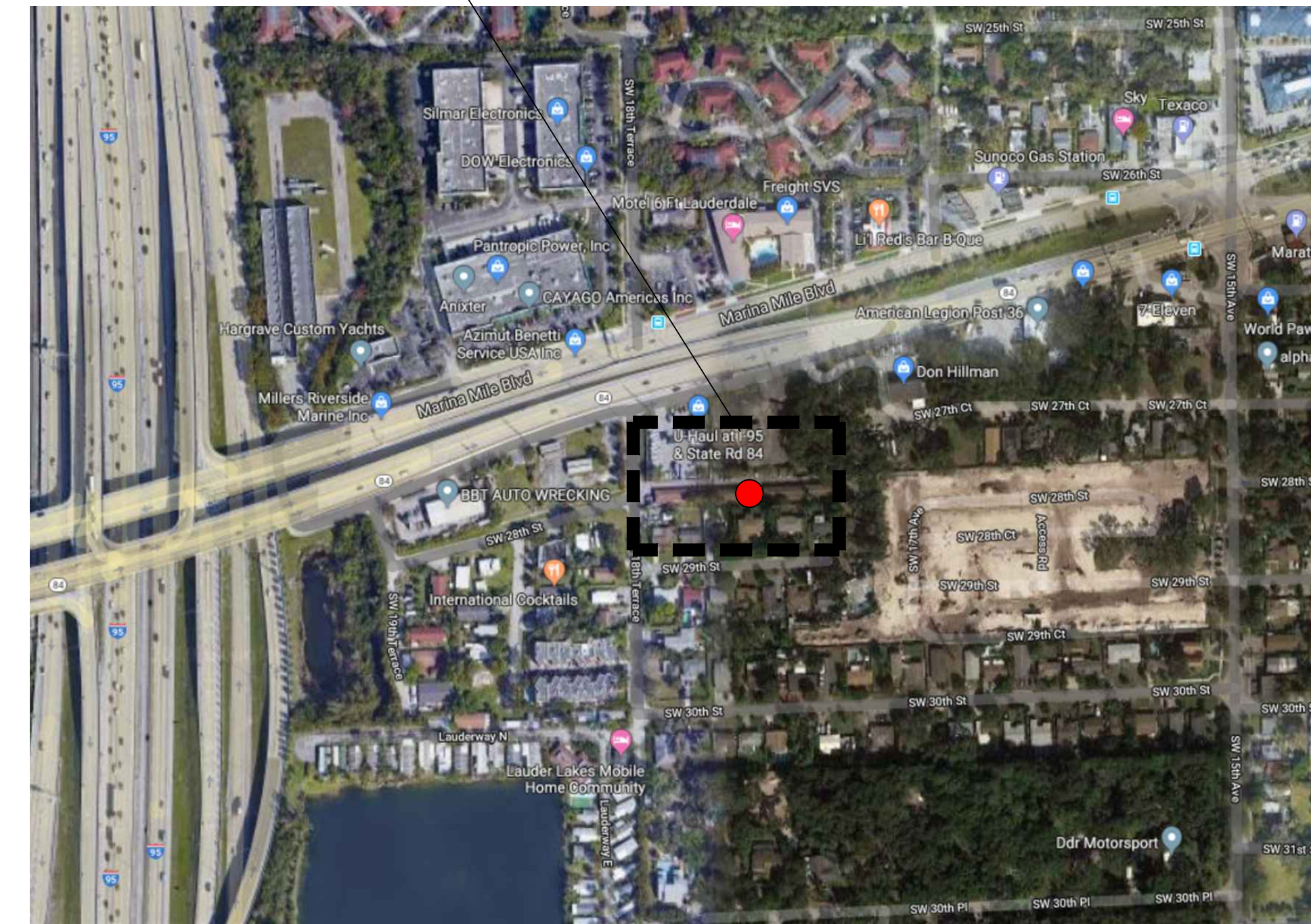


# AMERCO SITE 788054

## 1800 W State Road 84

### Fort Lauderdale, FL 33315

#### UHAUL FACILITY PROJECT LOCATION



#### AERIAL MAP

THE OVERALL SCOPE OF WORK IS THE FOLLOW:

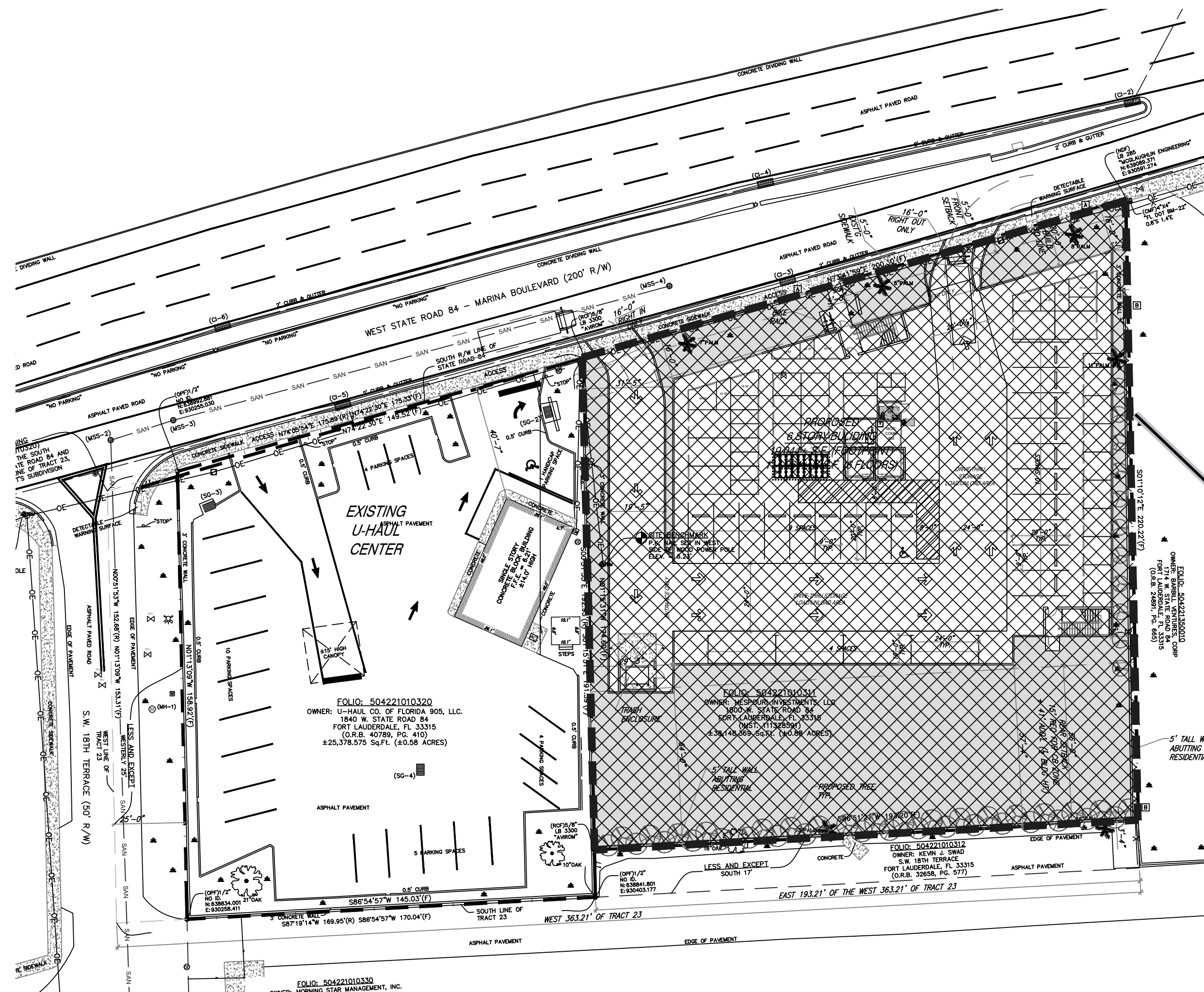
- NEW 6-STORY BUILDING, SELF-STORAGE USE.

#### GOVERNING CODES

FLORIDA BUILDING CODE - 2020, 7th EDITION FLORIDA FIRE PREVENTION CODE 7th EDITION NFPA 1 and NFPA 101, 2018 EDITION 2020 ADA STANDARDS FLORIDA MECHANICAL CODE 2020 FLORIDA PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2017	<b>OCCUPANCY GROUP: S</b> AS PER FBC-2020 (SEC-304.1)
	<b>BUILDING HEIGHT = 85 FT</b> AS PER FBC 2020 (TABLE-503) FOR "S" GROUP
	<b>CONSTRUCTION TYPE: III-A</b> AS PER FBC 2020 (TABLE-601) (602.2)

#### DRAWING LIST:

DRAWING NUMBER	TITLE
C-0.0	COVER SHEET, SITE PLAN LOCATION OF WORK
A-1.0	PROPOSED SITE PLAN
A-1.1	1st LEVEL FLOOR PLAN
A-1.2	2nd, 4th & 6th LEVELS FLOOR PLAN
A-1.3	3rd & 5th LEVELS FLOOR PLAN
A-2.0	ROOF LEVEL PLAN
A-3.1	EXTERIOR ELEVATIONS PLAN
A-3.2	NORTH ELEVATION-TRANSPARENCY REQUIREMENT.
A-3.3	CROSS SECTION PLAN
A-4.0	TYPICAL LIFE SAFETY PLAN
C-1.0	PAVING, GRADING & DRAINAGE PLAN
C-2.0	ROADWAY MARKING & SIGNAGE PLAN
C-3.0	PAVING & DRAINAGE DETAILS PLAN (1 OF 3)
C-4.0	PAVING & DRAINAGE DETAILS PLAN (2 OF 3)
C-5.0	PAVING & DRAINAGE DETAILS PLAN (3 OF 3)
C-6.0	STORMWATER POLLUTION PREVENTION PLAN
C-7.0	STORMWATER POLLUTION PREVENTION DETAILS PLAN
C-8.0	WATER & SEWER PLAN
C-9.0	WATER DETAILS PLAN
C-10.0	SEWER DETAILS PLAN (1 OF 2)
C-11.0	SEWER DETAILS PLAN (2 OF 2)
L-1.0	LANDSCAPE SITE PLAN
L-2.0	LANDSCAPE CALCULATIONS
E-1.0	PHOTOMETRIC SITE PLAN



SCOPE OF WORK  
AREA LOCATION

#### SITE PLAN SCOPE OF WORK LOCATION

SCALE: 1/32" = 1'-0"



## FIALLO'S MEP DESIGN, INC

10010 SW 83rd St.  
Miami, FL 33173  
305.877.1845  
Jfiallo@fiallompdesign.com

CA# 28637

NEW 6-STORY STORAGE BUILDING  
AMERCO- Self-Storage FACILITY 788054  
1800 West State Road 84  
Ft. Lauderdale, FL 33315

JORGE FIALLO  
FLORIDA P.E. #65527  
Drawings not valid unless Signed, Sealed  
and Dated by a Registered Professional

NO.	REVISIONS	DATE
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JOB NUMBER:  
**20-200-00514**

