15' Alley Vacated Per City of Fort Lauderdale Ordinance No. C-97-15 Per O.R. 26690, PG. 0282, B.C.R., Retained as Utility Easement (UDP-EV23010).

REV1 COMMENT: Pending.

RESPONSE: Please make this a condition to Final DRC to allow for CC Approval.

ENG RESPONSE (3/14/2024): Comment addressed. Conditions will be made.

- 10. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.

- Q. Sheet D1.1 does not call out existing light/utility poles.

RESPONSE: Refer to the Demolition Plan, Sheet D1, for removal of existing utilities including existing light/utility poles.

REV1 COMMENT: Provide relocation street light plan. City staff will review.

RESPONSE: All existing cobra head lights shall be relocated to new light poles nearby existing poles. Refer to the Site Plan, Sheet C0, for change in location.

ENG RESPONSE (3/14/2024): Comment addressed.

- 11. Proposed required on-site improvements (i.e. building, foundation, back flow preventer, fdc, clean out, doors, etc.) shall not be constructed within existing or proposed right of way/ dedications/ easements. If improvements are located within FDOT or Broward County right of way, provide correspondence indicating approval.

RESPONSE: This comment has been taken under advisement. Refer to Site Plan, Sheet C0, for setbacks. Refer to the Water and Sewer Plan, Sheet C3, for above and below ground utility locations.

ENG RESPONSE (1/8/2024): Comment addressed.

- 12. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.

- Q. Depict existing sidewalk adjacent to the development along N Andrews Avenue, Flagler Drive, NE 7th

Street, NE 1st Ave and how proposed sidewalk/ pedestrian path will transition into existing sidewalk.
RESPONSE: All proposed sidewalks will transition to the existing sidewalks adjacent to the site. The approximate location of the adjacent sidewalks have been added to the Engineering Sheets C0-C3.

ENG RESPONSE (1/8/2024): Comment addressed.

13. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47- 19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
- a. Sight triangles shall be depicted from the new permanent Right-of-Way Easement or dedication.
RESPONSE: There are NO dedications by Deed. Sight triangles are properly located along City right-of-way and Corner Chord properly reflected on County right-of-way. Refer to the Engineering Plans, Sheet C0-C3.
REV1 COMMENT: Sight triangles shall also be depicted on Sheet L-210.
RESPONSE: Sight triangles have been added to Sheet L-210.
ENG RESPONSE (3/14/2024): Comment addressed.
14. Clearly depict trash enclosure on site plan.
- a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
RESPONSE: There are no required loading zones; however, truck turning movements have been added to the plan set (Sheet X5.2).
ENG RESPONSE (1/8/2024): Comment addressed.
- b. Ensure sufficient height clearance is provided within the garage for truck access.] **RESPONSE: The proposed height clearance is 19'-2" which is sufficient for truck access.**
ENG RESPONSE (1/8/2024): Comment addressed.
15. (Building Elevations): Show and label existing Right-of-Way, proposed Right-of-Way and/or Easement boundaries, and horizontal building clearances on all building elevation / section details, as appropriate. Label vertical clearance above public access sidewalks along N Andrews Avenue, Flagler Drive, NE 7th Street, NE 1st Ave.
RESPONSE: Please see labels of existing Right-of-Way and vertical clearances on all building elevations on Sheet A-501 to Sheet A-504.
ENG RESPONSE (1/8/2024): Comment addressed.
16. Provide and label typical roadway cross-sections for the proposed development side of N Andrews Avenue, Flagler Drive, NE 7th Street, NE 1st Ave: at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show existing right of way and proposed right of way and/or easement boundaries.
RESPONSE: Cross-sections have been added to Sheet C2.
REV1 COMMENT: Elevations at the property line along NE 7th Street shall match the crown of road elevations.
RESPONSE: The plaza area has been revised to add steps/ramps so that grades at back of sidewalk along NE 7th Street are closer to the crown of road elevations. Refer to the revised Paving, Grading, and Drainage Plan, Sheet C2.
REV2 COMMENT: Cross section C-C shall be updated to show the new steps/ramps along with the proposed spot elevations.
RESPONSE: Refer to revised cross section C-C on Sheet C2 showing steps.

ENG RESPONSE (6/25/2024): Comment addressed.

17. Per ULDR Section 47-20.17, show and label on Site Plan the Vehicle Reservoir Spaces (VRS) required for the proposed development – a minimum 10' x 20' area for each vehicle to be accommodated for the temporary stopping of a vehicle awaiting service, which shall be located in an area within a parking facility which is not used for any other vehicular use such as access, parking, site circulation or loading. Each VRS shall be in a location that does not conflict or interfere with other traffic entering, using or leaving the site; design configuration shall be such that there shall be no backing into the street permitted. Clarify whether the proposed parking is 100% valet or not. Depict information on site plan data table/ plans accordingly.

RESPONSE: N/A. Valet parking is not being provided at this time. Note has been added to the Site Plan Sheet.

REV1 COMMENT: Unable to locate the note on Sheet C0.1.

RESPONSE: Note has been added to the Site Plan Sheet (C0.1)

ENG RESPONSE (3/14/2024): Comment addressed.

18. Study possibility of reducing proposed Drive Aisle areas within proposed development as much as practical, especially where not adjacent to 90-degree parking stalls.

RESPONSE: Review of drive aisle width was performed and deemed adequate.

ENG RESPONSE (1/8/2024): Comment addressed.

19. For surface or ground-level parking lot layout:

- Q. "DO NOT ENTER" signs shall be placed at the southern end of the one-way drive/drop off isle.
RESPONSE: See updated Pavement Marking and Signage Plan, Sheet C1, for Do Not Enter Signs.

REV1 COMMENT: Comment not addressed.

RESPONSE: "Do Not Enter Sign" has been added to The Pavement Marking and Signage Plan, Sheet C1, and all appropriate plan Sheets.

ENG RESPONSE (3/14/2024): Comment addressed.

20. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite ((include typical cross-sections along all property lines as appropriate, and how the proposed project improvements (i.e. on-street parking, sidewalks, etc.) will not adversely impact the adjacent Right-of- Way and properties.

- Q. Proposed public sidewalks shall not be higher than the existing crown of road elevations.

RESPONSE: Sidewalk has been kept at crown of road elevation where applicable. Refer to paving, grading and drainage plan, Sheet C2, for grading.

REV1 COMMENT: Elevations at the property line along NE 7th Street shall match the crown of road elevations.

RESPONSE: The plaza area has been revised to add steps/ramps so that grades at back of sidewalk along NE 7th Street are closer to the crown of road elevations. Refer to the revised Paving, Grading, and Drainage Plan, Sheet C2.

ENG RESPONSE (3/14/2024): Comment addressed.

21. Please provide reasonable assurances that the drainage system will be able to be effectively operated and maintained. Response shall include the following at a minimum:

- Q. Provide plans demonstrating how will the drainage structures will be accessible by equipment required to maintain the system and or replaced the system in the event of failure.

RESPONSE: The height of the garage is 20' and therefore there are no issues with the equipment required to service the equipment. Refer to the attached General Drainage Maintenance Procedure plan. A letter from the Structural Engineer will be provided stating that the building foundations will be unaffected by the replacement of drainage pipes and trenches.

ENG RESPONSE (1/8/2024): Comment addressed.

22. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict, (per City Utility Atlas Maps). A min. 5 feet and 10 feet horizontal clearance horizontal

separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.

RESPONSE: See updated plans.

REV1 COMMENT: Provide dimensions to proposed drainage along NE 7th Street. Large street trees along NE 7th Street and NE 1st Avenue require 10ft minimum separation from utilities.

RESPONSE: See updated plan Sheets to provide 10' min or root barrier.

REV2 COMMENT: Comment not addressed. Sheet L-210 is missing dimensions from proposed utilities. Provide dimensions to proposed drainage along NE 7th Street. Large street trees along NE 7th Street and NE 1st Avenue require 10ft minimum separation from utilities.

RESPONSE: Added dimensions from the trees to the utilities. 8'-0". We are also providing a root barrier at the back of the proposed curb.

ENG RESPONSE (6/25/2024): Comment addressed.

23. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.

RESPONSE: Acknowledged and complied.

REV1 COMMENT: Provide additional dimensions.

RESPONSE: See updated LA Sheets with additional dimension.

ENG RESPONSE (6/25/2024): Comment addressed.

24. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements. Perpetual maintenance of newly constructed exfiltration trenches, inlets, etc. within adjacent City Right-of-Way will typically revert back to the City, upon successful inspection/acceptance by Public Works after 1-year warranty period.

- . Maintenance area shall extend from the proposed right of way/ dedications/ easements to the edge of pavement.

RESPONSE: Comment Acknowledged. See Sheet X3 for the Maintenance Agreement Exhibit.

REV1 COMMENT: Areas shall include the ROW easement areas.

RESPONSE: The ROW easements are Via Easement and not via deed. Therefore, the property owner's responsibility.

REV2 COMMENT: Provide additional dimensions on Sheet X3

RESPONSE: Added dimensions on Sheet X3.

ENG RESPONSE (3/14/2024): Comment addressed.

25. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee and approved by the City's Commission, prior to Right-of-Way permit issuance by the Development Service Department for Maintenance of Traffic.

RESPONSE: Comment acknowledged.

ENG RESPONSE (1/8/2024): Comment closed.

Prior to submitting Property in Right-of-Way application to request Revocable License Agreement, please contact Daniel Rey at 954-828-4653 or drey@fortlauderdale.gov to discuss proposed scope of closure within City Right-of-Way. For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.

RESPONSE: Should road or sidewalk closures be required for construction staging, a Revocable License

Agreement shall be submitted.