ISSUE DATE:	MARCH 2020
DRAWN BY:	
CHECKED BY:	J. FIALLO
ISSUE:	-

COVER SHEET

**C-0.0**

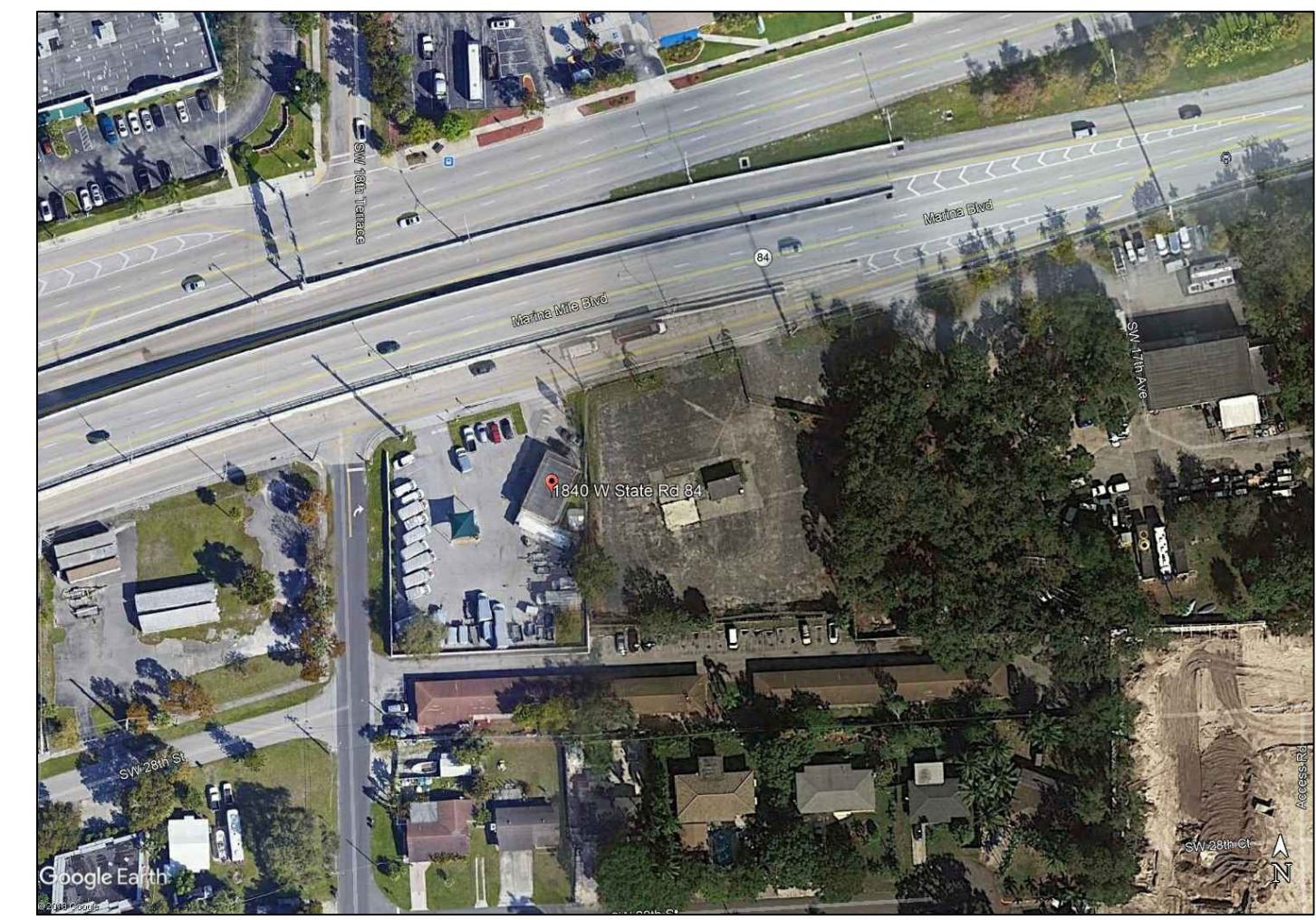
SHEET NUMBER



# FIALLO'S MEP DESIGN, INC

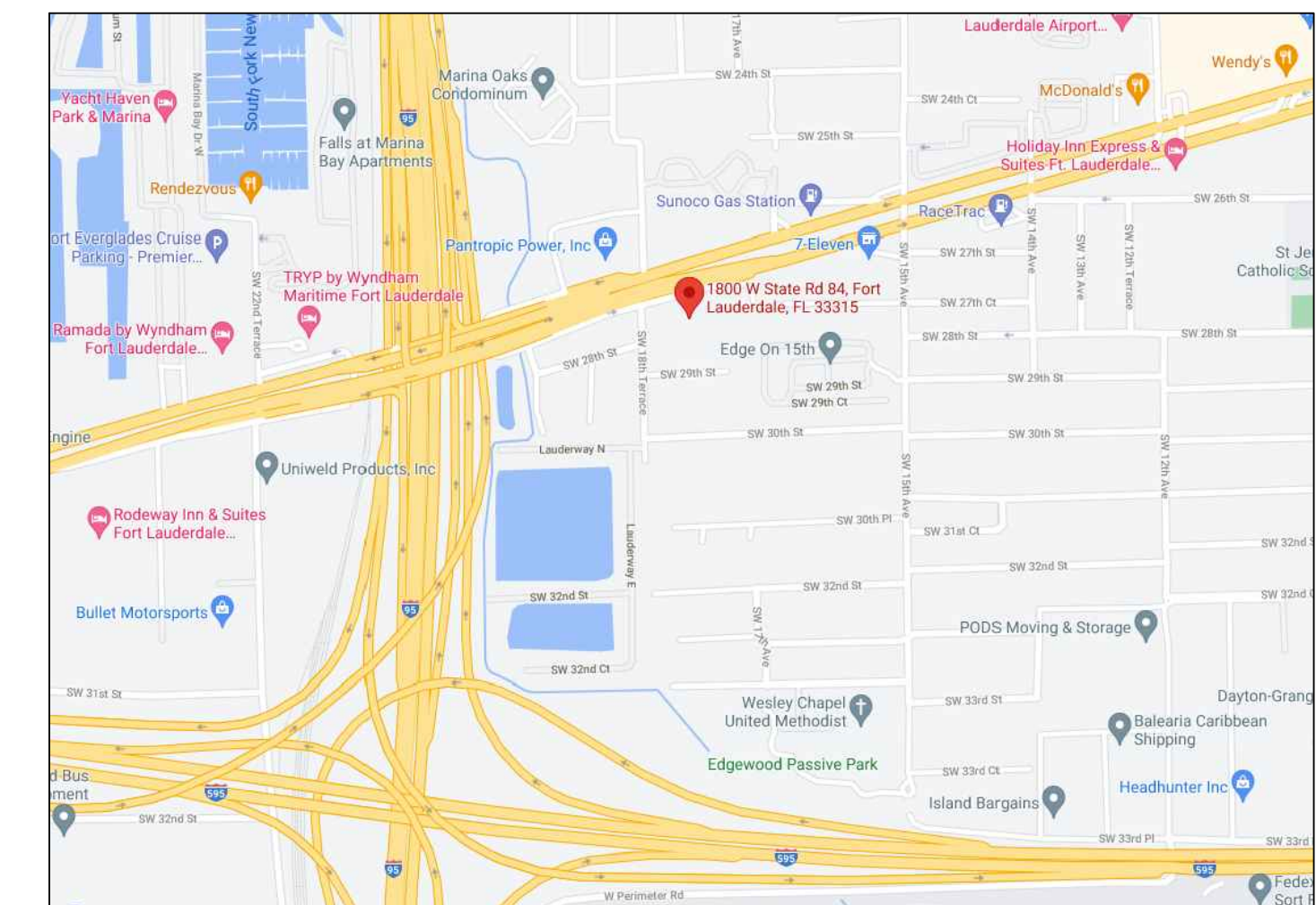
10010 SW 83rd St.  
Miami, FL 33173  
305.877.1845  
jfiallo@fiallopedesign.com

CA# 28637



AERIAL VIEW

N.T.S.



LOCATION MAP

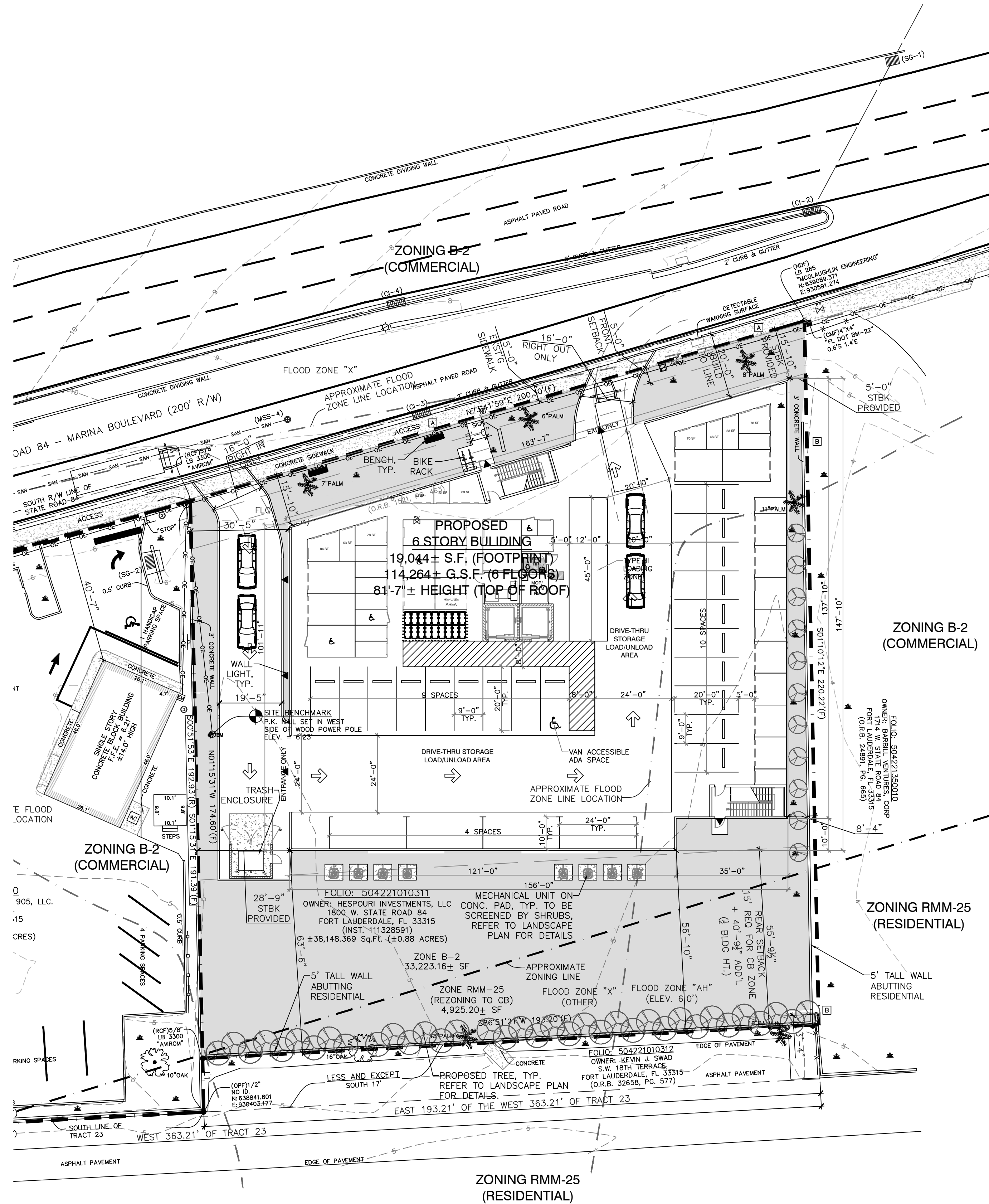
N.T.S.

**NEW 6-STORY STORAGE BUILDING**  
**AMERCO - Self-Storage Facility 788054**  
1800 West State Road 84  
Ft. Lauderdale, FL 33315

LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN SECTION 21, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 84 (200 FOOT WIDE RIGHT-OF-WAY) AND THE WEST LINE OF TRACT 23, OF F.A. BARRETT'S SUBDIVISION AS RECORDED IN PLAT BOOK 1, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THENCE NORTH 74°22'30" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 175.33 FEET TO A 5/8" REBAR & CAP (LB 3300) MARKING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 73°41'59" EAST, A DISTANCE OF 200.30 FEET TO A NAIL & DISK (LB 289), THENCE LEAVING SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 01°10'12" EAST, A DISTANCE OF 220.22 FEET, THENCE SOUTH 86°51'21" WEST, A DISTANCE OF 193.20 FEET, THENCE NORTH 01°13'31" WEST, A DISTANCE OF 174.60 FEET TO THE POINT OF BEGINNING, CONTAINING 38,148.369 SQUARE FEET (0.88 ACRES), MORE OR LESS.

DEVELOPMENT INFORMATION		
Project Name	Self-Storage Facility at I-95 & State Rd 84	
Project Address	1800 W State Rd 84, Fort Lauderdale, FL 33315	
Legal Description	Parcel of land located in Section 21, Township 50 South, Range 42 East Broward County, Florida	
Tax ID Folio Numbers	504221010311	
Description of Project	Proposed Six Story, 114,264 GSF Self-Storage building, 866 units total, 19,044 SF footprint	
Total Estimated Cost of Project	\$8,179,663	
Site Adjacent to Waterway	No	
PROPERTY USE INFORMATION		
	Existing	Proposed
Land Use Designation	Commercial	Commercial
Zoning Designation	B-2 (General Business)/RMM-25 Interdistrict Corridor	B-2 (General Business) Interdistrict Corridor/CB
Use of Property	vacant land	Self-Storage
Number of Residential Units	N/A	N/A
Non-Residential Square Feet	none	114,264 SF
Building Square Feet (Includes Structure Parking)	N/A	114,264 SF
DIMENSIONAL REQUIREMENTS		
	Required Per ULDR	Proposed
Lot Size (Square Feet/Acreage)	none / none	37,897 SF / 0.87 AC
Lot Density (Units/Acres)	N/A	N/A
Lot Width	193'	193'
Building Height (Feet/Floors)	150' allowed	81'-7" (top of roof) / 6 Floors
Structure Length	none	147'
Floor Area Ratio (FAR)	none	N/A
Lot Coverage	none	33%
Vehicular Use Area	none	none
Parking Spaces	1 sp/5,000 SF GFA = 23 required	1 sp/5,000 SF GFA = 23 proposed
SETBACKS		
	Required	Proposed
Front (North)	(B-2) 5/20' from the curb at SR 84 / (CB) 5/20'	20' from the curb at SR 84 / N/A
Side (East)	(B-2) 15' / (CB) 10' w/ residential or none	5' / N/A
Side (West)	(B-2) 15' / (CB) 10' w/ residential or none	28-9' / N/A
Rear (South)	(B-2) 20' w/ Residential / (CB) 15' + 40'-0" (Bldg Ht) = 55'-0"	N/A / 56'-10'
Open Space	none	15,648± SF / 41%
Landscape	none	15,648± SF / 41%



		PROPOSED MIX												TOTAL							
LOCKER SIZE		INTERIOR CLIMATE												QTY	SQ. FT.	%					
		1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	4th Flr	SQ. FT.	%				5th Flr	SQ. FT.	%	6th Flr	SQ. FT.
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	17	1,360	12%	16	1,280	11%	84	6,720	11%
8 x 12	2	192	5%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	12	1,152	2%
10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
BONUS	10	619	18%	8	562	5%	8	562	5%	8	562	5%	9	562	5%	9	562	5%	52	3,429	6%
<b>TOTAL</b>	<b>44</b>	<b>3,471</b>	<b>100%</b>	<b>164</b>	<b>11,574</b>	<b>100%</b>	<b>164</b>	<b>11,504</b>	<b>100%</b>	<b>164</b>	<b>11,574</b>	<b>100%</b>	<b>165</b>	<b>11,504</b>	<b>100%</b>	<b>165</b>	<b>11,574</b>	<b>100%</b>	<b>866</b>	<b>61,201</b>	<b>100%</b>

JORGE FIALLO  
FLORIDA P.E. #65527  
Drawings not valid unless Signed, Sealed and Dated by a Registered Professional

NO. REVISIONS DATE

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JOB NUMBER:  
**20-200-00514**

ISSUE DATE: MARCH 2020  
DRAWN BY:  
CHECKED BY: J. FIALLO  
ISSUE:

SITE PLAN

**A-1.0**

SHEET NUMBER



**FIALLO'S  
MEP  
DESIGN, INC**

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305.877.1845  
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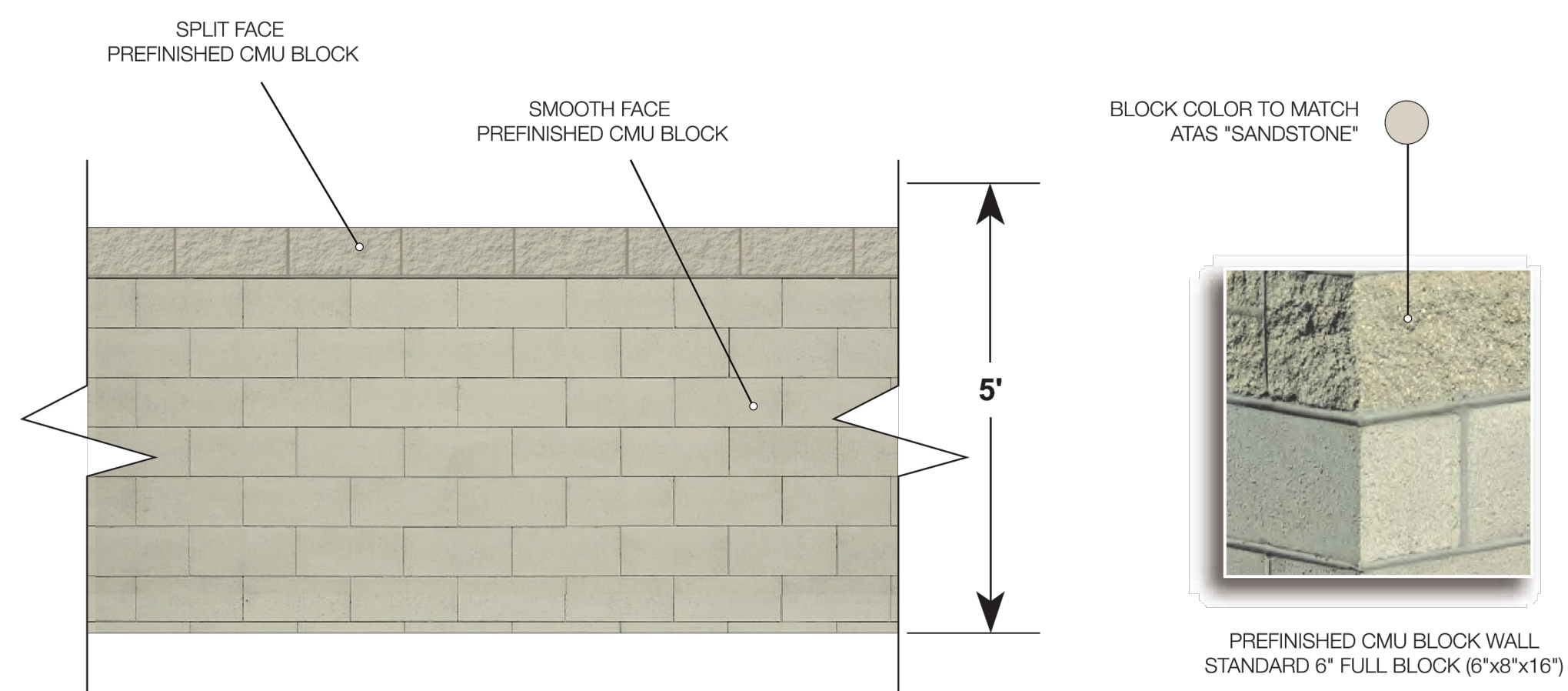
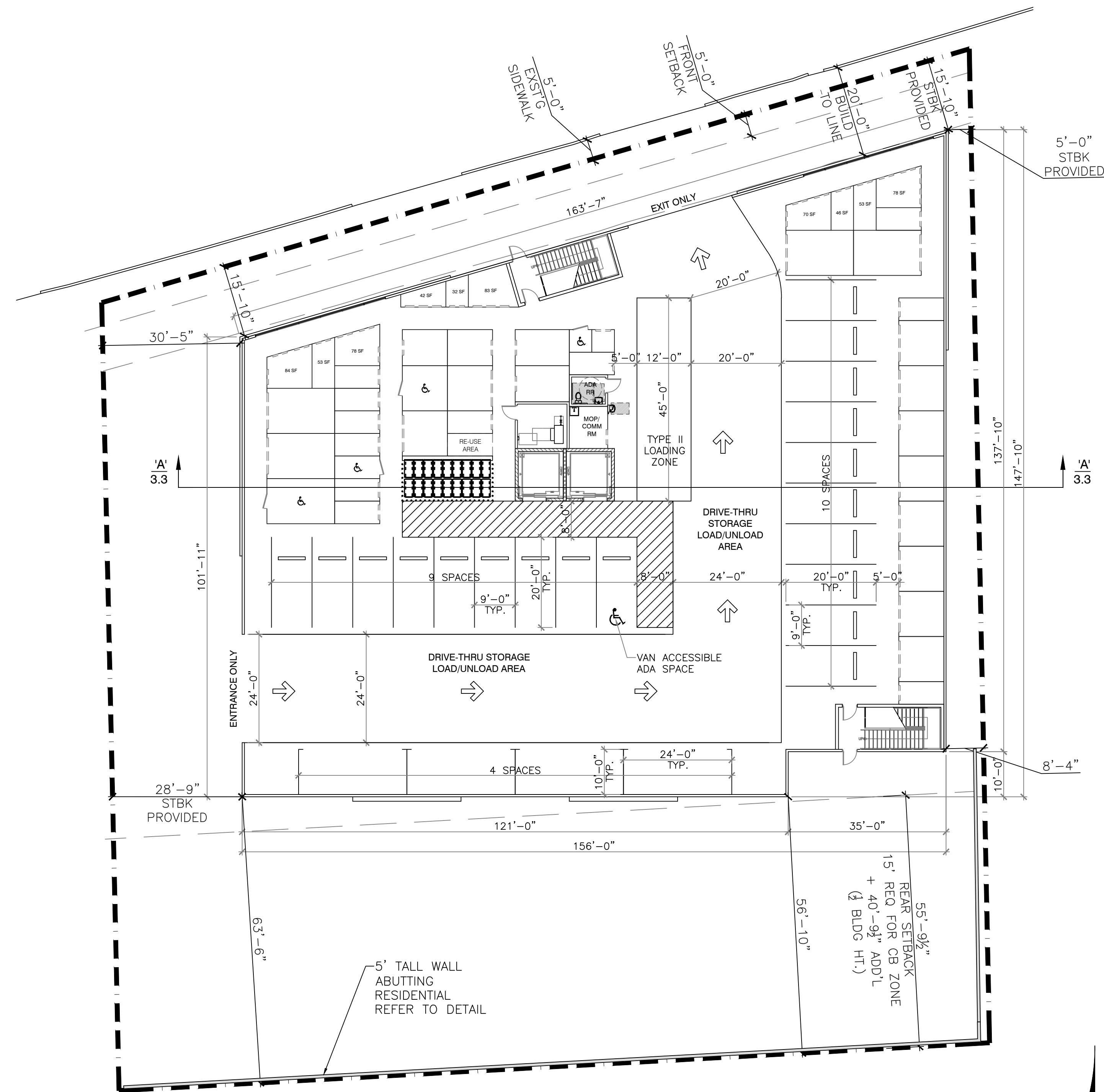
ISSUE DATE: MARCH 2020  
DRAWN BY:  
CHECKED BY: J. FIALLO  
ISSUE:

FLOOR PLAN

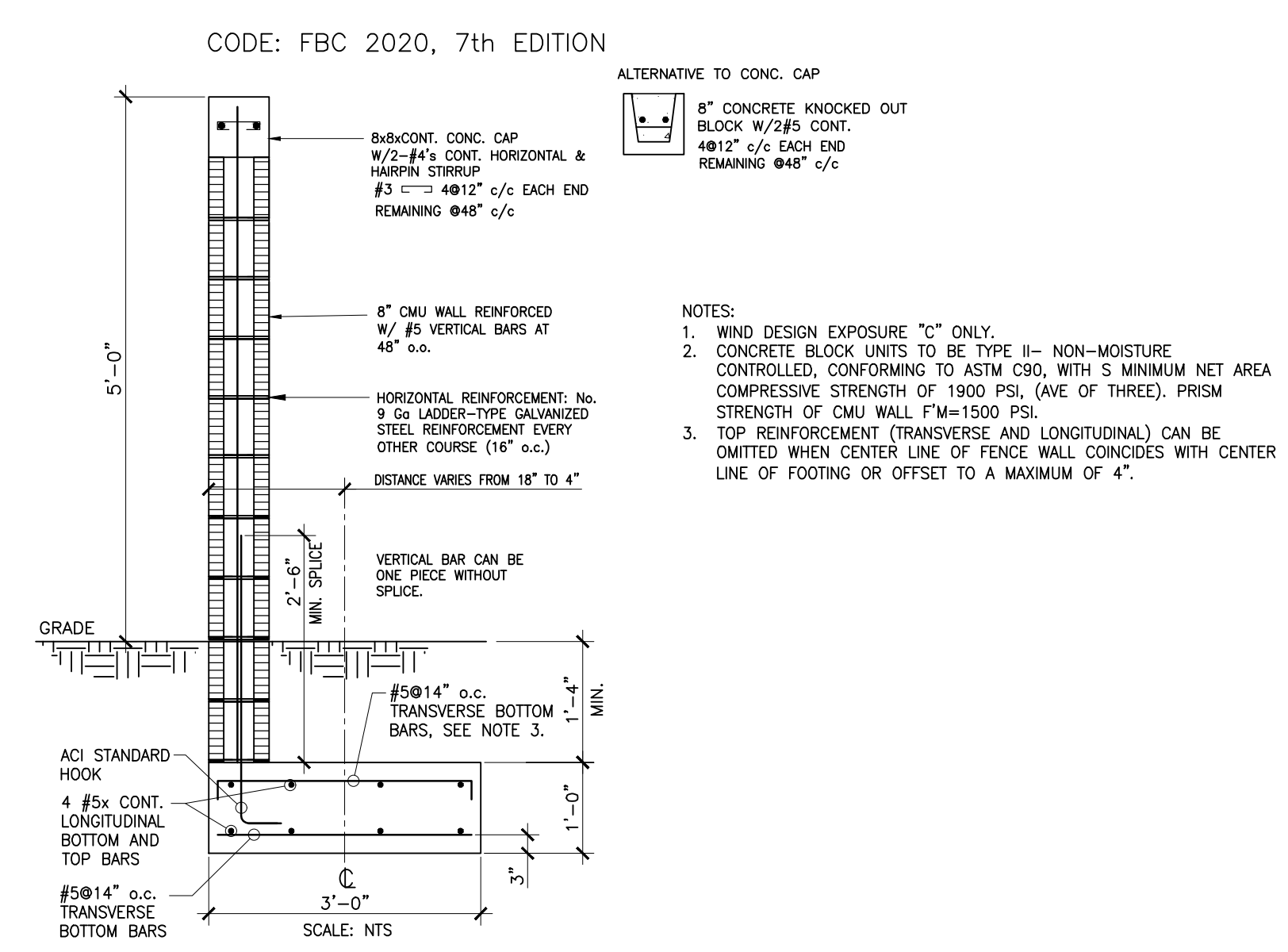
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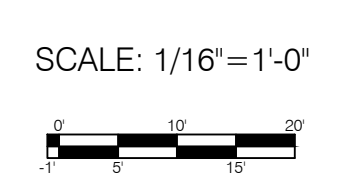
LOCKER SIZE	PROPOSED MIX																				
	INTERIOR CLIMATE															TOTAL					
	1st Flr	SO. FT.	%	2nd Flr	SO. FT.	%	3rd Flr	SO. FT.	%	4th Flr	SO. FT.	%	5th Flr	SO. FT.	%	6th Flr	SO. FT.	%	QTY	SO. FT.	%
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	17	1,360	12%	16	1,280	11%	84	6,720	11%
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10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
BONUS	10	619	18%	8	562	5%	8	562	5%	8	562	5%	9	562	5%	9	562	5%	52	3,429	6%
TOTAL	44	3,471	100%	164	11,574	100%	164	11,504	100%	164	11,574	100%	165	11,504	100%	165	11,574	100%	866	61,201	100%



**2 SOUTH & EAST WALL RENDER DETAIL (TYP)**  
SCALE: N.T.S.

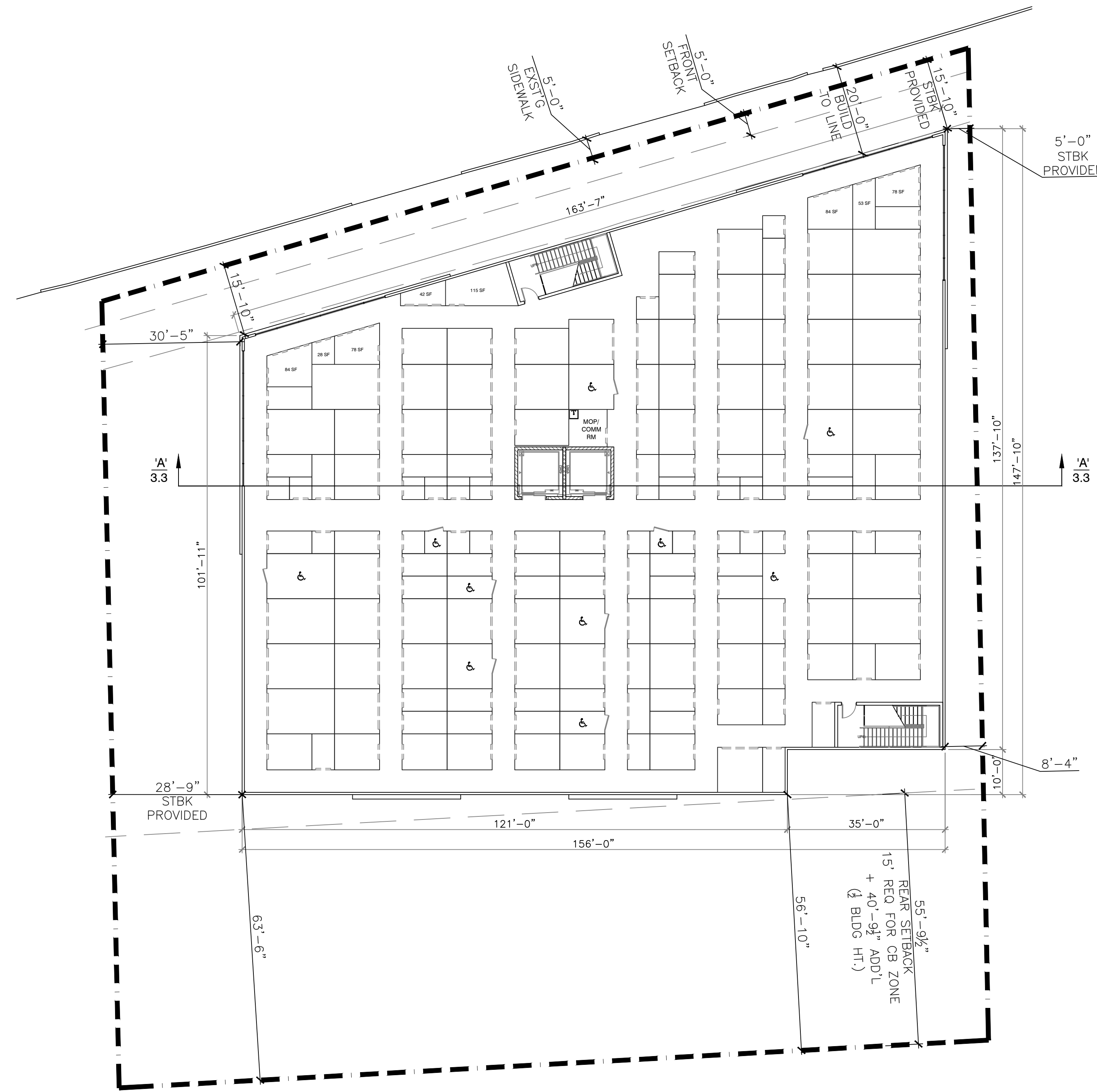


**1 WALL SECTION DETAIL (TYP)**  
SCALE: N.T.S.

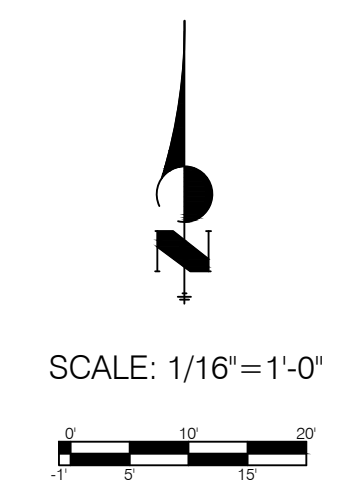


1st Floor

PROPOSED MIX																					
LOCKER SIZE	INTERIOR CLIMATE															TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	4th Flr	SQ. FT.	%	5th Flr	SQ. FT.	%	6th Flr	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
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10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
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2nd, 4th, 6th FLOORS



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CA# 28637

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JOB NUMBER:  
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 ISSUE: -

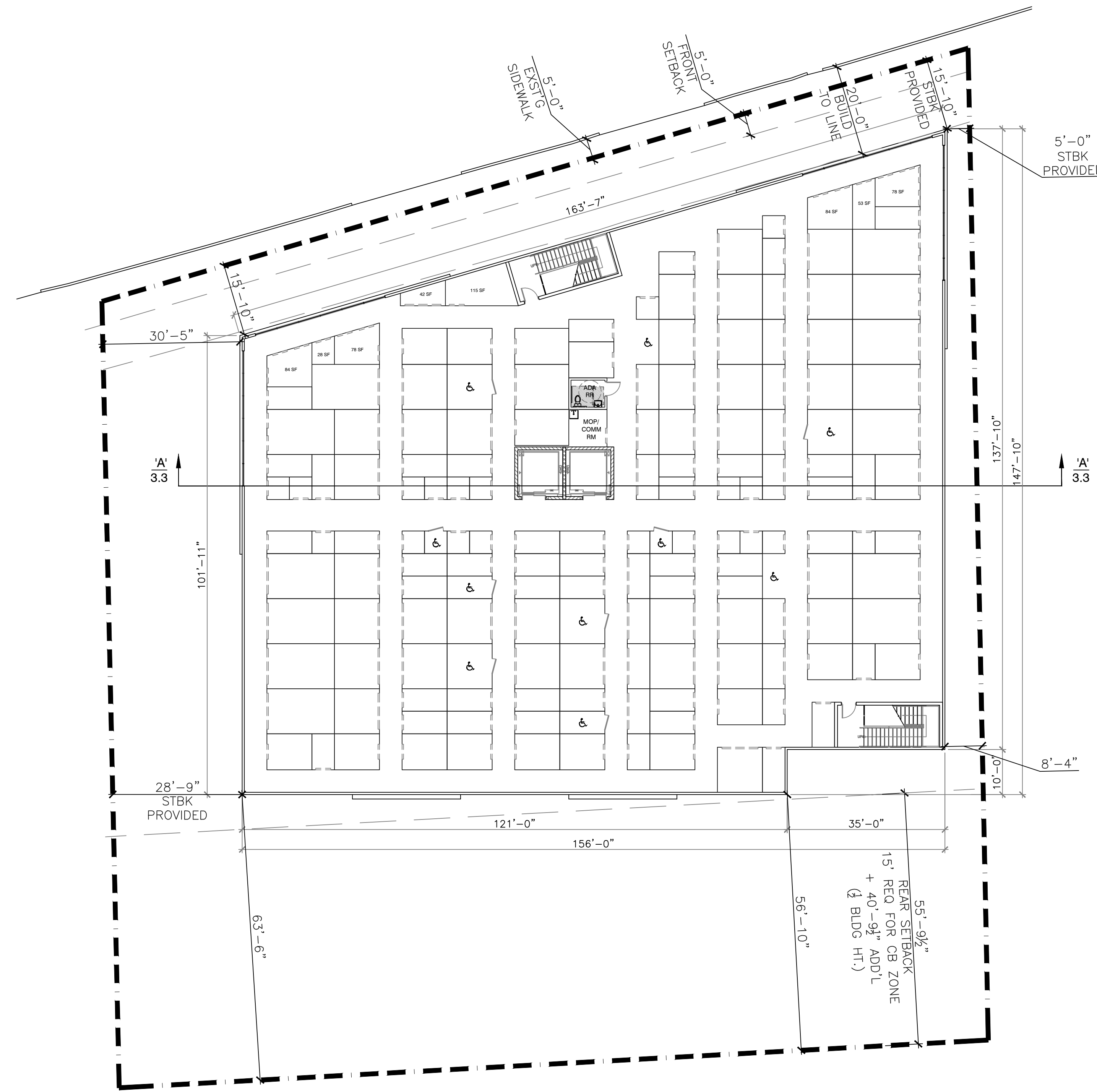
**FLOOR PLAN**  
 2nd, 4th AND 6th FLOORS