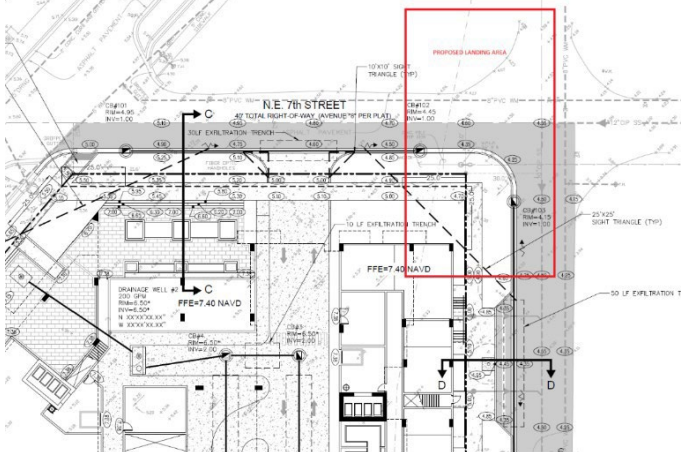
ENG RESPONSE (1/8/2024): Comment closed.

26. **NEW COMMENT:** Curb ramp at the intersection of NE 7th Street and NE 1st Avenue shall be eliminated to avoid directing pedestrians into an intersection with no landing on the opposing side. Landscaping buffer shall wrap the corner. Please revise sidewalk layout and update all necessary plans.

RESPONSE: Refer to revised civil plans (Sheets C0-C3) and landscape plans showing removal of concrete area and added landscape at SW corner of NE 7th Street & NE 1st Avenue.

ENG RESPONSE (6/25/2024): In coordinating with the Traffic Engineer the city is requesting that a curb ramp at the southwest corner of NE 7th Street and NE 1st Avenue be installed as well as a curb ramp at the northwest corner of NE 7th Street and NE 1st Avenue for pedestrian accessibility. All plans shall be updated accordingly.

APPLICANT REV 4 RESPONSE: Two curb ramps have been added at the NE corner of the site, shown below. Landings have been provided in the right-of-way opposite of the new ramps as requested by the City. Refer to the Paving, Grading, and Drainage Plan, Sheet C2 for details.



Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.

1. **NEW COMMENT:** Along N Andrews Avenue, Broward County is requesting a 9ft right of way dedication. The shown 30' corner chord triangle shall be adjusted to the new property line which will affect the building/site layout.

Applicant REV 5 Response: It has been determined by the County that the 9 foot Right-of-Way will be via easement and not by deed (dedication). It also has been determined that the 30' Corner Chord was drawn correctly as shown on the previous plans.

However, in order to avoid any potential conflicts in the future, the building has been adjusted. See updated architectural, civil and landscape plans.

2. **NEW COMMENT:** The maintenance areas on both City and Broward County need to include the dedicated areas.

Applicant REV 5 Response: The maintenance areas have been updated to include the County easement areas

FIRE - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following:

1. Building needs to conform to section 403 for high rise.
RESPONSE: Acknowledged.
2. The fire command room must be provided at a street side location with one door leading directly to the outside.
Must be at a minimum of 200 sq. ft.
RESPONSE: Please see the updated location of fire command room on Sheet A-080.

GENERAL COMMENTS

The following comments are for informational purposes before final DRC sign-off.

**Florida Fire Prevention Code (FFPC) - NFPA 1 Chapter 15 Fire Department Service
Delivery Concurrency Evaluation**

15.1 Application.

15.1.1 The AHJ shall be permitted to require a proposed development in the jurisdiction undergo a fire department service delivery concurrency evaluation.

15.1.1.1 Proposed developments that would increase the fire department's service population by less than 1 percent or increase the fire department's total protected building square footage by less than 1 percent shall not be subject to a fire department service delivery concurrency evaluation.

Minimum thresholds that require an evaluation are as follows:

Larger than 1% increase of the City's service population equals any new building with a human capacity of 1856 persons or greater.

Larger than 1% increase in Fire Dept. protected building square footage that equals or is greater than more than 1,132,903 sq. ft.

Note: It only requires one requirement to be a mandatory and must be submitted before a building permit is applied for.
RESPONSE: Acknowledged.

Floodplain Management - Case Number: UDP-S23057

CASE COMMENTS:

Please see comments below. Additional comments may be forthcoming once this requested information is submitted on resubmittal for mixed use development.

1. Please be aware that at the time of building permit application you will be required to use the FEMA Flood Insurance Rate Map in effect at that time. If your plans are being designed to the 2014 FIRM Flood Insurance Rate Maps and when you make application for a building permit, you will use the Flood Insurance Rate Maps in effect at that time. Flood zones may also change, and applicants will be required to meet the Base Flood Elevation (BFE) + 1 'freeboard' = FFE of that particular flood zone in effect at time of building permit application. This is why the preliminary flood zone information has also been provided to you. See link: <https://gis.fortlauderdale.gov/2020prelimFEMAFloodMaps/>
RESPONSE: Acknowledged
2. The Base Flood Elevation currently is (X500) and (AH, BFE 6' NAVD 88) under the 2014 FIRM. The preliminary flood maps show (Panel 369J, AE), (BFE 6')
RESPONSE: Acknowledged.
3. Show the Finish floor elevation on the following Sheets (site plans A-080), (Sheet A201), (Sheet C01), (Sheet A-008), (Sheet A-504), (Sheet A-501, A- 502, A- 503.A-504)
RESPONSE: Finish floor elevations have been added on all floor plans and elevations and section, please see Sheet A-080, Sheet A201, Sheet A-008, Sheet A-501, Sheet A-502, Sheet A- 503, and Sheet A-504.
REV1 Comment: Show the Finish floor elevation on the following Sheets (site plans A-080), (Sheet A201), (Sheet C01), (Sheet A-008), (Sheet A-504), (Sheet A-501, A- 502, A- 503.A- 504).
RESPONSE: Finish floor elevation of 7.40NAVD has been added on the following Sheets (site plans A-080), (Sheet A201), (Sheet C0 & C2), (Sheet A-008), (Sheet A-501, A- 502, A- 503.A-504).
4. If any area is below 7' NAVD 88 than Floodproofing will be required. But at the present time the plans need to show all finished floor elevations and area that are below BFE + 1'. **RESPONSE: Finish floor elevations have been added on all floor plans and elevations and section, please see Sheet A-080, Sheet A201, Sheet A-008, Sheet A-501, Sheet A-502, Sheet A- 503, and Sheet A-504.**
REV1 Comment: If any area is below 7' NAVD 88 than Floodproofing will be required. But at the present time the plans need to show all finished floor elevations and area that are below BFE + 1'.
RESPONSE: Lowest build indoor finish floor elevation is 7.4' NAVD. FFE for exterior driveway on the ground floor is at 6.5' NAVD. Please refer to Sheet A-080 for all FFE.
5. Show the Finish Floor Elevations of all rooms below 7' NAVD (Sheet C0 1) show the FFE of (FPL Vault Room), (Electric Room), (Fire Pump Room),(Generator Room.)
RESPONSE: Finish floor elevation of 7.40NAVD has been added on the following Sheets (site plans A-080), (Sheet A201), (Sheet C0 & C2), (Sheet A-008), (Sheet A-501, A- 502, A- 503.A-504).

References

(Code of Ordinances, Chapter 14),

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

FEMA Elevator Installation (see link to FEMA technical Bulletin 4) see link below:

- A) Elevate all equipment above (BFE + 1')
- B) Cloud on plans that a (float switch) will be installed.
- C) Link provided.

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Florida Building Code (7th edition) Flood Resistant Provision
https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf

City of Fort Lauderdale Flood Ordinance

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA) (Section 2.7 enclosures below

DRC Comment Report: FLOODPLAIN MANAGEMENT

Member: Viola Cameron
Vcameron@fortlauderdale.gov
954-828-5269

design flood elevation), (section 6.0 floodproofing). Section 7.0 utilities & equipment, (section 7.5 elevators)
<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=>

DRC Comment Report: LANDSCAPE

Member: Karl D. Lauridsen
klauridsen@fortlauderdale.gov
954-828-7106

LANDSCAPE - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following.

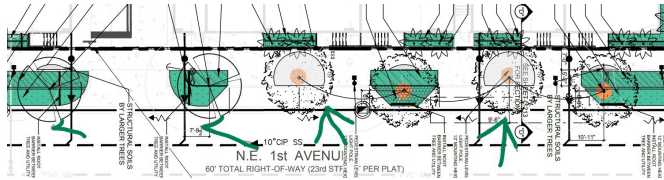
1. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones of high, medium, and low on a plan, and include calculations in table.
RESPONSE: See updated planting plan Sheet and additional Sheet showing the hydrozones.
REV1 COMMENT: Comment not fully answered Sheet depicts shrub zone, turf zone and tree bubbler with no calculation of area use. Please illustrate hydrozones of high, medium, and low water use on a plan, and include their calculated area of use.
RESPONSE: Legend for the hydrozones has been updated to include high, medium, and low water use. Also, the total square footage of each area has been indicated on the legend as well.
2. Please provide an overlay Sheet demonstrating the calculated landscape areas that supports the square footage in site area calculation list on landscape Sheet L-210. **RESPONSE: See requested overlay Sheet indicating the calculated landscape areas from Sheet L-210.**
3. Please have a certified ISA Arborist provide the information as to the existing trees including the condition ratings that will be required for mitigation purposes. Please provide mitigation in equivalent replacement and in equivalent value. Please indicate how the mitigation will be provided on Landscape plans. Here is a link to a city web page to help with calculations. mitigation
<https://www.fortlauderdale.gov/home/showpublisheddocument/67614/637889169624700000> **RESPONSE: Arborist report was submitted previously, see attached. Also, the tree disposition plan does show the required mitigation calculations and replacements.** REV1 COMMENT: Previous Arborist report was only in relation to specimen size trees. The tree disposition Sheet is incomplete and mitigation values have not been provided. **RESPONSE: Tree Disposition plan has been updated to show both tree and palm mitigation calculations.**
4. 16inch water main along North Andrews AVE is located so as not to create a conflict with shade trees being utilized as the street tree. Please propose Live Oak trees at 20-22 feet overall suggested height as to the Design Guidelines on 30 feet centers.
RESPONSE: Revised layout frontage along N. Andrews to comply with this comment. Added Live Oaks along streetscape.
5. Design Guidelines call for the palms at the corners of the road intersections. At Andrews and Flagler, Flagler and NE 7th Street appear to have room beyond the public realm of the sidewalk to form cluster of palms, NE 7th Street and NE 1st AVE also require palms identifying the intersection corner.
RESPONSE: Updated planting plan by providing palms at corners/intersections per design guidelines.
6. Trees adjacent to the public realm of the sidewalk would require a minimum canopy height at time of installation at 7 feet. Please provide trees with a 60% canopy to 40% trunk ratio preferred 50% to 50% acceptable. The Pink Tabebuia and Spanish Stopper trees are adjacent to the sidewalk and will require the canopy clearance.
RESPONSE: Updated the plant schedule so that the trees meet these minimum standards.

7. Previously the Mayor had asked that there be streets of distinction with the use of the streetscape. The use of *Peltophorum pterocarpum* (Yellow Poinciana) NE 1st Street is one of those streets of distinction. As per Design Guidelines please provide a Yellow Poinciana in the 5 feet landscape strip between the public realm of the sidewalk and the on-street parking stalls. The Department would support the Yellow Poinciana trees on the north and south sides of the ingress egress driveway.

RESPONSE: Updated planting per comment. Added the Yellow Poinciana trees along the streetscape of NE 1st Ave.

REV1 COMMENT: While the Department does support the *Peltophorum* trees flanking the driveway, the follow through design concept is to have the Yellow Poinciana adjacent to the parking stalls within the 5 feet planting strip. This design concept is to continue as other developments will be or already have been providing the Yellow Poinciana trees within this location. Please switch out the two Oak trees for the Yellow Poinciana trees adjacent to the parking stalls within the five feet planting strip.

RESPONSE: Updated the landscape plan per this comment, added two more yellow poinciana trees as directed by this comment.



8. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities. Proposed utilities along NE 7th Street and NE 1st AVE create a conflict for shade tree street trees to be utilized. Please design utilities so as not to create conflict for the use of shade trees as street trees.

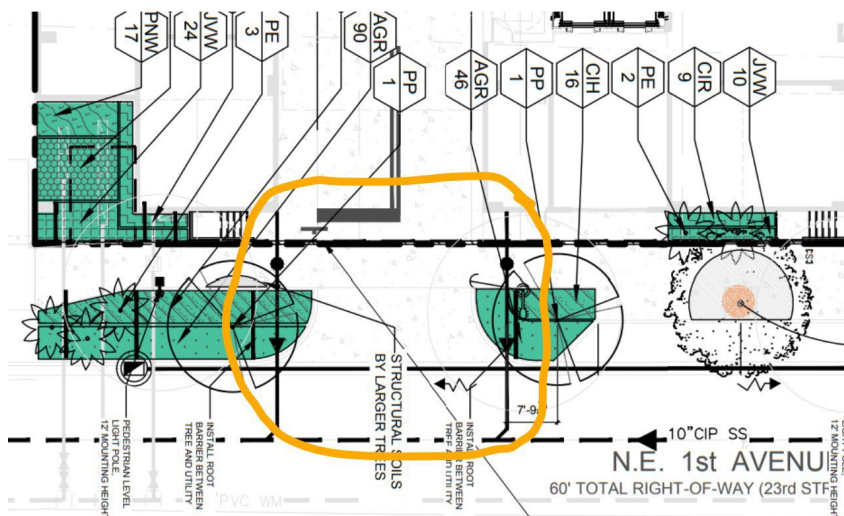
RESPONSE: Revised layout of plan per updated civil. Landscape plan does not conflict with any utilities.

REV1 COMMENT: Proposed utilities are located in conflict with offset requirements with the street trees.

Please redesign the proposed utilities so as not to be in conflict with required streetscape.

RESPONSE: Both the civil utilities and the landscape plans have been updated to resolve the conflicts.

REV2 COMMENT: please shift these two underground utilities out of the landscape area to allow placement of the street tree in bulb-out and stabilizing root growth.



RESPONSE: Underground utilities have been shifted.

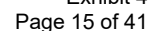
- RESPONSE: Added dimensional labels to the plan where trees are in close proximity of underground utilities. Added root barrier notes and labels for trees that are deemed too close.

RESPONSE: Labelled the offset distances dimensioned from the updated utilities. See updated LA Sheet (L-210) w/ the horizontal clearance from tree trunk to edge of utility.

RESPONSE: Civil utilities have been shifted. Added new dimensions to the plan from the shifted utilities.

- RESPONSE:** Adjusted the layout of the light poles to comply this requirement. Refer to the updated landscape plan.

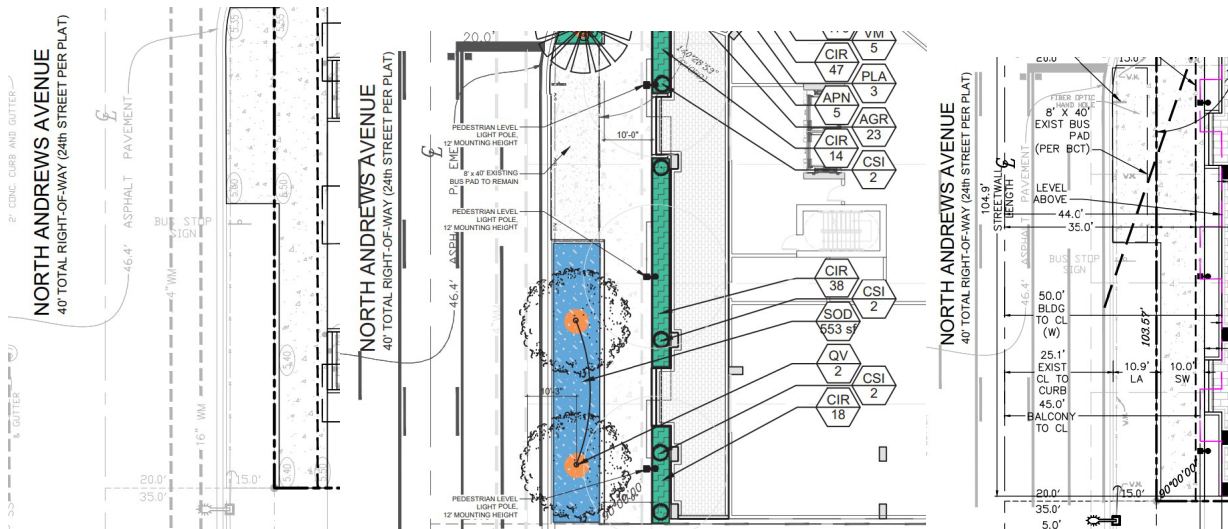
RESPONSE: Existing Cobra Head Street Light Pole along NE 1st Avenue is going to be relocated further north along street. The existing Cobra Head Street Light Pole located at the intersection of NE 7th Street and NE 1st Avenue will be relocated to a close location, see revised Site Plan Sheet C0.1.



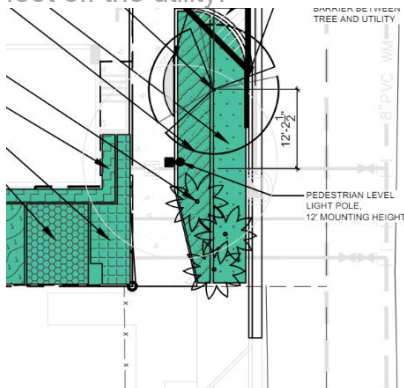
DRC Comment Report: LANDSCAPE

Member: Karl D. Lauridsen
klauridsen@fortlauderdale.gov
954-828-7106

11. Additional comments may be forthcoming after next review of new plans and written comment responses.
REV1 COMMENT: Please indicate extent of use of the CU Structural Soil on Landscape, Civil, and Site plans.
RESPONSE: The Structural Soil has been added to the Site Plan (Sheet C0.1), Civil Plans (Sheets C2-C3), and Landscape Plan.
REV2 COMMENT: Please include the areas of the Oak trees along N. Andrews AVE. on Landscape, Civil, and Site plan.
RESPONSE: Added label and note for the structural soil for the oak trees along N. Andrews Ave.



12. **REV 3 LANDSCAPE COMMENT:** The palms located within the streetscape at the south end of NE 1st AVE, please show the measured dimension from face of the utility to the face of the palm with root-barrier. In this particular situation this species of palm needs a minimum 3 feet from the utility and root-barriers 1 foot off the utility.



APPLICANT REV 4 RESPONSE: Refer to revised Landscape sheet.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

13. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
RESPONSE: Noted and will comply. The general contractor will have to apply for this permit when necessary.
14. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.
RESPONSE: Acknowledged and will comply when submitting the building permit.
15. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
RESPONSE: Acknowledged and will comply.
16. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
RESPONSE: Acknowledged.
17. Approval from jurisdiction for landscape installation in Right Of Way preferred prior to final DRC sign off but may be provided at time of permit submittal. If jurisdiction approval is obtained after DRC final sign off and the plans require any change, Administrative Review will be required prior to permit review.
RESPONSE: Acknowledged and will comply.