**A-1.2**

SHEET NUMBER



PROPOSED MIX																					
LOCKER SIZE	INTERIOR CLIMATE															TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	4th Flr	SQ. FT.	%	5th Flr	SQ. FT.	%	6th Flr	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	17	1,360	12%	16	1,280	11%	84	6,720	11%
8 x 12	2	192	5%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	12	1,152	2%
10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
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TOTAL	44	3,471	100%	164	11,574	100%	164	11,504	100%	164	11,574	100%	165	11,504	100%	165	11,574	100%	866	61,201	100%



3rd, 5th FLOORS

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CA# 28637

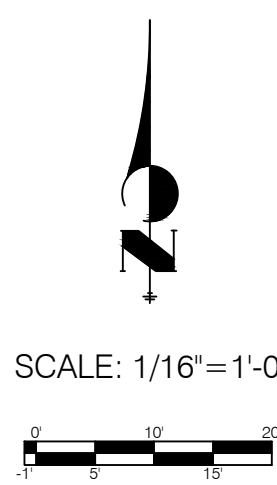
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NO.	REVISIONS	DATE

JOB NUMBER:  
**20-200-00514**

ISSUE DATE: MARCH 2020  
 DRAWN BY:  
 CHECKED BY: J. FIALLO  
 ISSUE:



**FLOOR PLAN**  
**3rd AND 5th FLOORS**

**A-13**

SHEET NUMBER



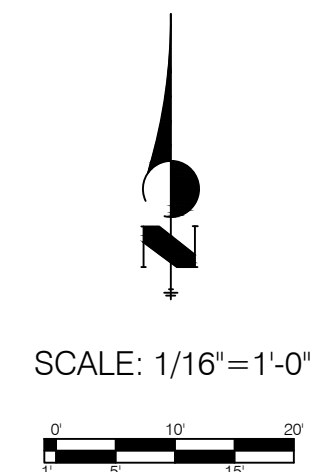
NEW 6-STORY STORAGE BUILDING  
AMERCO - Self-Storage Facility 788054  
1800 West State Road 84  
Ft. Lauderdale, FL 33315

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JOB NUMBER:  
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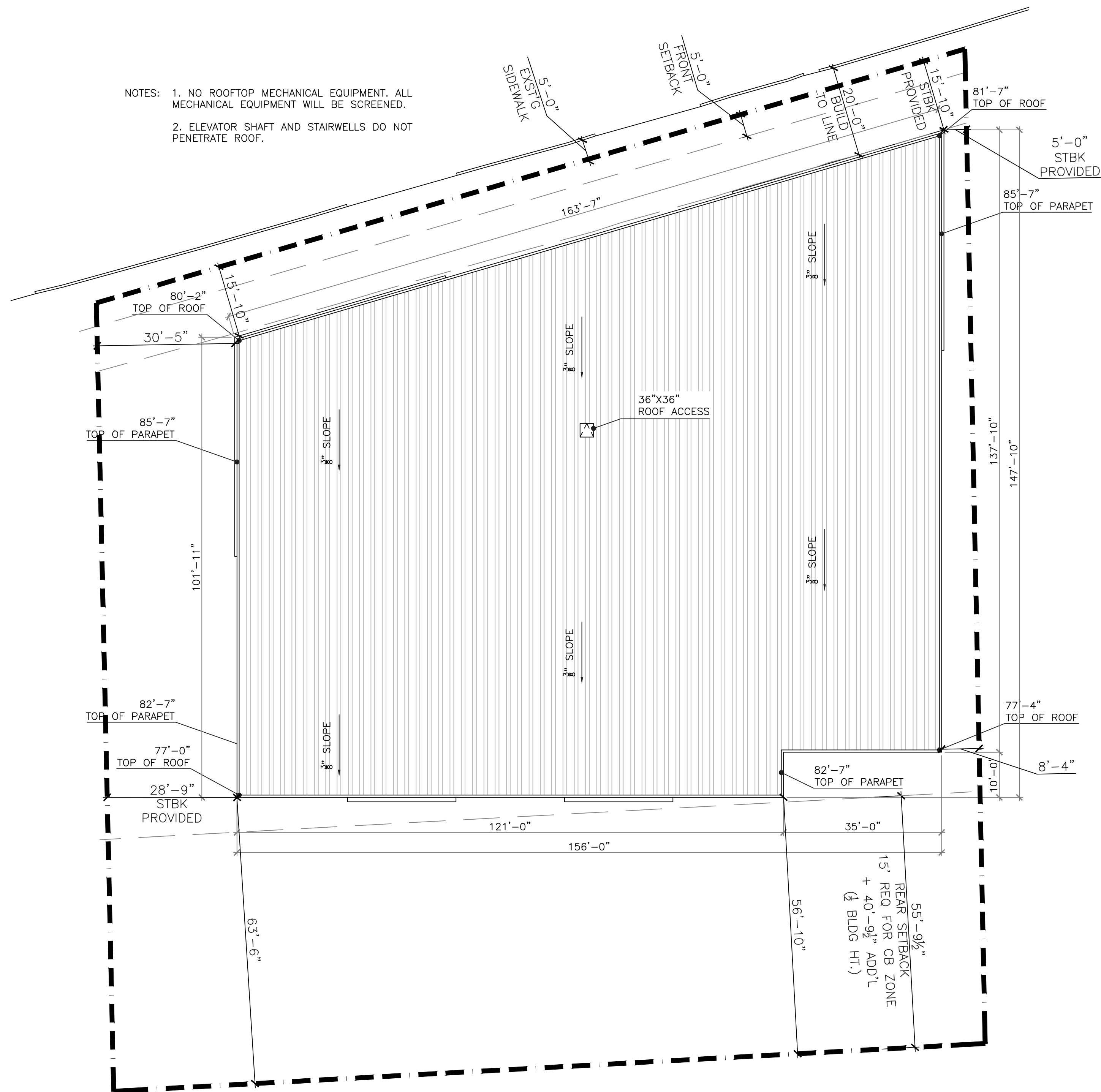
ISSUE DATE:	MARCH 2020
DRAWN BY:	J. FIALLO
CHECKED BY:	J. FIALLO
ISSUE:	-



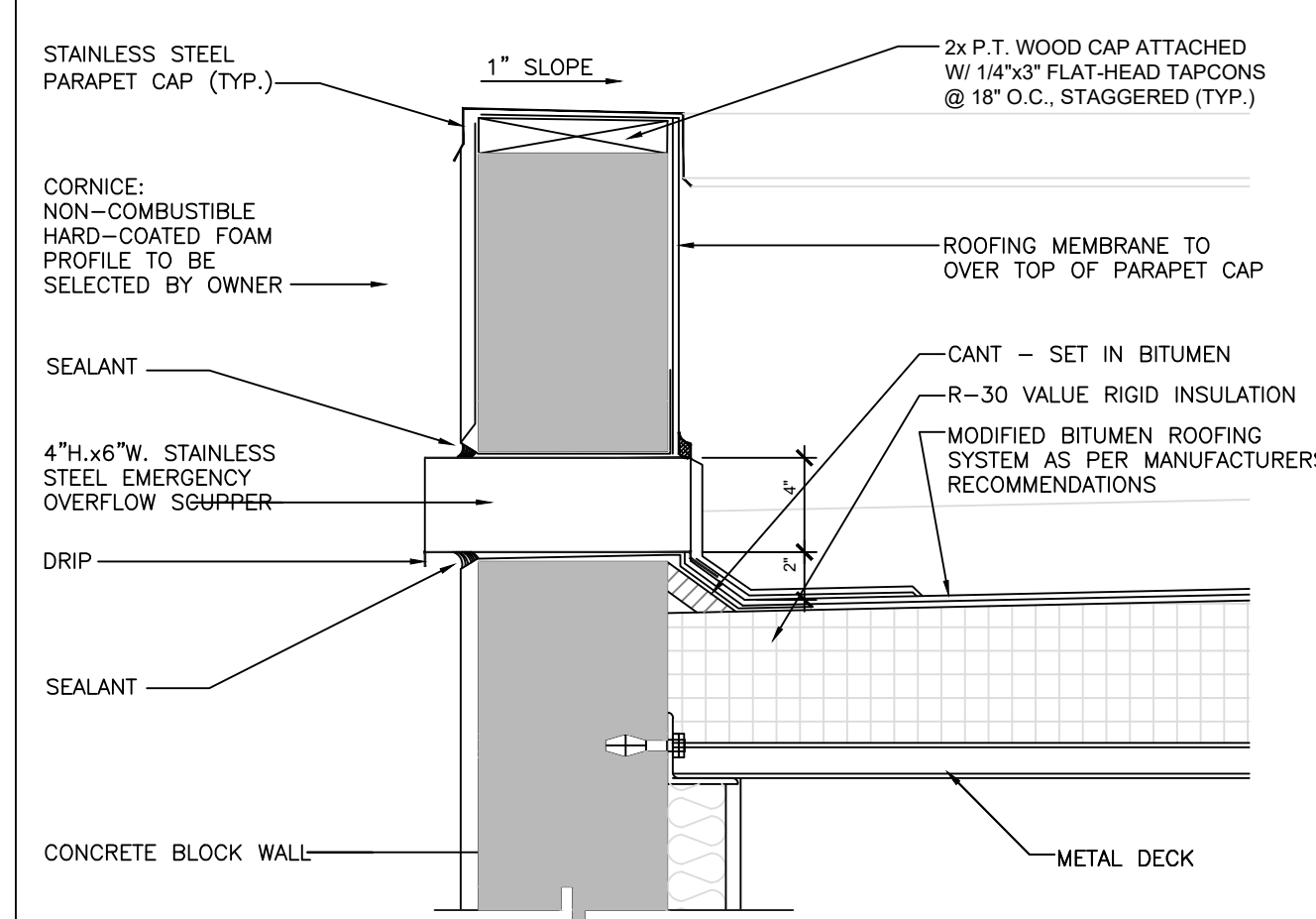
ROOF PLAN

A-2.0

SHEET NUMBER

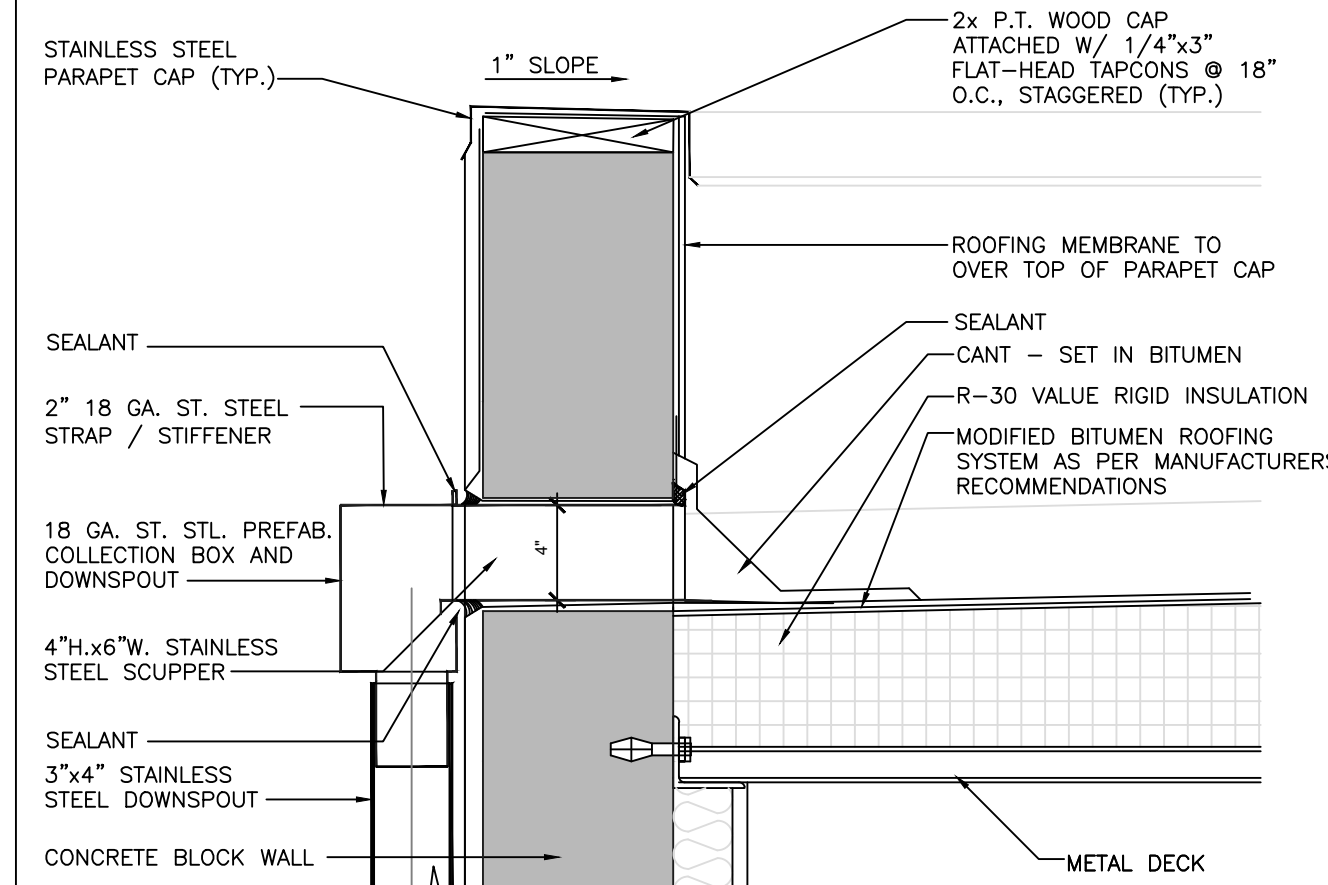


- NOTES:
1. NO ROOFTOP MECHANICAL EQUIPMENT. ALL MECHANICAL EQUIPMENT WILL BE SCREENED.
  2. ELEVATOR SHAFT AND STAIRWELLS DO NOT PENETRATE ROOF.



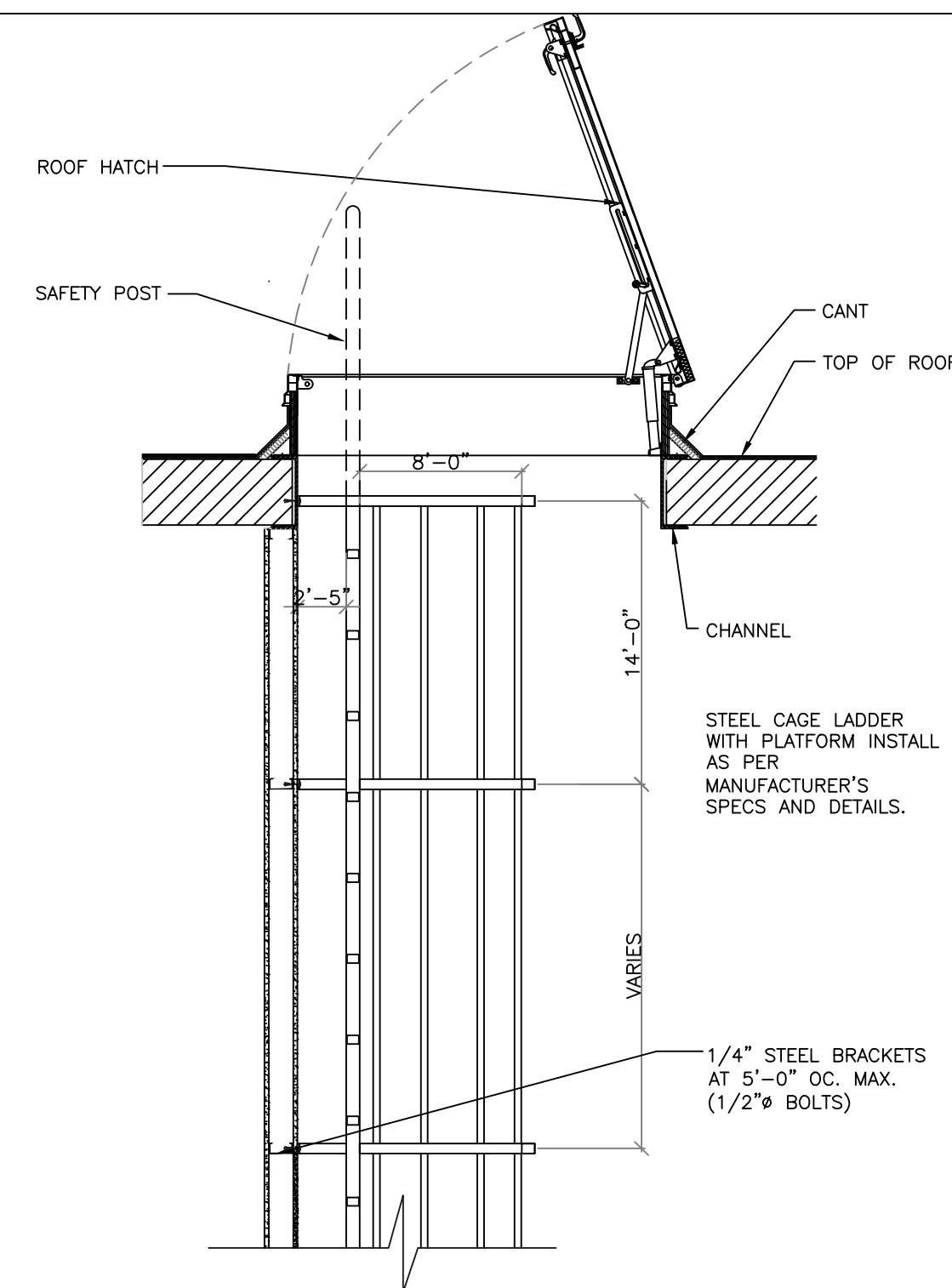
**3**  
**TYPICAL OVERFLOW  
SCUPPER DETAIL**

A-2.0 SCALE: N.T.S.



**2**  
**TYPICAL SCUPPER &  
DOWNSPOUT DETAIL**

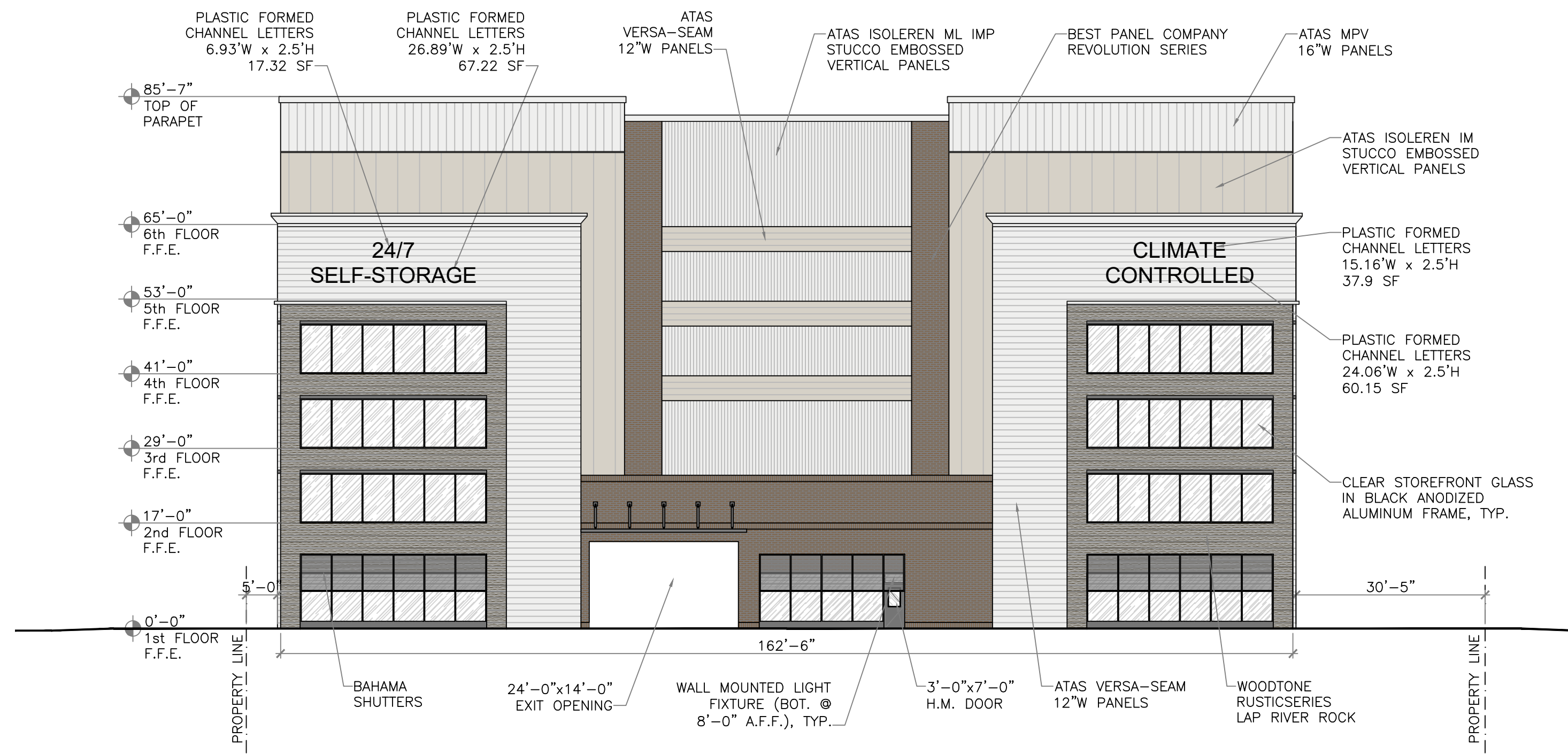
A-2.0 SCALE: N.T.S.



**3**  
**TYPICAL ROOF HATCH  
& LADDER DETAIL**

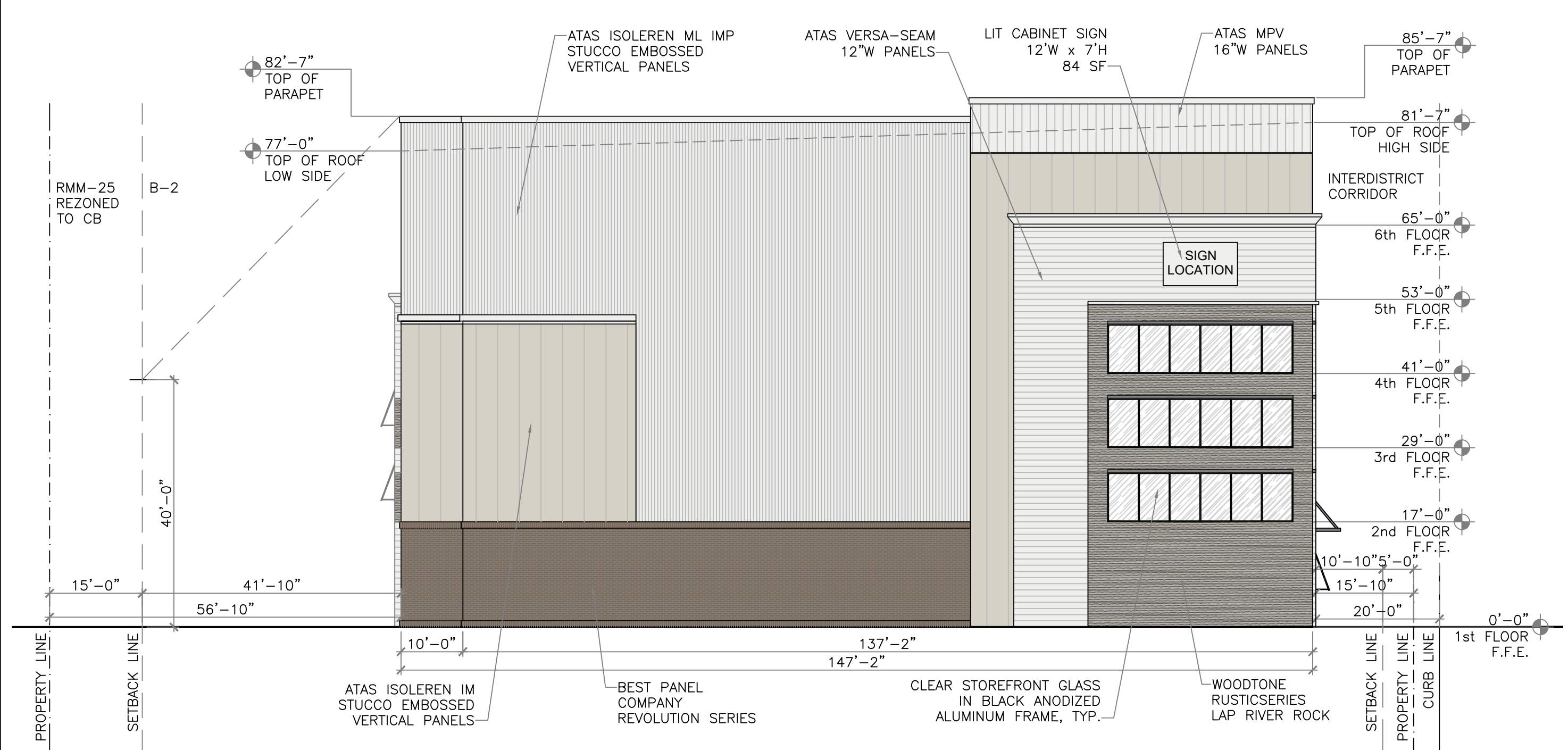
A-2.0 SCALE: N.T.S.





NORTH ELEVATION

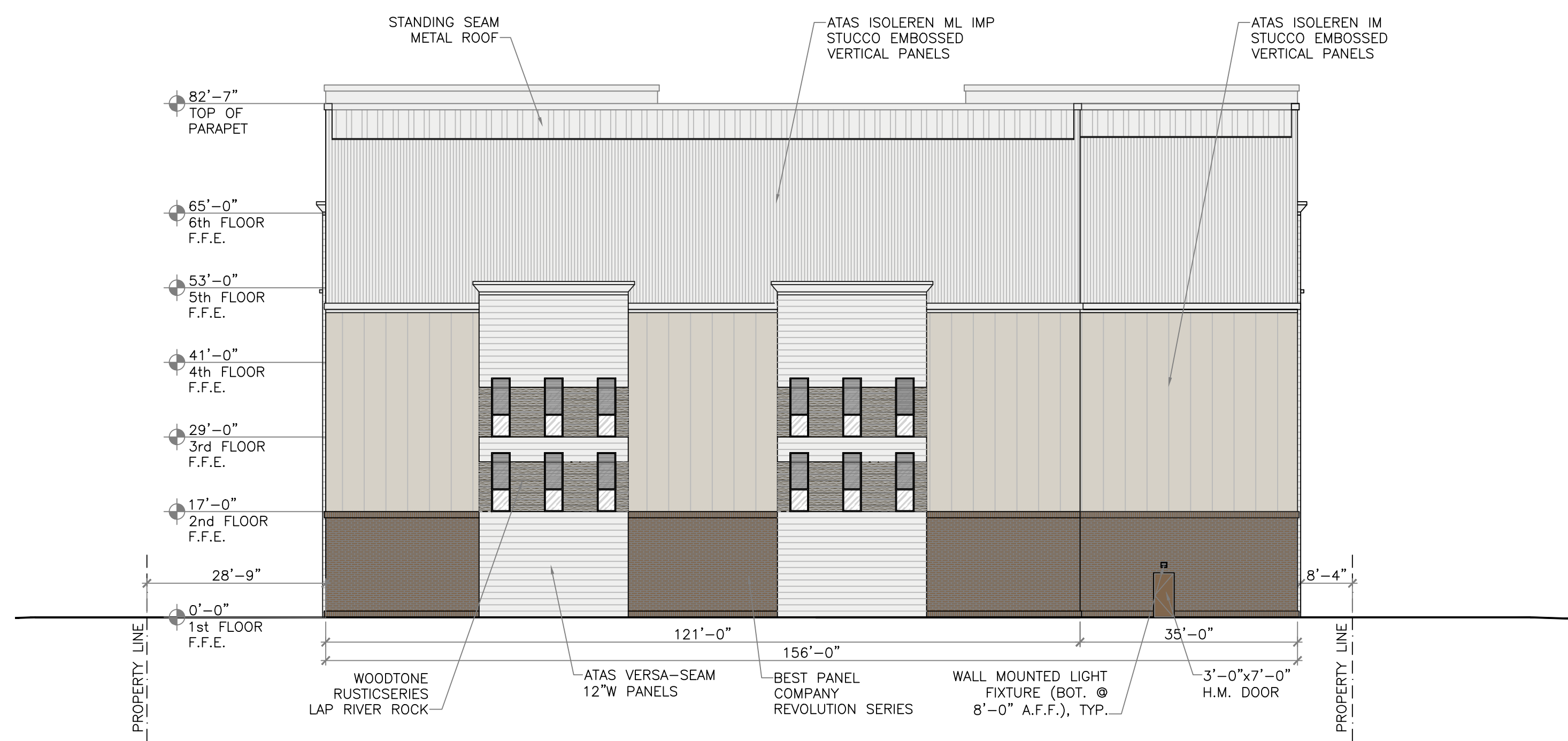
SCALE: 1/16" = 1'-0"