Police - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole.
RESPONSE: Acknowledged.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180-degree peephole or view port for security.
RESPONSE: Acknowledged.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
RESPONSE: Acknowledged.
4. All glazing should be impact resistant.
RESPONSE: Acknowledged.
5. Units should be pre-wired for an alarm system.
RESPONSE: Acknowledged.
6. Lighting and landscaping should follow CPTED guidelines.
RESPONSE: Acknowledged.
7. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
RESPONSE: Acknowledged.
8. Pool areas should be equipped with a child proof access control feature to prevent unsupervised children access to the pool.
RESPONSE: Acknowledged.
9. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, elevators, parking garage, hallways and common areas. It should be capable of retrieving an identifiable image of a person.
RESPONSE: Acknowledged.
10. Emergency communication devices should be placed in the parking garage, pool and common areas. These should be easily identifiable and accessible.
RESPONSE: Acknowledged.
11. Light reflecting paint should be used in parking garage to increase visibility and safety.
RESPONSE: Acknowledged.
12. All restricted areas and resident only areas should be access controlled and labelled as such.
RESPONSE: Acknowledged.
13. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
RESPONSE: Acknowledged.
14. Parking garage should have access control separating private residential parking from public access parking. The parking garage entry should be equipped with high-speed gates or crossbars, or in ground spikes to prevent unauthorized intrusion or "piggy-backing".
RESPONSE: Acknowledged.
15. There should be a secure valet key management system for the vehicles on site.
RESPONSE: Acknowledged.

DRC Comment Report: POLICE
Member: Detective Jody Weymouth
dweymouth@fortlauderdale.gov
954-828-4239

16. Office and storefront doors and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.
RESPONSE: Acknowledged.
17. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders.
RESPONSE: Acknowledged.
18. Due to the size and scope of the development, full-time security should be employed.
RESPONSE: Acknowledged.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction. Please submit responses in writing prior to DRC sign off.

DRC Comment Report: SOLID WASTE

Member: George Woolweaver
GWoolweaver@fortlauderdale.gov
954-828-5371

SOLID WASTE - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
RESPONSE: Service are provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
RESPONSE: Acknowledged.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
RESPONSE: Private contractor shall be utilized.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
RESPONSE: Acknowledged.
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
RESPONSE: Acknowledged.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
RESPONSE: Waste collection is on private property.
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
RESPONSE: See Sheet X5.2 for the truck turning radii for service areas.
8. Solid waste collection shall be from a private loading dock.
RESPONSE: Loading bay #3 is designated for solid waste collection from both trash rooms. Please see location of loading bay #3 on Sheet A-080.
9. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel)
RESPONSE: Solid waste transport to trash room #1 is performed using the service corridor adjacent to the trash room #1 while the trash from trash room #2 will be rolled out crossing the driveway to loading bay #3, a pedestrian cross walk has been proposed between trash room #2 and loading bay #3.
10. Containers: must comply with 47-19.4
RESPONSE: Will comply.
11. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
RESPONSE: Acknowledged.

DRC Comment Report: SOLID WASTE

Member: George Woolweaver
GWoolweaver@fortlauderdale.gov
954-828-5371

12. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building. If this applies.

RESPONSE: Please see response for Comment 16.

13. Recommend trash chute accommodate recycling.

RESPONSE: Acknowledged and will comply.

14. Draw equipment on the plan to show it will fit in trash room.

RESPONSE: Equipment has been added to the Site Plan Sheet.

15. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.

RESPONSE: Acknowledged and will comply.

16. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.

- *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
- *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

RESPONSE: Solid Waste Management Plan provided. Please see attached letter addressing details of trash collection.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building

TRAFFIC ENGINEERING - Case Number: UDP-S23057

CASE COMMENTS:

1. Submit a formal sign and sealed traffic impact statement and include the trip generation formulas and Sheets from the ITE trip generation manual. If a traffic study is needed Pursuant to 47-25.2.M.4. Applicant must fund City's review by consultant and pay a \$4,000 deposit prior to scheduling a methodology meeting after which the study will be prepared, transmitted and reviewed by the City's consultant. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks once all documents are received.
RESPONSE: Acknowledged. A signed and sealed Traffic Study is forthcoming and shall be provided once received.
2. Per the Broward County Trafficways plan this site is required to dedicate 9 feet of right of way on N Andrews Avenue along the development site to Broward County. **RESPONSE: 9' ROW easement is being provided to complete the required half 88' ROW for Andrews Ave. The easement will NOT be a dedication. Easement is shown on both the Site Plan and the Easement Exhibit (Sheet X1).**
3. The city of Fort Lauderdale will require five feet right of way dedication or easement on NE 7th Street along the development site to complete the 25 feet half section of a minimum 50 feet right of way requirement.
RESPONSE: A 5.0' ROW easement is being provided to complete the required half 25' ROW for NE 7th Street. The easement will NOT be a dedication. Easement is shown on both the Site Plan and the Easement Exhibit (Sheet X1).
4. There are six (6) existing metered on street parking stalls on NE 1st Avenue, this site is proposing to remove four (4) of those metered parking stalls. This proposal shall be required to pay a mitigation fee of \$273,750.00 for the permanent displacement of these four (4) metered parking stalls to the city of Fort Lauderdale's Transportation and Mobility Department.
RESPONSE: The plans have been revised so that (4) of the existing (6) metered on- street parking stalls along NE 1st Avenue shall remain. No additional spaces may be accommodated due to the bulb-out and sight triangle requirements along NE 1st Avenue. Therefore, a mitigation fee should not apply.
5. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
RESPONSE: See Site Plan Sheet (C0.1).
6. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
Properly dimension the parking stall dimensions on the plan sets.
RESPONSE: Please see parking dimensions on Sheet A-202 & Sheet A-203.
7. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point.
RESPONSE: Stacking is indicated on the Site Plan (Sheet C0.1). There is NO proposed gate at the ingress/egress points for this development.
8. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
RESPONSE: Sight triangles are properly located along City right-of-way and Corner Chord properly reflected on County right-of-way. Refer to the Engineering Plans, Sheet C0-C3.

9. Provide a 10' X 10' sight triangle at the proposed garage driveways starting at the back of sidewalk and driveway through lanes intersection points, no structures or obstructions shall be placed in this sight triangle. This sight triangle is required to provide clear visibility of the drivers exiting the garage being able to see the pedestrians walking on the sidewalk against the building.
RESPONSE: This pedestrian sight triangle is shown on the Site Plan (Sheet C0.1).
10. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
RESPONSE: See Vehicle Circulation Exhibit (Sheet X5) added to revision set.
11. Provide clarification on garage operation and accessibility (gate, ticket gate, etc.) for this development. Please note that if a gate is proposed, a queueing analysis based on the gate operations will be required as part of the Traffic Impact Study.
RESPONSE: There is NO proposed gate for this project at this time.
12. Illustrate the upstream and downstream driveway and intersection sight triangle requirements in Table 212.11.2 Parking Restrictions for Driveways and Intersections of the FDOT FDM.
<https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2022/2022fdm212intersections.pdf>
RESPONSE: Min. 30' measurement is shown on the Site Plan Sheet.
13. Provide a minimum of ten (10) feet wide on **N Andrews Avenue**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width.
RESPONSE: 10' clear is being provided along the Andrews Ave ROW. A 5' min. landscape area is being provided between the sidewalk and the back of curb with the exception of the bus stop, driveways, and on-street parking areas.
14. Provide a minimum of seven (7) feet wide on **NE 7th Street, Flagler Drive and NE 1st Avenue**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width.
RESPONSE: Plans comply. See Site Plan.
15. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
RESPONSE: This comment has been taken under advisement and all utilities within sidewalks shall be set to grade. Refer to the Paving, Grading, and Drainage Plans, Sheet C2, for rim and sidewalk elevations.
16. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
RESPONSE: All sidewalks shall comply with ADA requirements. Refer to the Paving, Grading, and Drainage Plans, Sheet C2, for sidewalk elevations and the Site Plan, Sheet C0, for dimensions.
17. The city reserves the right to meter on street parking stalls on the public right of way at any time.
RESPONSE: Acknowledged. Note has been added to the Site Plan.
18. Please add the following note on the site plan for the on-street parking, "None of the on-street spaces are reserved for the development and may be used by any member of the public. On- street spaces will not count towards the parking requirements for the project; The spaces may be removed at any time for any reason and the City of Fort Lauderdale will not relocate displaced on-street parking."
RESPONSE: Acknowledged. Note has been added to the Site Plan.
19. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data Sheet. Bicycle parking needs to be located on the site so that it is accessible to the public. **RESPONSE: Interior bicycle parking is being provided in two separate locations within the garage, to park a total of +/- 40 spaces.**

DRC Comment Report: TRAFFIC ENGINEERING
Member: Benjamin Restrepo P.E.
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954-828-4696

20. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.

RESPONSE: 5% of total parking spaces will be electric car charging stations, up to 20% of total parking spaces will be future EV charging compatible. Please see the location of EV charging stations. Two interior bike rooms have been added within the garage on the ground floor. Please see the location of bike rooms on Sheet A-080.

2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

RESPONSE: Acknowledged and will comply.

URBAN DESIGN & PLANNING - Case Number: UDP-S23057

CASE COMMENTS:

Please provide a response to the following:

- 1) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 180 days, which falls on April 29, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
RESPONSE: Acknowledged.
- 2) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
RESPONSE: Neighborhood Associations within 300 feet have been notified of the project.
- 3) Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or nonvehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.
RESPONSE: Acknowledged and will comply. Platting Determination Letter is forthcoming.
REV1 COMMENT: Comment still applicable.
RESPONSE: Please see Platting Determination Letter provided. Platting is not required.
- 4) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
RESPONSE: Acknowledged.
- 5) Residential dwelling units are subject to unit availability at the time of site plan approval on a first come, first served basis, as granted by the final approving body. Application submittal does not guarantee unit availability. According to the City's most recent Unified Flex Table, there are insufficient flex units to accommodate the project. Therefore, to develop residential units on the subject site the applicant may apply for units under the following requirements:
 - a. Per ULDR Section 47-23.16.D.8, Payment In-Lieu of Affordable Housing, applicants providing a payment in-lieu of affordable housing development shall provide a calculation breakdown of the payment in-lieu fee. In-lieu payments shall be equally split between the Broward County Affordable Housing Trust Fund and the City of Fort Lauderdale Affordable Housing Trust Fund. At the time of building permit issuance, 50% of the total payment in-lieu of fee shall be paid to the City of Fort Lauderdale and 50% of the total payment shall be paid to Broward County.
 - Or;
 - b. Per ULDR Section 47-23.16, Affordable Housing Regulations, applicants seeking incentives shall provide an Affordable Housing Development Plan, as outlined in Section 47-23.16.D.1., Application and Affordable Housing Development Plan, to be reviewed and approved by staff during the Development Review Committee (DRC) process. Additionally, the applicant shall provide an Affordable Housing Development Agreement, per Section 47-23.16.D.2, Affordable Housing Development Agreement and Deed Restriction, to be recorded prior to the issuance of building permits.**RESPONSE: Acknowledged and will comply.**
REV1 COMMENT: Provide a calculation breakdown of the payment in-lieu fee.
RESPONSE: There are 257 units proposed. \$10,300 x 257 equals \$2,647,100. Please note that this is a preliminary in-lieu-of fee calculation and is subject to change.
- 6) The proposed development application is subject to approval by the City Commission for proposed design deviation requests. The applicant will be required to submit a separate application to be placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's

office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-4798).

RESPONSE: Acknowledged.

- 7) This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.

RESPONSE: Acknowledged. SCAD Letter is pending and shall be provided once received.

REV1 COMMENT: Comment still applicable.

RESPONSE: Please see SCAD letter provided. A total of 8 students are generated as a result of the project.

- 8) The project does not meet certain Downtown Master Plan (DMP) design intents as outlined in ULDR Section 47-13.20 and Section 47-13.21. In addition, the northwest corner of N. Andrews Avenue and Flagler Avenue presents an opportunity to create a gateway feature into Downtown Fort Lauderdale with an activated public plaza area.

RESPONSE: A 1,250 SF retail space was added to the northwest corner to further activate the ground floor public space. Refer to the Site Plan and Sheet A-080.

- 9) Provide a separate narrative stating how the project meets the intent of the DMP with regards to the design deviation requests for building height, tower stepback on NE 7th Street and Tower Floorplate Size. Provide required code sections and proposed code deviations in a table format. The table shall provide specificity of the requests and specify the reasoning justification for the request. At this time, the applicant has not demonstrated justification for deviations and staff is unable to determine if such deviations maintain the DMP design intent as required by the ULDR, Section 47-13.20. Staff has commented below under the applicable category and attached the Design Review Team (DRT) comment checklist. **RESPONSE: A DRT Narrative analyzing how the project meets the intent of the DMP was provided. Please see the deviation/compliance chart below which was provided in the Project and ULDR Narrative submitted. Additionally, justifications are explained below in the DRT comment checklist.**

REV1 COMMENT: The DRT comment responses, herein, relate to the Downtown Master Plan requirements, while the narrative being sought is an explanation of the deviations being requested, which fall outside the design and dimension standards of the ULDR and Downtown Master Plan. Therefore, the DRT comment responses do not explain the reasoning for the deviation requests and are responses to Master Plan requirements. Provide a separate narrative for the requested deviations to be used as an exhibit to the City Commission.

RESPONSE: Separate DRT Narrative was provided. Please see a matrix of DMP dimensional requirements and requested deviations below. All step backs were provided, with the exception of NE 7th street, where the towers are properly set back from the street, but where the architectural design team opted on purpose to not build a podium in order to create very valuable public space, and to return to the community a precious plaza opened to the sky.

REV2 COMMENT: Comment not addressed. The Deviation Request Chart needs to be updated to reflect the Site Plan Set.

- The proposed minimum stepback of the eastern tower is 15'-8" not 18'-2", update on Deviation Table.
- Balconies are not permitted to encroach into the 60' Tower Separation. Remove balcony encroachment between towers or apply for a deviation request.
- There are a total of three deviation requests: Increase in the number of permitted floors of Towers from 12 to 14, decrease Minimum Building Tower stepback along NE 7th Street and Flagler Drive for the West Tower and Minimum Building Tower Stepback along NE 7th Street for the East Tower. If the balconies are not removed out of the 60-foot tower separation area, a 4th deviation request must be made.

RESPONSE:

- **An additional separate narrative for the requested deviations has been provided.**
- **The proposed minimum stepback has been updated on Deviation Table.**
- **Balcony encroachment has been removed from the 60' Tower Separation. Please see Sheet A-205.**
- **Increase in the number of permitted floors of Towers from 12 to 14, can be justified since the site shape is irregular, and the allocation of residential space in the podium level is not optimal. In**

the context of the immediate surroundings, the height of the additional stories blends seamlessly. in consideration for this ask, the design team is using very high-quality materials in the podium facade, and is creating a public plaza of great quality.

- All step backs are respected with the exception of the one facing 7th street on both towers as mentioned in the comment above; extension of the podium footprint could easily be done to respect to the letter of the code, but it would be done at the expense of the exceptional public plaza created on NE 7th street in front of the building. The “Flat iron” aspect of the west tower is in our opinion very attractive, making the architecture of this facade very distinctive.

	Urban Neighborhood	Proposed	Complies or Alternative Design Requested
Maximum Building Height	12 Floors	14 Floors	Deviation Requested
Maximum Building Streetwall Length	300'	227' – 3"	Complies
Maximum Gross Square Footage of Building Tower Floor Plate Size	Residential: 10,000 SF	West Tower: 9,200 SF East Tower: 10,800 SF	Deviation Requested for East Tower
Maximum Building Podium Height	6 Floors	3 floors	Complies
Minimum Building Tower Step Back	12'	Portion of Flagler Drive: 12' & 0' Andrews Avenue: 12' NE 7 th Street: 0' NE 1 st Street: 15'-8"	Deviation Requested for NE 7 th Street and a portion of Flagler Drive
Minimum Separation between Building Towers	60' between towers on same site / 30' minimum on subject property if adjacent to abutting lot under separate ownership	Between towers on-site: 60' From each property line: 30'	Complies
Minimum Residential Unit Size	400 SF	450 SF	Complies

Staff has commented below under the applicable category and attached the Design Review Team (DRT) comment checklist.

Principles of Street Design

- a. S3 – Add additional parking spaces on NE 1st Avenue.

RESPONSE: Additional parking spaces have been added on NE 1st Avenue, please refer to Sheet A-080

- b. S5 – Use Live Oak Trees or trees recommended by the Landscape reviewer on Flagler Drive and North Andrews Avenue to maximize pedestrian shading.

RESPONSE: Acknowledged, please see details of trees on Landscape Plan Sheet L-210.

- c. S7 and S8 – Provide dimensions on landscape plans for tree spacing and horizontal clearance of trees.

RESPONSE: Please refer to Landscape Plans for more details of tree spacing and horizontal clearance of trees.

- d. S9 – Reference Comment S5.

RESPONSE: See response for Comment S5.

- e. S16 – Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such. Provide location of relocated utility lines on civil and landscape plans.

RESPONSE: Acknowledged.

REV1 COMMENT: Comment still applicable.

RESPONSE: Overhead wires on NE 7th Street and NE 1st Avenue will be placed underground, see updated plans.

Principles of Building Design

- f. B2 – Wrap commercial uses and/or the residential lobby around the northwest corner to activate the ground floor and the public plaza/terrace area. The current design has the potential of become unused dead space because of its positioning between the driveway, abutting horizontal parking garage wall, and angular positioning to the first floor commercial spaces.

RESPONSE: Commercial space has been added to the northeast corner of the property.

Please refer to Sheet A-080.

- g. B5 – Maximum floorplate size is exceeded; A City Commission design deviation request is required. Update chart to include specific floor and floorplate size request.

RESPONSE: Acknowledged.

- h. B7 – A 18'-2" stepback and a 0' Stepback are provided along secondary streets less than 60 foot right-of-way. Consider increasing the stepback of towers along secondary streets.

RESPONSE: Comment taken into consideration, however, the various sizes of stepbacks helps to create a more interesting façade and architectural articulation.

- i. B10 and B11 – Reposition the first floor lobby to be oriented towards the corner of Flagler Drive and North Andrews Avenue. Consider expanding commercial uses to include restaurants to allow future flexibility of commercial floorspace.

RESPONSE: Main entrance of west residential lobby is from the drop off area located at the east side of this lobby. The retail lobby is only to enter the colonnade from the parking floors.

- j. B13 – Consider glass balconies instead of metal meshed railing to elevate the architecture of the building.

RESPONSE: Glass balcony railings have been considered, but stylish metal mesh railings are considered more appropriate for the project by the design team.

- k. B18 – Clarify if the structure be illuminated at night.

RESPONSE: Yes, please refer to rendering on Sheet A-918.

- l. B20 – Provide a separate elevation Sheet illustrating tower separation, with d onsite and offsite tower separation measurements.

RESPONSE: Please refer to tower separation measurements on Sheet A-501.