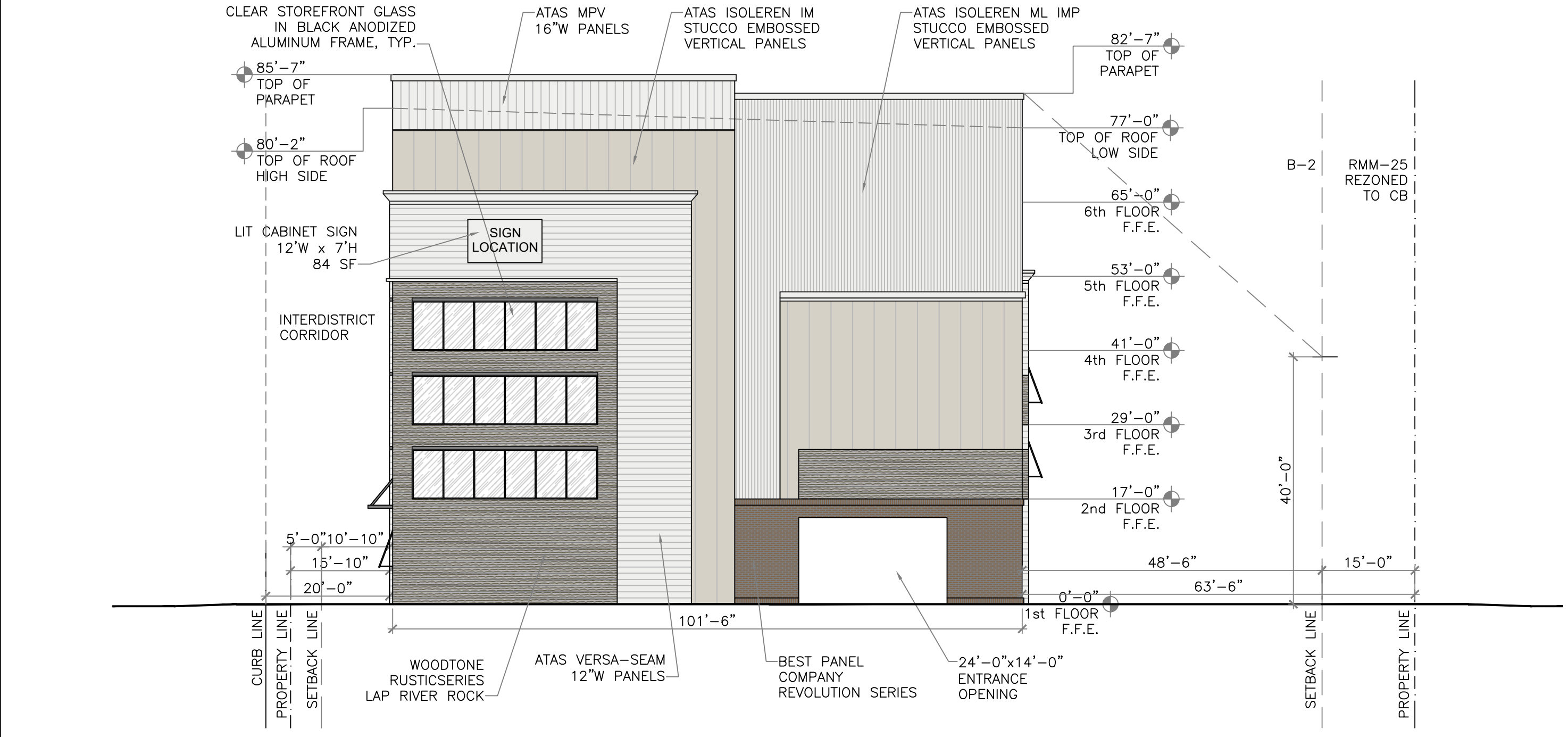
EAST ELEVATION

SCALE: 1/16" = 1'-0"

When any side of a structure greater in height than 40' is contiguous to residential property, that portion of the structure shall be set back 1' for each 1' of building height over 40' up to a maximum width equal to one-half the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.



SOUTH ELEVATION



WEST ELEVATION

SCALE: 1/16" = 1'-0"

When any side of a structure greater in height than 40' is contiguous to residential property, that portion of the structure shall be set back 1' for each 1' of building height over 40' up to a maximum width equal to one-half the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.



NEW 6-STORY STORAGE BUILDING  
AMERCO- Self-Storage FACILITY 788054  
1800 West State Road 84  
Ft. Lauderdale, FL 33315

JORGE FIALLO  
FLORIDA P.E. #65527  
Drawings not valid unless Signed, Sealed  
and Dated by a Registered Professional

NO.	REVISIONS	DATE
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▲		
▲		
▲		

JOB NUMBER:  
20-200-00514

ISSUE DATE:	MARCH 2020
DRAWN BY:	
CHECKED BY:	J. FIALLO
ISSUE:	-

NORTH ELEVATION  
TRANSPARENCY REQUIREMENT

**A-3.2**

SHEET NUMBER

35% MINIMUM TRANSPARENCY – FIRST FLOOR  
1st FLOOR – 162'-6"x17'-0" = 2762.5 S.F.  
2763 SF x 35% = 967 SF REQUIRED  
■ 1020 SF PROVIDED



NORTH ELEVATION - TRANSPARENCY REQUIREMENT

SCALE: 3/32" = 1'-0"



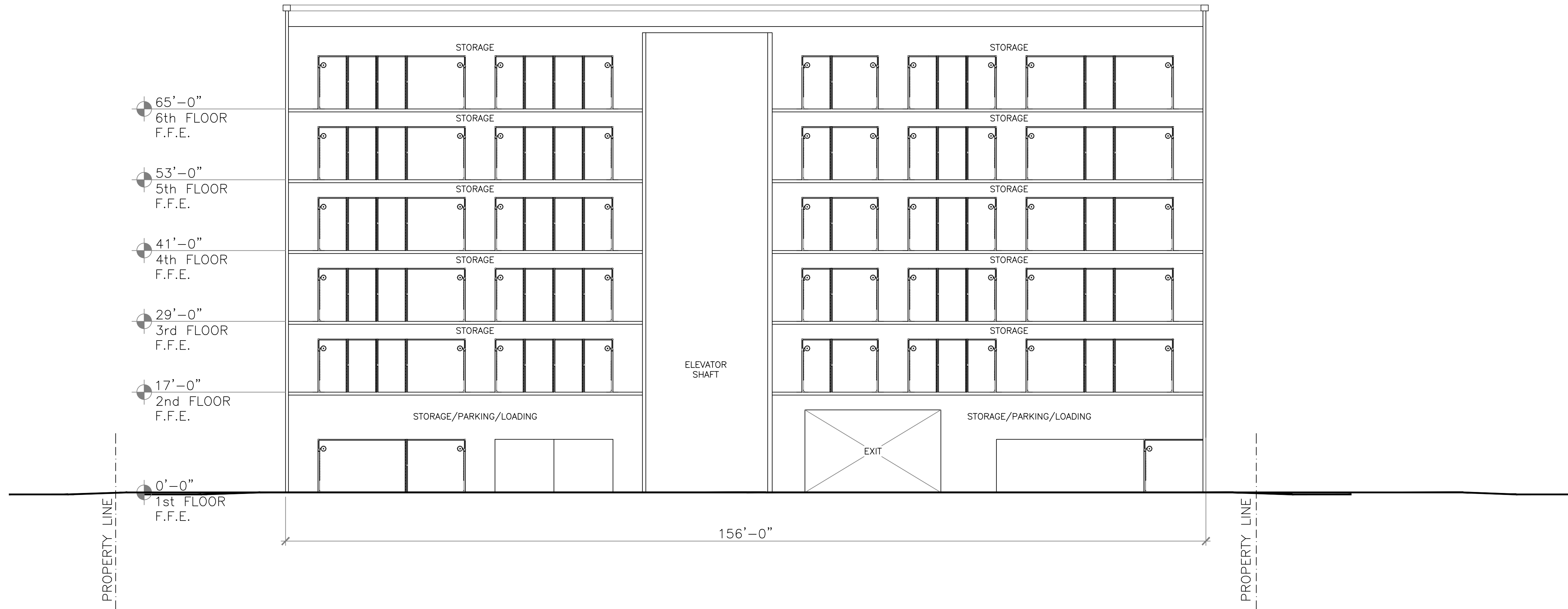
# FIALLO'S MEP

DESIGN, INC

10010 SW 83rd St.  
Miami, FL 33173  
305.877.1845  
Jfiallo@fiallomepdesign.com

CA# 28637

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ISSUE:	-

CROSS SECTION  
A

**A-3.3**







SHEET NUMBER

CROSS SECTION 'A'

SCALE: 3/32" = 1'-0"



**LIFE SAFETY PLAN LEGEND**

-  2 HOUR FIRE RATED WALL AS PER UL DESIGN BRN.Y.U.R.95
-  PRIMARY MEANS OF EGRESS
-  TRAVEL ROUTE & DIRECTION
-  CEILING & WALL MOUNTED EXIT SIGNS ON BATTERY BACK-UP
-  F.E. LOCATION BRACKET MOUNTED FIRE EXTINGUISHER, (MULTI-CLASS)
-  F.E.K. LOCATION BRACKET MOUNTED FIRE EXTINGUISHER, (K-CLASS)



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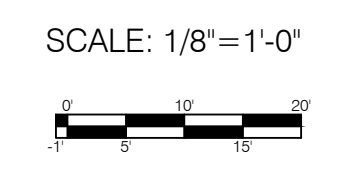
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**LIFE SAFETY TYPICAL  
FLOOR PLAN**

**A-4.0**

SHEET NUMBER



Typical Life Safety



# PAVING, GRADING & DRAINAGE PLAN

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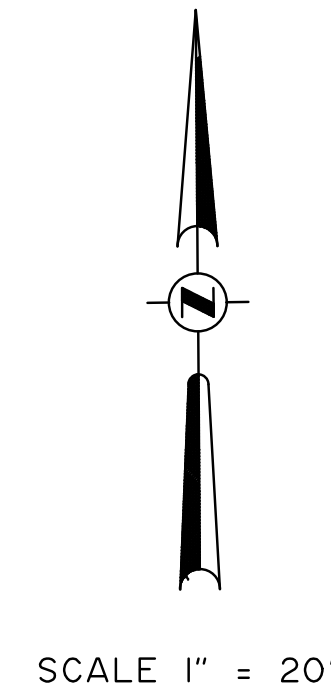


Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

## CONSTRUCTION NOTES:

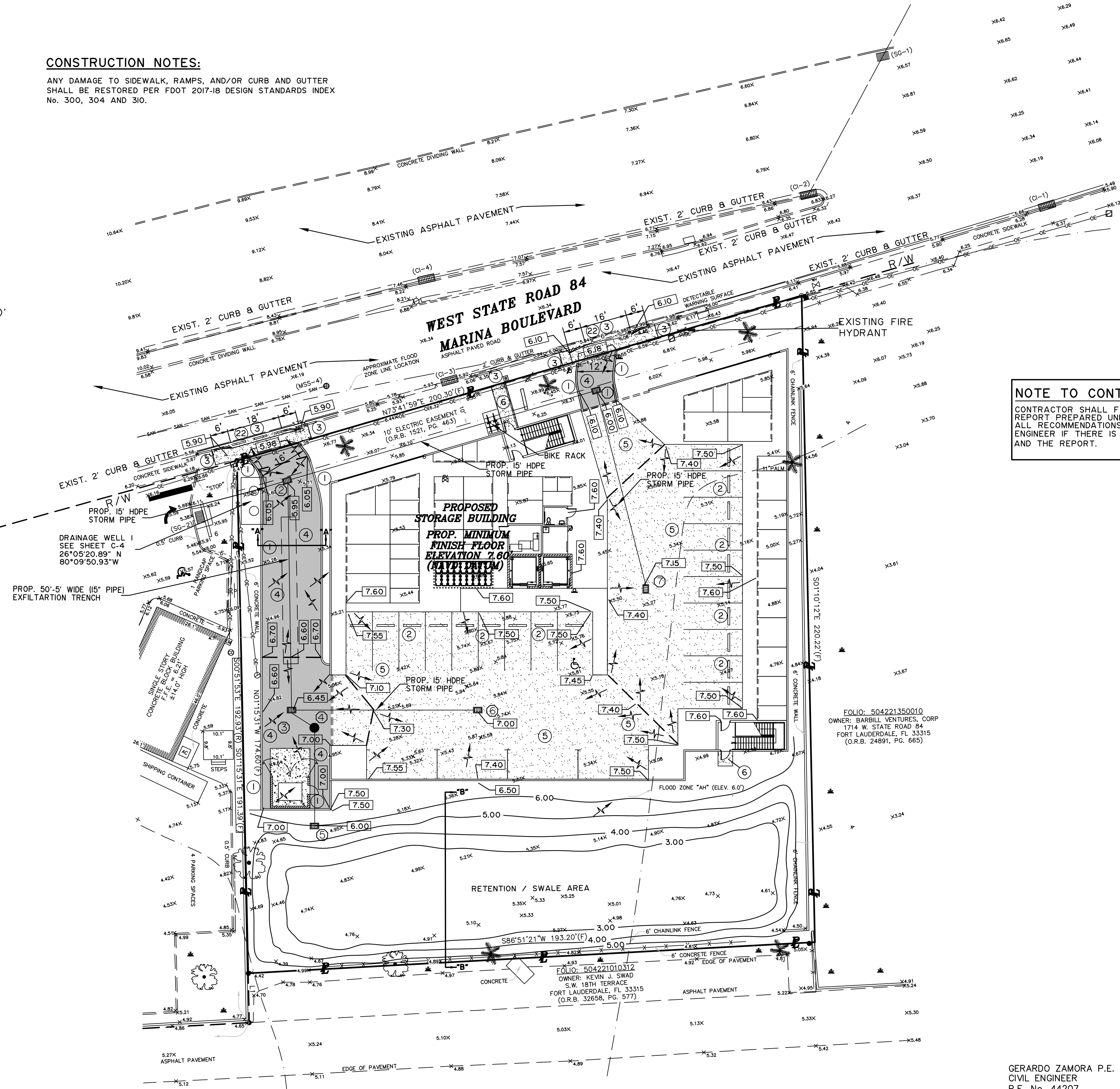
ANY DAMAGE TO SIDEWALK, RAMPS, AND/OR CURB AND GUTTER SHALL BE RESTORED PER FDOT 2017-18 DESIGN STANDARDS INDEX No. 300, 304 AND 310.



## LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- 3% EXISTING ELEVATION
- 10.9 PROPOSED ELEVATION
- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED NEW ASPHALT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER

SCALE 1" = 20'



**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOILS REPORT PREPARED UNIVERSAL SOILS AND SHALL IMPLEMENT ALL RECOMMENDATIONS IDENTIFIED. CONTRACTOR TO NOTIFY ENGINEER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE REPORT.

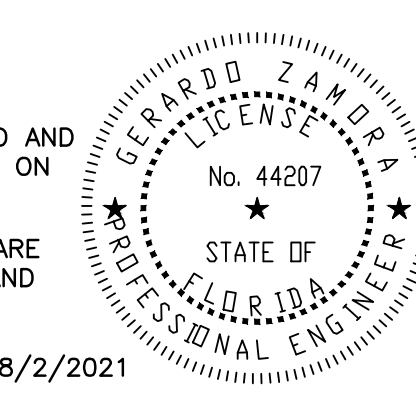
## SCHEDULE NOTES

- ① NEW 6" TYPE "D" CONCRETE CURB
- ② NEW WHEEL STOP/BUMPER
- ③ EXISTING PAVEMENT LINE
- ④ NEW ASPHALT PAVEMENT
- ⑤ NEW CONCRETE PAVEMENT
- ⑥ NEW CONCRETE SIDEWALK (6" THICK)
- ⑦ NEW 4" PAINTED STRIPING (SINGLE)
- ⑧ NEW 4" PAINTED WHITE STRIPING
- ⑨ NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- ⑩ NEW PAINTED DIRECTIONAL ARROW
- ⑪ NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
- ⑫ NEW STOP SIGN (R1-1)
- ⑬ NEW TYPICAL "HANDICAP" SIGN
- ⑭ NEW HANDICAP RAMP (1:12 MAX SLOPE)
- ⑮ NEW 3' MINIMUM DETECTABLE WARNING
- ⑯ NEW 25' OF 2-6" YELLOW THERMOPLASTIC
- ⑰ NEW 4" CONCRETE INSIDE STEEL BOLLARD
- ⑱ NEW LIGHT POLES
- ⑲ NEW PEDESTRIAN PAVERS
- ⑳ NEW 2' CURB & GUTTER (TYPE "F")
- ㉑ NEW SOD AREA
- ㉒ NEW 2' VALLEY GUTTER

FOLIO: 504221350010  
OWNER: BARBILL VENTURES, CORP  
1714 W. STATE ROAD 84  
FORT LAUDERDALE, FL 33315  
(O.R.B. 24891, PG. 665)

FOLIO: 504221010312  
OWNER: KENN W. SHAW  
S.W. 18TH TERRACE  
FORT LAUDERDALE, FL 33315  
(O.R.B. 32656, PG. 377)

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GERARDO ZAMORA P.E.  
CIVIL ENGINEER  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

DATE: 11/3/2020  
PROJECT No. 2020-13

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
(305) 273-7801 FAX (305) 273-9514

**NEW 5-STORY STORAGE BUILDING  
AMERCO FACILITY 788054  
1800 West State Road 84  
Ft. Lauderdale, FL 33315**

JORGE FIALLO  
FLORIDA P.E. #65527  
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ISSUE:	-

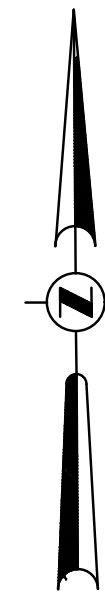
**C-1**

SHEET NUMBER



# ROADWAY MARKING & SIGNAGE PLAN

**Sunshine 811**  
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.  
 Check positive response codes before you dig!



SCALE 1" = 20'

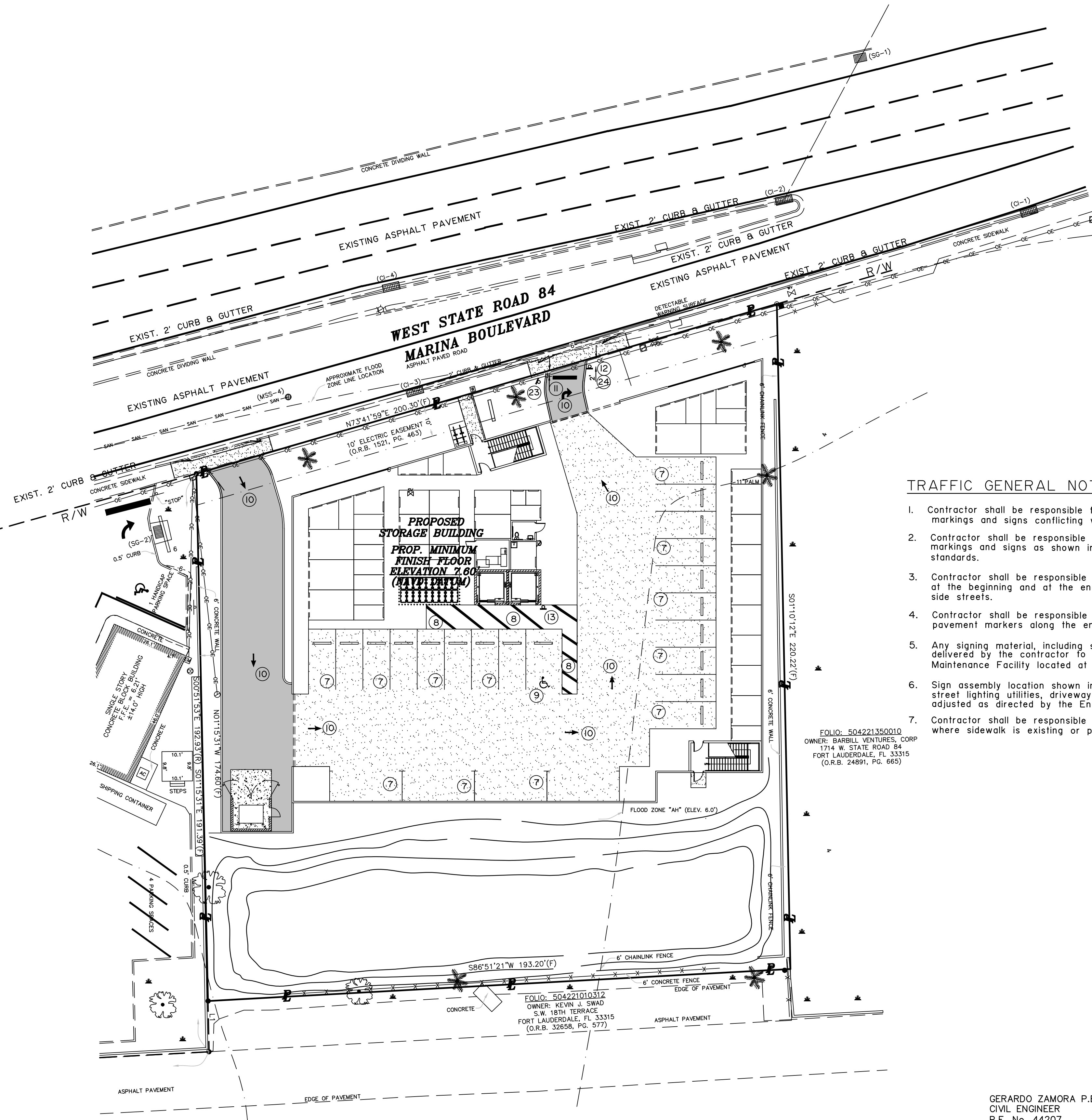
**LEGEND**

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- ~%~ EXISTING ELEVATION
- ▭ PROPOSED ELEVATION
- ▭ PROPOSED CONCRETE
- ▭ EXISTING ASPHALT
- ▭ PROPOSED NEW ASPHALT
- RUN OFF DIRECTION
- ≡≡≡ EXIST. TYPE "F" CURB & GUTTER
- ≡≡≡ PROP. TYPE "F" CURB & GUTTER
- ⊙ DRAINAGE STRUCTURE NUMBER

**SCHEDULE NOTES**

- ① NEW 6" TYPE "D" CONCRETE CURB
- ② NEW WHEEL STOP/BUMPER
- ③ EXISTING PAVEMENT LINE
- ④ NEW ASPHALT PAVEMENT
- ⑤ NEW CONCRETE PAVEMENT
- ⑥ NEW CONCRETE SIDEWALK (6" THICK)
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- ⑮ NEW 3' MINIMUM DETECTABLE WARNING
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- ⑰ NEW 4" CONCRETE INSIDE STEEL BOLLARD
- ⑱ NEW LIGHT POLES
- ⑲ NEW PEDESTRIAN PAVERS
- ⑳ NEW 2' CURB & GUTTER (TYPE "F")
- ㉑ NEW SOD AREA
- ㉒ NEW 2' VALLEY GUTTER
- ㉓ NEW "DO NOT ENTER" SIGN
- ㉔ NEW "RIGHT TURN ONLY" SIGN

S.W. 18th TERRACE



**TRAFFIC GENERAL NOTES AND CONDITIONS**

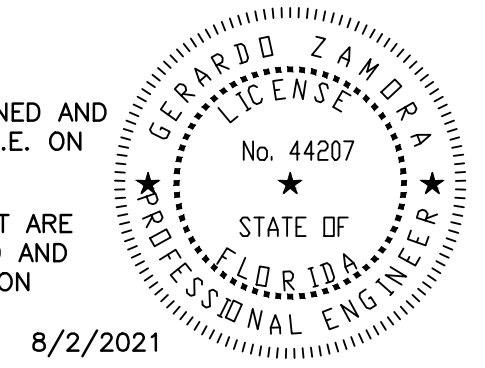
1. Contractor shall be responsible for the removal of all pavement markings and signs conflicting with the proposed roadway construction.
2. Contractor shall be responsible for the installation of all pavement markings and signs as shown in the plans and applicable traffic design standards.
3. Contractor shall be responsible for matching existing pavement markings at the beginning and at the end of the project, and at all intersecting side streets.
4. Contractor shall be responsible for the installation of reflective pavement markers along the entire length of the project.
5. Any signing material, including supports to be removed, shall be delivered by the contractor to Dade County's Traffic Signals and Signs Maintenance Facility located at 7100 N.W. 36 Street, Miami, Florida.
6. Sign assembly location shown in the plans which are in conflict with street lighting utilities, driveways, pedestrian ramps etc. may be adjusted as directed by the Engineer/Inspector.
7. Contractor shall be responsible for providing pedestrian ramps (x-walk) where sidewalk is existing or proposed (ADA-PWM)

FOLIO: 504221350010  
 OWNER: BARBILL VENTURES, CORP  
 1714 W. STATE ROAD 84  
 FORT LAUDERDALE, FL 33315  
 (O.R.B. 24891, PG. 665)

FOLIO: 504221010312  
 OWNER: KEVIN J. SHAW  
 S.W. 18TH TERRACE  
 FORT LAUDERDALE, FL 33315  
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8/2/2021

GERARDO ZAMORA P.E.  
 CIVIL ENGINEER  
 P.E. No. 44207  
 E.B. 0006791  
 STATE OF FLORIDA

DATE: 11/3/2020  
 PROJECT No. 2020-13

**ZAMORA & ASSOCIATES, INC.**

ENGINEERING      LAND PLANNING

11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
 (305) 273-7801      FAX (305) 273-9514

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 Miami, FL 33173  
 305.877.1845  
 Jfiallo@fiallompdesign.com

CA# 28637

**NEW 5-STORY STORAGE BUILDING**  
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**1800 West State Road 84**  
**Ft. Lauderdale, FL 33315**

JORGE FIALLO  
 FLORIDA P.E. #65527  
Drawings not valid unless signed, sealed and dated by a Registered Professional

NO.	REVISIONS	DATE

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**20-200-00514**

ISSUE DATE: MARCH 2020  
 DRAWN BY: J. FIALLO  
 CHECKED BY: J. FIALLO  
 ISSUE: -

C-2

SHEET NUMBER



# PAVING & DRAINAGE DETAILS PLAN

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DESIGN, INC

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Miami, FL 33173  
305.877.1845  
jfiallo@fiallompdesign.com

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NO.	REVISIONS	DATE
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2		
3		
4		
5		
6		

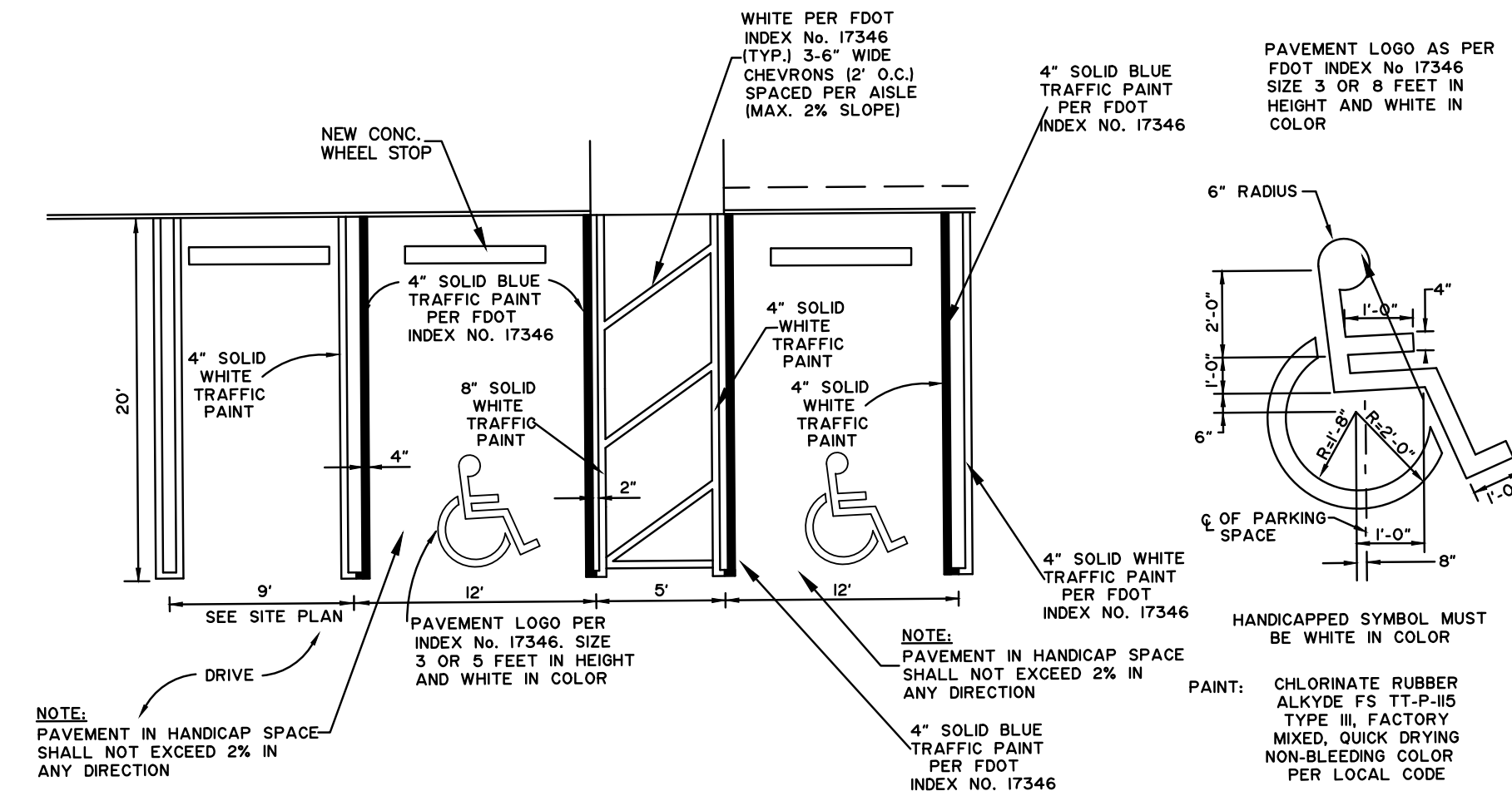
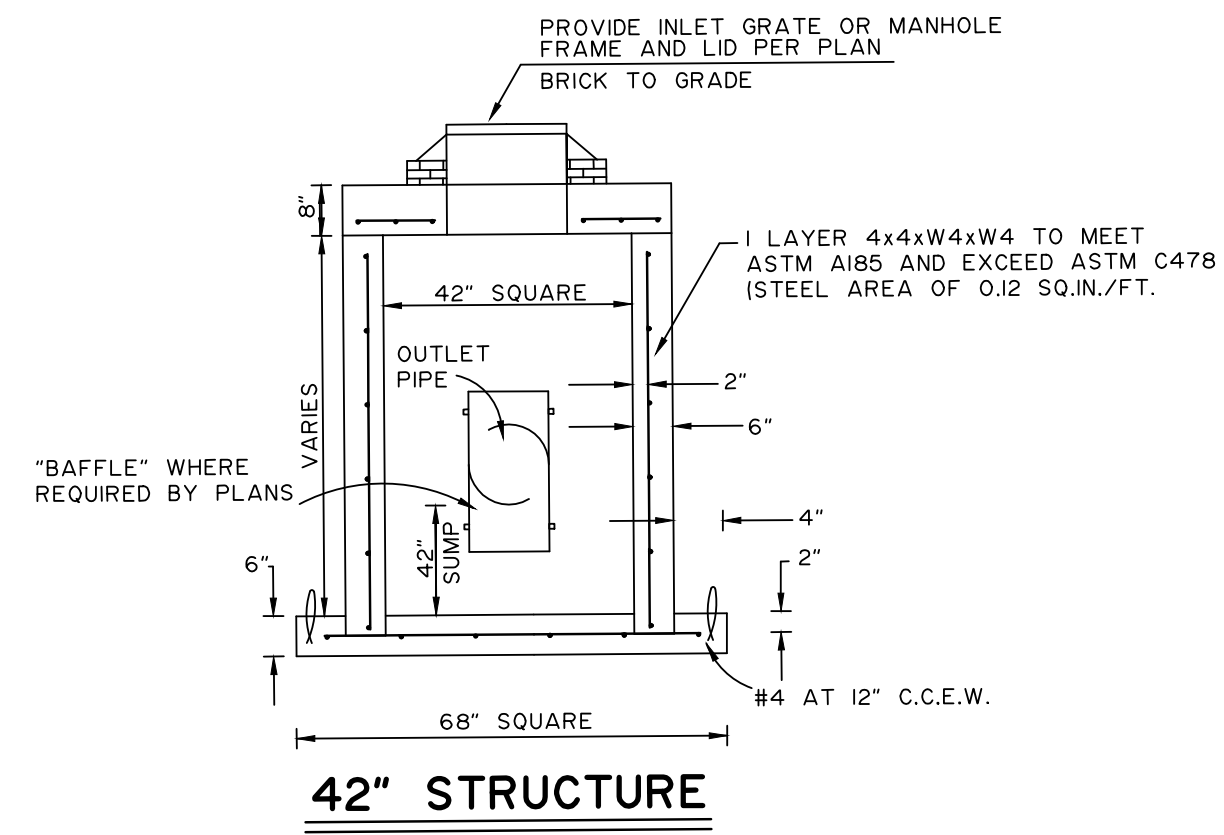
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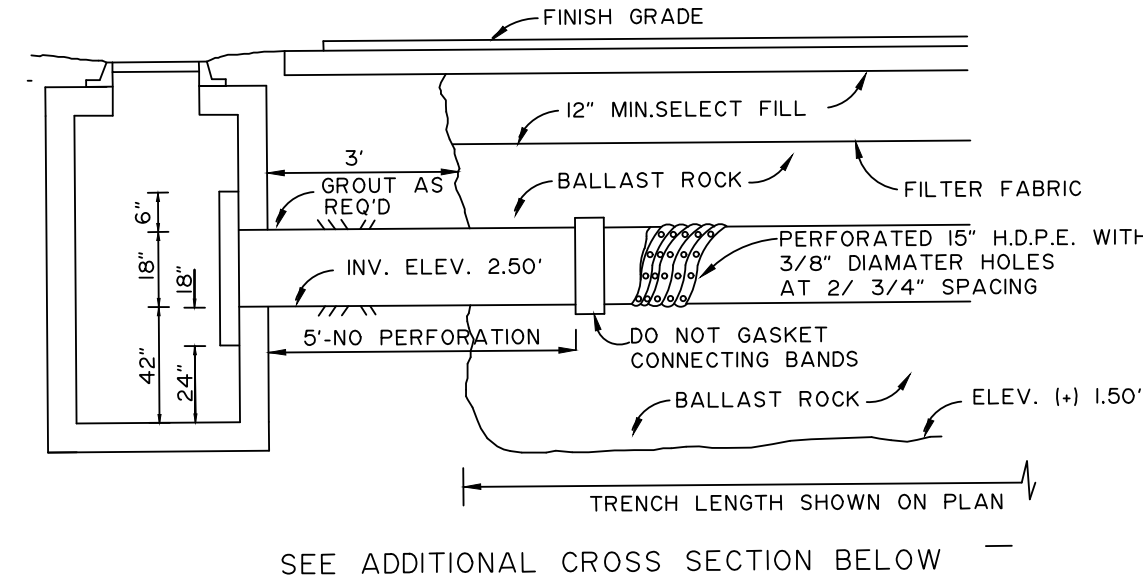
**C-3**  
SHEET NUMBER