- m. B24 – Provide details of tower rooftop amenities or equipment including spot elevations of rooftop equipment.

RESPONSE: Rooftop amenities won't be provided. More details will be provided for rooftop equipment.

REV1 COMMENT: Comment still applicable.

RESPONSE: Details of rooftop equipment have been added, please refer to Sheet A-206.

Quality of Architecture

- n. Q1 – Add architectural/sculptural elements for more expressive tower tops.

RESPONSE: The original expression of the roof line was an important consideration for the architect from the start. The concept elaborated is centered around a continuous frame running around the vertical and the horizontal edges of the towers. This frame is pleasing to the eye, collecting visually the miscellaneous architectural elements of the project. In selected areas, such as the east façade of the east tower and the extremity of the west tower (facing north), the cornice created by this continuous frame open up a window to the blue sky. The simple lines created are pleasant and visually expressive, and do not need, in our professional opinion, the addition of any artifices.

- o. Q3 – Increase the variety and layering of high-quality materials and layering of architectural elements on towers and lower levels.

RESPONSE: A variety of high-quality materials are proposed. Please refer to Sheet A-501 and A- 502.

- p. Q5 – Additional details are needed for the garage screening, including image examples and a detail Sheet showing spacing between louvered railing to understand how much of the garage is exposed. **RESPONSE: The entire parking garage is enclosed with either liner units or high-quality screening materials, the garage is not exposed.**

REV1 COMMENT: Provide a detail showing spacing between railroad railing to understanding spacing and exposure to the garage or rear wall. If the garage is not being exposed along Flagler Drive, explain what material will be used behind the railroad tracks. It is difficult to understand how the screening is intended to function based on the elevations and renderings.

RESPONSE: The garage is fully enclosed with liner units or CMU walls; railroad railings are decorative facade treatment which are attached to the garage CMU walls. Detailed wall section is provided on Sheet A-203.

- q. Q7 – Reference Comment Q3

RESPONSE: Refer to Comment Q3 response.

Storefronts

- r. SF1 – Reference Comment B10.

RESPONSE: Refer to Comment B10 response.

Character Area (Applicable Area: Urban Neighborhood)

- s. 3C – A City Commission deviation request is required for tower stepback on Flagler Avenue and NE 7th Street.

RESPONSE: The minimum 12' tower stepback is provided along Flagler Drive. A 0' stepback is provided along NE 7th Street, and a deviation is requested.

TOD Guidelines (General Applicability)

- t. The inclusion of additional bike rooms and bike racks are heavily encouraged.

RESPONSE: Two bike rooms have been added within the garage on the ground floor. Please see the location of bike rooms on Sheet A-080.

- 10) Provide the following changes on the site plan:

- a. Properly delineate and label dedicated right-of-way on North Andrews Avenue.

RESPONSE: Site Plan Sheet has been updated as per the above comment.

- b. Clearly delineate the building's perimeter by increasing line weight on both the site plan and floor plans.

RESPONSE: Site Plan Sheet has been updated as per the above comment.

- c. Include all proposed steps and transitions between sidewalk and building arcades to illustrate elevation changes and interactions between the public and private realm.

RESPONSE: Pavement hatch has been added to Site Plan Sheet.

- d. The first floor commercial uses only show access internally. Provide additional right-of-way access to first floor commercial bays.

RESPONSE: Exterior doors have been added for commercial uses. Please refer to Sheet A-080.

REV1 COMMENT: It is unclear if the arrows represent exterior doors. Please clarify.

RESPONSE: Additional key notes have been added next to exterior doors for commercial uses. Please see keynote "Y" on Sheet A-080.

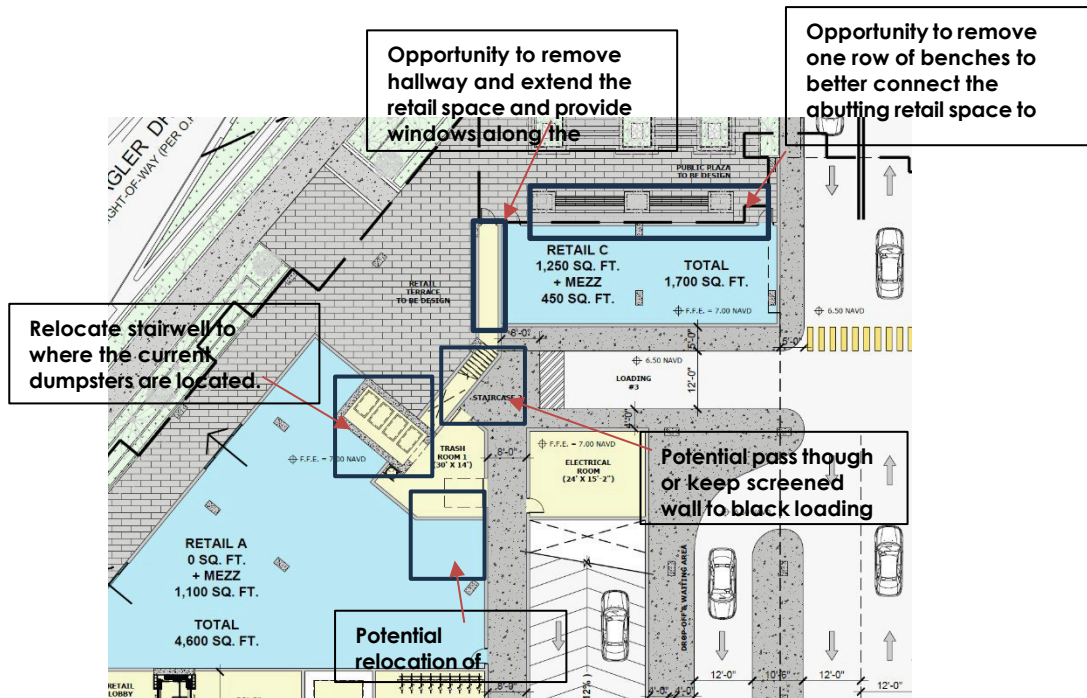
- e. The northern plaza needs to be better integrated with activated ground floor uses. The current orientation has the potential of becoming unused dead space because of its positioning between the driveway, abutting horizontal parking garage wall, and angular positioning to the first floor commercial spaces. Orientate the first floor lobby towards the natural focal point of the site, on the corner of Flagler Drive and North Andrews Avenue and integrate the plaza so visibility and use of the plaza space is less isolated.

RESPONSE: A 1,250 SF commercial space has been added to the northeast corner of the property which further activates the public plaza.

REV1 COMMENT: Staff supports the proposed change and there might be minor changes to the design to further help activate the retail space. There may be an opportunity to relocate the stairwell and dumpsters to help activate the first-floor retail space. Shifting the dumpster south and allowing the stairwell to continue to the ground floor allows Retail Bay C to extend westerly, with the addition of windows to better highlight and activate the retail space. Additionally, the experience of Retail Space C may be enhanced by removing

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Relocate stairwell to where the current dumpsters are located.

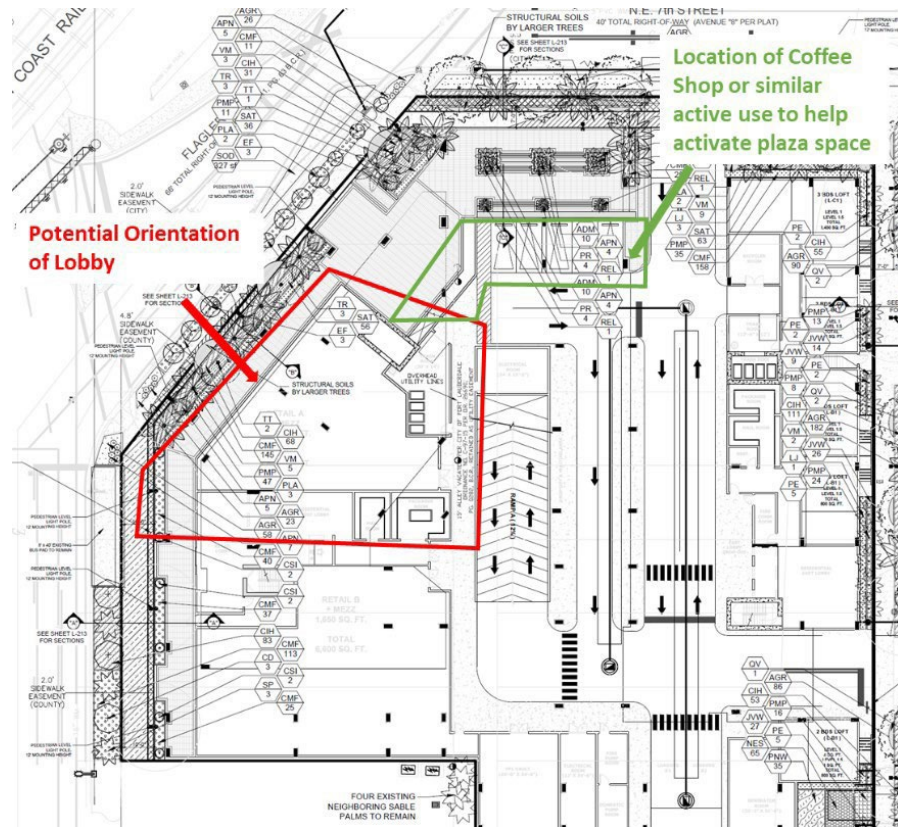


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- f. Consider parking higher intensity uses such as restaurants to increase flexibility of commercial bays such as the inclusion of a bar, restaurant, coffee shop that incorporates outdoor seating and activation of the plaza and arcade.

RESPONSE: Acknowledged. Tenants for commercial spaces have not been selected at the time of this submittal.

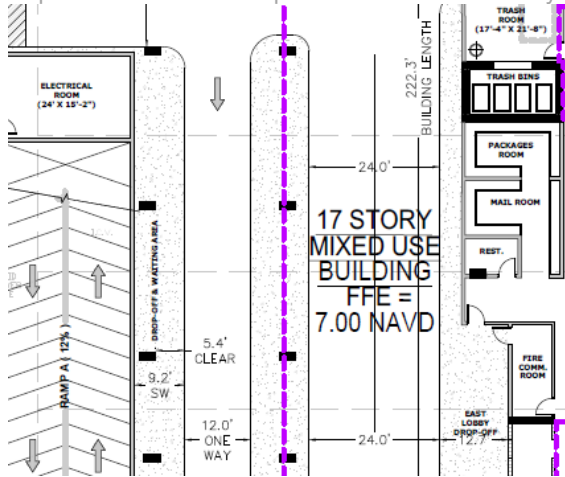
REV1 COMMENT: Understood. Note: The current parking data table does not account for higher intensity uses, such as restaurants. If the commercial spaces are to be occupied by users other than retail, this would lead to future issues if additional parking were not included in the current design.

RESPONSE: Acknowledged. The site plan has been updated to account for higher intensity uses on the parking data table (Sheet C0.1).

- g. Provide floor plans for all levels of parking. Currently floor plans show the mezzanine floors, but do not show all the parking level floor plans.

RESPONSE: Parking floor plans are typical. Please refer to Sheet A-202 and Sheet A-203.

- h. Update label on the site plan which states "17 Story Mixed-use Building".



RESPONSE: Site Plan has been updated.

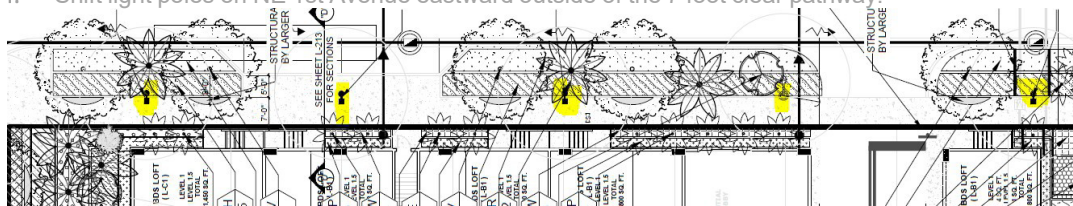
- j. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.

RESPONSE: See updated Landscape Plan.

- k. Address Transportation and Mobility concerns regarding vehicular movement conflicts where there are parking spaces abutting the drop off lane.

RESPONSE: Drop-off lane configuration has been changed and conflicts eliminated.

- l. Shift light poles on NE 1st Avenue eastward outside of the 7 foot clear pathway.



RESPONSE: Light poles have been relocated.

- 11) Provide the changes on the elevations:

- a. Enlarged podium elevations are needed to better understand how the first floor and lower levels are designed and interact with the public realm.

RESPONSE: Refer to renderings on Sheet A-901 to Sheet A-908 for accurate understanding of the interaction between our proposed building and public realm.

- b. The architecture of the podium shows five stories, but the request of the application is to count the lofts containing mezzanines as one, rather than two floors. To count each of the lofts as one floor, the exterior design needs to express itself as containing double high ceilings. The two story lofts are a unique feature and should be properly highlighted to visually read as such. Reference building design examples herein.

RESPONSE: Please refer to rendering on Sheet A-911: Full height glass is clearly shown where loft unit has high ceiling condition.

- c. The podium needs to differentiate itself using alternative materials and textures to accentuate the transition from the lower pedestrian realm and upper towers.

RESPONSE: Acknowledged. Elevations have been revised with more expensive materials.

- d. Increase articulation of the building facades. Banding is an architectural element but cannot substitute building modulation. The use of banding around the perimeter of the towers and balconies needs to be reduced. Alternative architectural design features need to be integrated into the façade.

- Provide layered cornice.
- Corner elements should be carried vertically through the podium, with an angular design that matches the unique curvature of the northwest corner.
- Changes in texture and material between the podium and tower will help visually highlight the towers stepback.

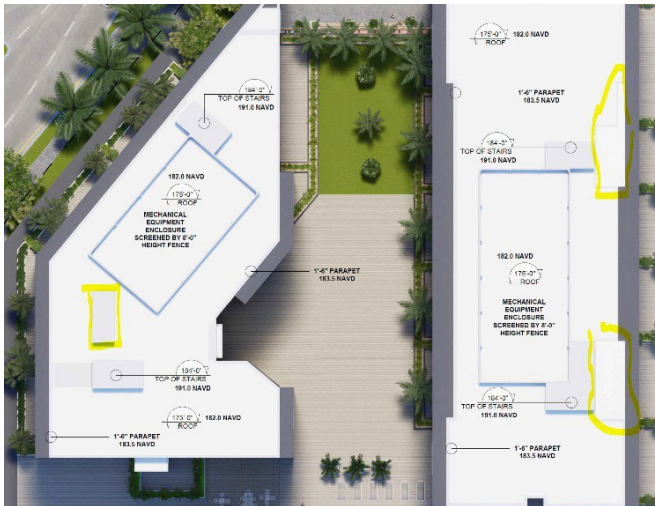
• Double high windows with ornate treatment to match the height if the loft liner units.
Reference building design examples herein.

RESPONSE: Additionally architectural modulation and articulation is under consideration.

- e. The materials of rooftop mechanical rooms must match the materials of the principal structure.

RESPONSE: Acknowledged. Please refer to elevations on Sheet 501 to Sheet 504.

REV1 COMMENT: Provide a detail Sheet of the louvered metal mechanical screening with spacing details. There are concerns that the gaps between the louvers will not visually shield the mechanical equipment. Moreover, the rooftop stairwells do not integrate well into the buildings design. Integrate additional architectural detail to the stairwells to match the design of the building.
What are the additional rooftop rooms highlighted in yellow below?



RESPONSE: Spacing details of the louvered metal mechanical screening have been added, please refer to Sheet A-206. Stairwells are now hidden behind the metal mechanical screening, they are not visible from the street.

REV2 COMMENT: The rooftop mechanical equipment enclosures do not match the design of the building. A deviation request for height is being sought, thus any building design elements adding to the height of the building need to be architecturally expressive. An alternative design needs to be explored to reduce the massing of the cooling towers to ensure it does not detract from the buildings visual presence.

The elevation Sheets have not been updated to show the updated rooftop mechanical equipment height.

Previous Proposed Screening



New Proposed Screening



RESPONSE: Mechanical screening has been adjusted. Please refer to elevations for updated design.

REV 3 PLANNING COMMENT: Prior DRC Comment applies. Per the Downtown Master Plan, Section Q-1,

"towers shall contribute to the overall skyline composition...0" and "buildings with special prominence in key locations should have architectural/sculptural elements designed to be seen from the appropriate distances". Moreover, per ULDR Section 47-19.2.Z., Roof Mounted Structures, roof mounted structures such as air conditioners and satellite dish antennae shall be required to be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structure.

"The rooftop mechanical equipment enclosures do not match the design of the building. A deviation request for height is being sought, thus any building design elements adding to the height of the building need to be architecturally expressive. An alternative design needs to be explored to reduce the massing of the cooling towers to ensure it does not detract from the building's visual presence."

APPLICANT REV 4 RESPONSE: Please refer to architecturally expressive crown.

REV 4 Planning Comment: Previous screening comments continue to apply.

Per the Downtown Master Plan, Section Q-1, "towers shall contribute to the overall skyline composition...0" and "buildings with special prominence in key locations should have architectural/sculptural elements designed to be seen from the appropriate distances". Moreover, per ULDR Section 47-19.2.Z., Roof Mounted Structures, roof mounted structures such as air conditioners and satellite dish antennae shall be required to be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structure.

Examples of rooftop screening that integrate into building design can be found on two examples, below.





Applicant REV 5 Response: As discussed with Planning on 10/3/2024, the rooftop screening has been redesigned to carry the same architectural language of the building façade, including vertical slats and framed patterns with integrated lighting that illuminates the texture. The angled louvers ensure the mechanical equipment is fully screened. Refer to details on Sheet A-206 and A-925.

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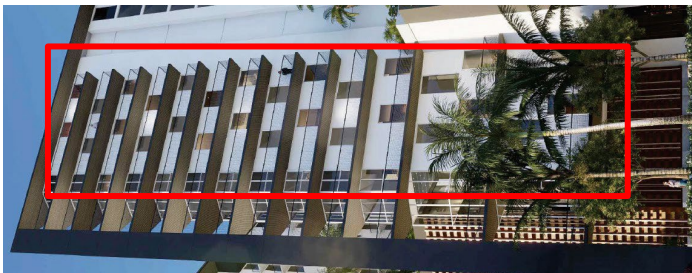
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- Provide a material change to the corner of the western tower running vertically from the base of the building to the top of the podium and increase the projection of the corner units (or increase the recession that's currently provided) to place a visual emphasis on the northwest corner. Additionally, wrap the floor to ceiling windows at the corner along the frontage of North Andrews to create a larger primary focal point.

RESPONSE: The design team is considering an alternative treatment of the façade described. REV1

COMMENT: It is recommended the windows wrap around the corner of the building to highlight the major focal point.

RESPONSE: Wrap around windows have been integrated at the major focal point. Please see rendering on Sheet A-923



- g. An alternative design is needed in lieu of the 11 story murals such as windows and balconies. Murals are not intended to replace facade design features.

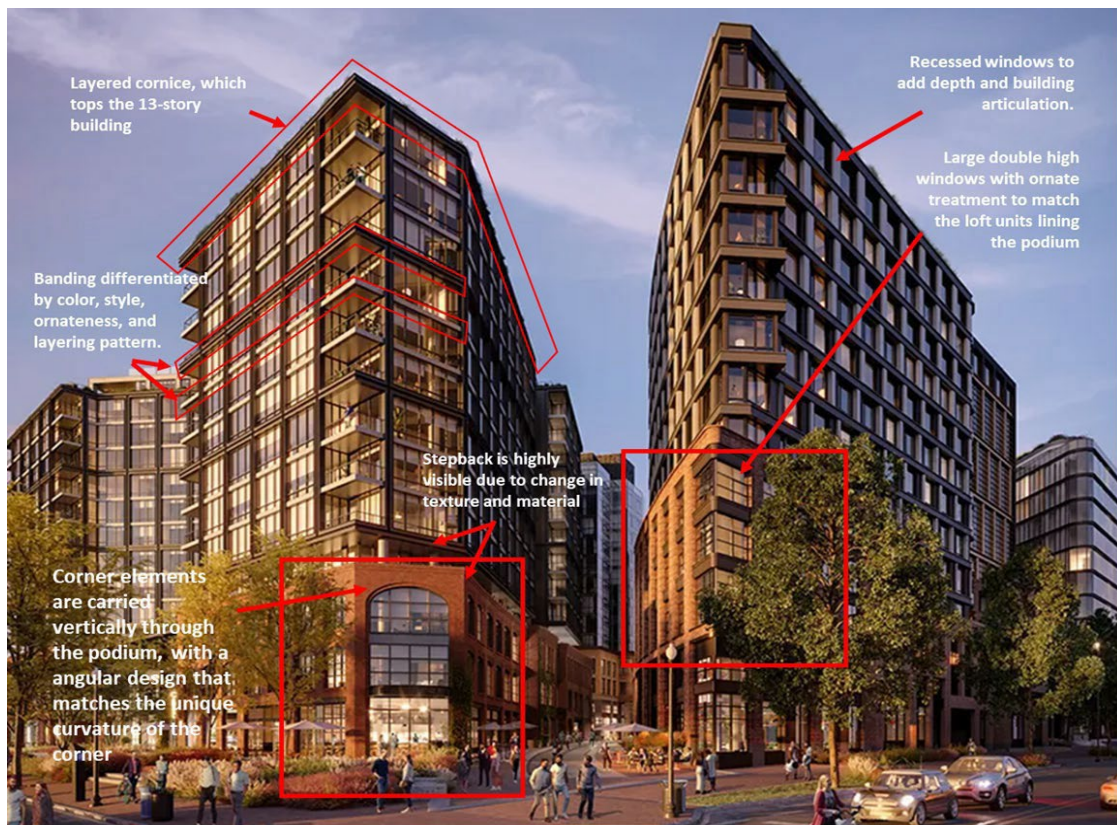
RESPONSE: Wrap-around balconies were added to animate the back wall behind elevators. REV1

COMMENT: An alternative design solution needs to be explored to break up the size of proposed murals. Murals cannot be used as a design solution for highly visible vertical walls. The murals are approximately 112 feet in height and 28 feet in width, with over 3,150 square feet of surface area and 112 feet in height and 21 feet in width, with over 2,403 feet of surface area. The combined area of both murals exceeds 5,500 square feet. Additional discussion on the design of the eastern tower façade is required.

RESPONSE: Balconies were added in front of those two murals. The added balconies cut the massiveness of the two mural walls. Please see updated rendering on Sheet A-906, showing a more dynamic facade, and the blank walls more subdued.



Building Design Examples:
"The Stacks", Washington D.C



- h. The south wall extends above the pool deck of 640 North Andrews Avenue. Provide additional beautification to the podium elevated above the pool deck of the abutting building.

RESPONSE: A decorative wave design along the south wall has been implemented for additional

beautification. Please refer to renderings on Sheet A-504.



- i. Elevations need to show distance measurements from property line to podium face and from property line to tower face to show tower separation. Note, tower separation is measured from face of balcony and not the face of buildings. If balconies encroach into the tower separation area, approval is required by the City Commission via a design deviation request.

RESPONSE: Please refer to the updated elevations on Sheet A-501 to Sheet A-504.

- 12) Provide clear image/details of garage screening of openings and light fixture shields and cross-sections. Ensure screening adequately blocks out light and noise pollution.

RESPONSE: Acknowledged. All lighting will not spill over light beyond the subject property.

REV1 COMMENT: Reference Comment 9.p, Under Quality of Architecture- Q5 Herein.

RESPONSE: The entire parking garage is fully enclosed, there will not be any light or noise pollution.

- 13) Indicate lighting poles and landscape plan and clarify height. Be aware that lighting fixtures greater than 10' in height are used, they shall be located a minimum of 15' away from shade trees (ULDR Section 47- 20.14).

RESPONSE: Refer to updated Landscape Plan.

- 14) Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:

- Spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
- Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
- Provide screening product material including images of actual application.

RESPONSE: Please refer to Roof Plan on Sheet A-206 and elevations on Sheet A-501 to Sheet A- 504.

REV1 COMMENT: Comment still applicable. Spot elevations of the mechanical equipment to verify adequate screening is needed and identify the location of equipment on building elevations by outlining the equipment with dash lines. For additional mechanical screening comments, reference Comment 11.e, herein.

RESPONSE: Mechanical equipment and screenings have been added to the roof plan, please refer to Sheet A-206 for spot elevations and details.

REV2 COMMENT:

- Identify the location of equipment on building elevations by outlining the equipment with dash lines.
- Screening shall be at least six (6) inches high above the topmost surface of the roof mounted structures.
- Reference screening comments, above.

RESPONSE: All roof equipment has been outlined with dash lines, please refer to all building elevations (Sheet A-501, A-502, A-503, A-504).

15) Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:

- a. Location and orientation of all proposed signage;
- b. Dimensions of each proposed sign (height, width, depth, etc.);
- c. Proposed sign copy; and,
- d. Proposed color and materials
- e. Please note any proposed signs will require a separate permit application.

RESPONSE: Acknowledged. Master sign plan is forthcoming.

REV2 COMMENT: Comment still applicable.

RESPONSE: Please refer to the Master Sign Plan (Sheet A-009).

16) Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.

RESPONSE: Acknowledged. Construction staging plan is forthcoming.

REV1 COMMENT: Comment still applicable.

RESPONSE: Acknowledged. A construction staging plan is forthcoming.

REV 2 COMMENT: Comment still applicable.

RESPONSE: Please refer to the Construction Staging Plan provided.

REV 3 PLANNING COMMENT: The preliminary construction staging area plan does not show employee parking or equipment storage areas. Based on what is shown, an offsite construction staging area plan is likely needed. An offsite construction staging area plan can either be reviewed and approved during this stage of the review process or a separate admin application, with City Commission Request for Review will be required prior to building permit issuance.

APPLICANT REV 4 RESPONSE: Applicant is respectfully requesting the Construction Staging Plan details requested above to be included as Final DRC Conditions of Approval.

REV 4 PLANNING COMMENT: Onsite staging plan will be reviewed during building permitting. If an offsite staging area plan is required, a separate Administrative Application will be required.

Applicant REV 5 Response: Acknowledged. Applicant is requesting an advisory condition of approval as follows:

Be advised that if there is an off-site temporary construction staging area, prior to Master Building Permit issuance per ULDR Section 47-19.2.GG, construction staging areas, a Site Plan Level I permit which will be forwarded to the Property and Right-of-Way committee for review, it is subject to a 30-day City Commission call-up period, and may require a Maintenance of Transportation (MOT) and/or a Revocable License.

17) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/permit-fees/park-impact-fee-calculator>

RESPONSE: Acknowledged and will comply.

18) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly plant materials, solar panels, and green roofs.

RESPONSE: Comment acknowledged.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee:

19) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 180 days, which falls on April 29, 2023, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.

RESPONSE: Acknowledged.

20) An additional follow-up coordination meeting may be required to review project changes necessitated by the Development Review Committee comments. Prior to routing your plans for Final DRC sign-off, please schedule

DRC Comment Report: URBAN DESIGN & PLANNING

Member: Adam Schnell

aschnell@fortlauderdale.gov

954-828-4798

an appointment with the project planner Adam Schnell (954-828-4798) to review project revisions and/or to obtain a signature routing stamp.

RESPONSE: Acknowledged.

- 21) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.

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RESPONSE: Acknowledged. Detailed shall be provided on the construction staging plan once provided.

REV1 COMMENT: Comment still applicable.

RESPONSE: Acknowledged. A construction staging plan is forthcoming.

REV 2 COMMENT: Comment still applicable.

RESPONSE: Please refer to the Construction Staging Plan with sales trailer location provided.

- 22) Provide a written response to all Development Review Committee comments.

RESPONSE: Complied.

- 23) Additional comments may be forthcoming at the Development Review Committee meeting.

RESPONSE: Acknowledged.

REV 2 COMMENT: The Easement Vacation Application shall be a condition of approval prior to Final DRC Signoff, if approved by the City Commission.

RESPONSE: The Easement Vacation Application is currently being coordinated with the franchise utility companies. We request the Easement Vacation Approval be a condition of building permit issuance.

REV 3 PLANNING COMMENT: The Easement Vacation Application approval cannot be conditioned prior to building permit issuance and shall be a condition of approval prior to Final DRC Signoff, if approved by the City Commission.

APPLICANT REV 4 RESPONSE: Acknowledged. Applicant is requesting to schedule the Easement Vacation application on the same agenda as the Site Plan deviation requests.