## GENERAL NOTES:

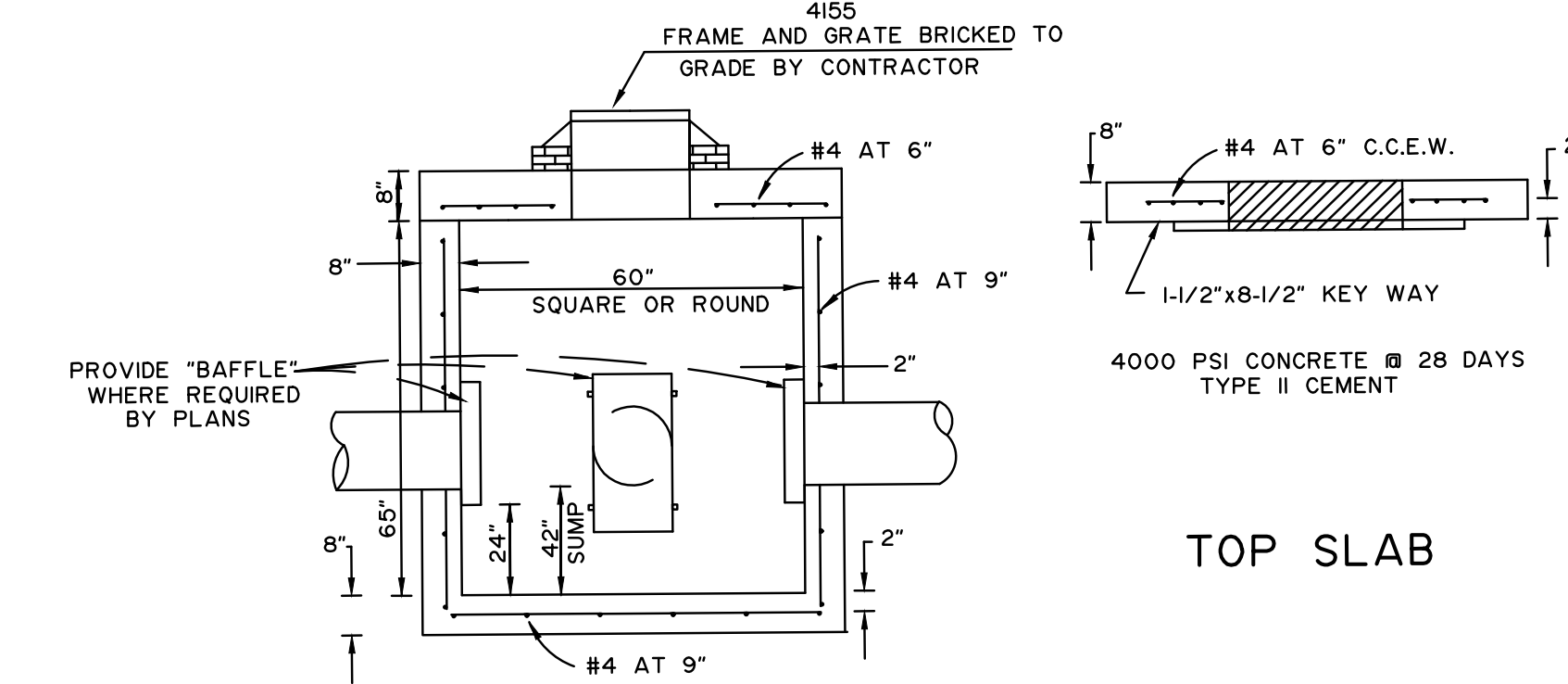
- All materials and labor under the project shall conform to City of Ft. Lauderdale Public Works Department, Florida Department of Transportation (FDOT) and Broward County DPEP Standards and Specifications.
- For site dimensions and geometry see Boundary & Site Plan.
- Elevations shown are based on N.A.V. (1988) Datum and as shown on Survey.
- Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
- Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
- Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the
- Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction. Furthermore all existing organic materials shall be removed from beneath areas of new asphalt or concrete pavement and from proposed building locations. The full depth of all existing organic and deleterious material within the right of way and utility/drainage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
- The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
- Typical Pavement Section:  
1.5" Type S-III Asphaltic Concrete surface course 6" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on 6" Limerock base compacted to 98% of maximum density as determined by AASHTO T-180 and 12" well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
- Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
- All seepage structures shall be French Drain with 15" perforated HDPE shall be used. Bottom of trench to be elevation at elevation (+) 1.50 trench width to be 5'. Provide masonry plug at end of French Drain invert of pipe to be at elevation 2.50.
- The property is located in flood zone AH, Elevation 6.00 feet, as per current Map No. I25I05 0558 H dated August 18, 2014..
- Water level elevation as determined by Broward County Department of Environmental Protection is at Elevation 2.50 Feet, (Future wets season elevation).
- Background information obtained from Boundary Survey prepared by Deren Land Professional Surveyors Inc. Dated November 25, 2019.
- All signage and markings shall conform to the requirements of Broward County, FDOT and the Florida Department of Transportation.
- This site lies in Section 2I, Township 50 S, Range 42 East in Miami-Dade County.
- All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfills under paved areas only.
- Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
- Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
- Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials, Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
- Minimum longitudinal slope of pavement shall be 0.3%.
- Minimum transverse slope of the pavement shall be one percent for parking areas.



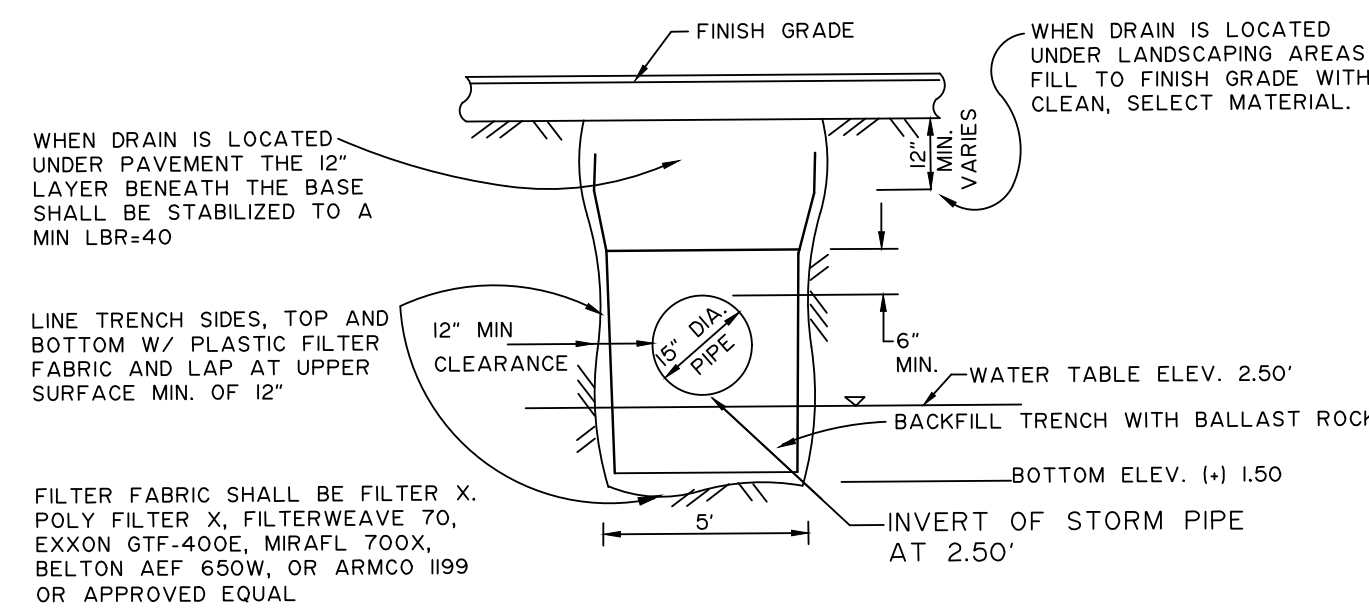
8 9 TYPICAL PARKING SPACES MARKINGS



EXFILTRATION TRENCH



60" STRUCTURE



## NOTES:

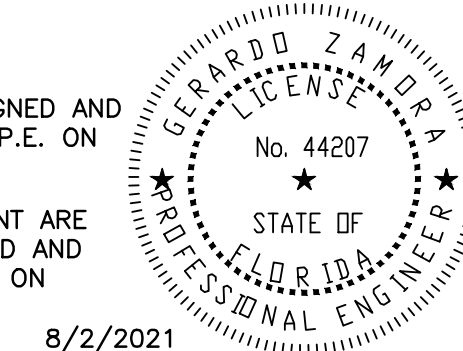
- THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE AT ELEVATION (+) 1.00 UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.

EXFILTRATION TRENCH

STRUCTURE TABLE						
NO.	TYPE	RIM ELEV.	FLOOR ELEV.	INVERT ELEV.	BAFFLES # OF 24\"/>	
1	42" INLET	6.00	(-) 1.00	(+) 2.50	1	WEST
2	42" INLET	5.95	(-) 1.00	(+) 2.50	1	SOUTH
3	42" INLET	6.45	(-) 1.00	(+) 2.50	1	NORTH
4	42" MH	6.90	(-) 1.00	(+) 2.50	0	-
5	42" INLET	7.00	(-) 1.00	(+) 2.50	1	WEST
6	42" INLET	7.15	(-) 1.00	(+) 2.50	1	NORTH

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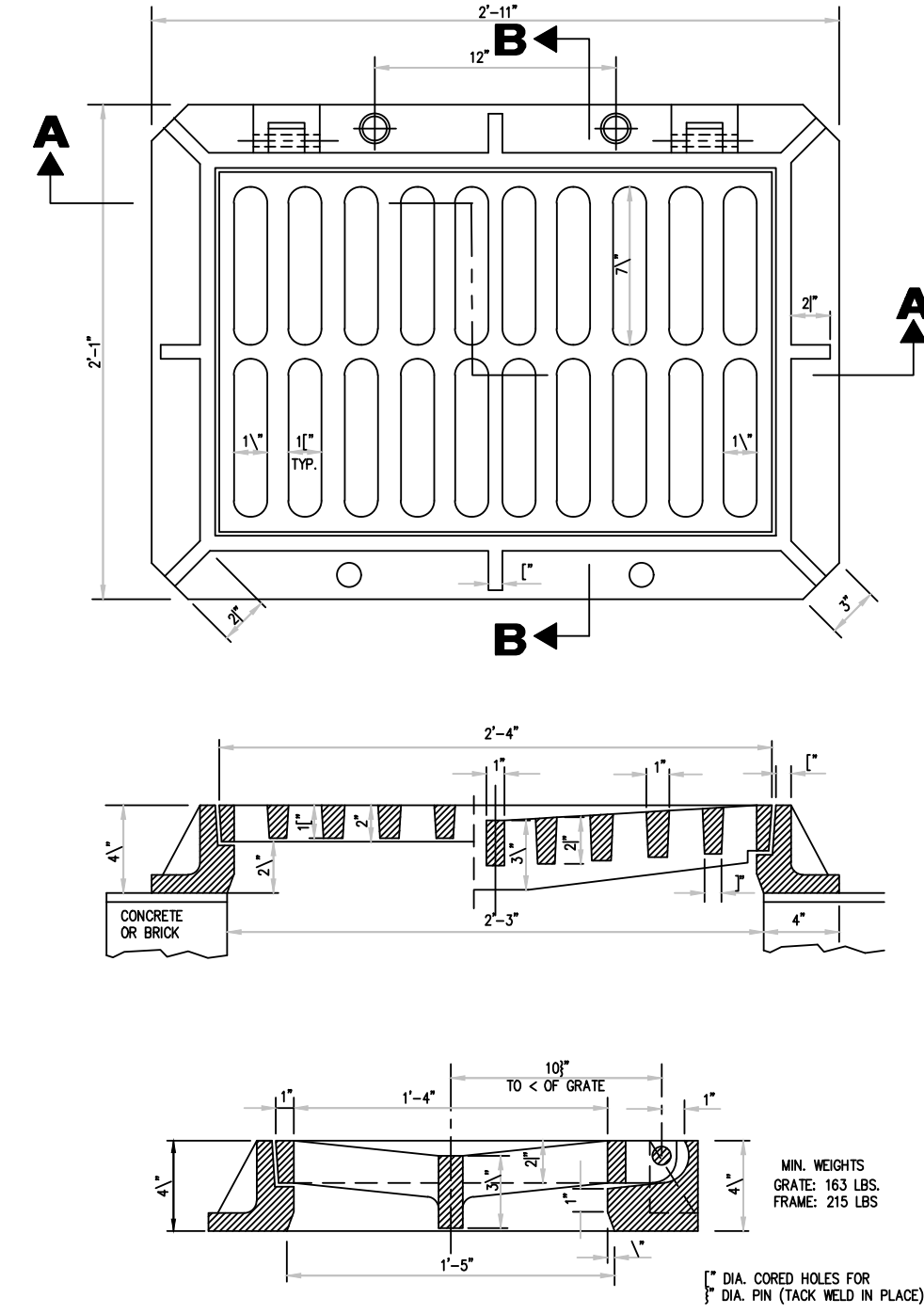
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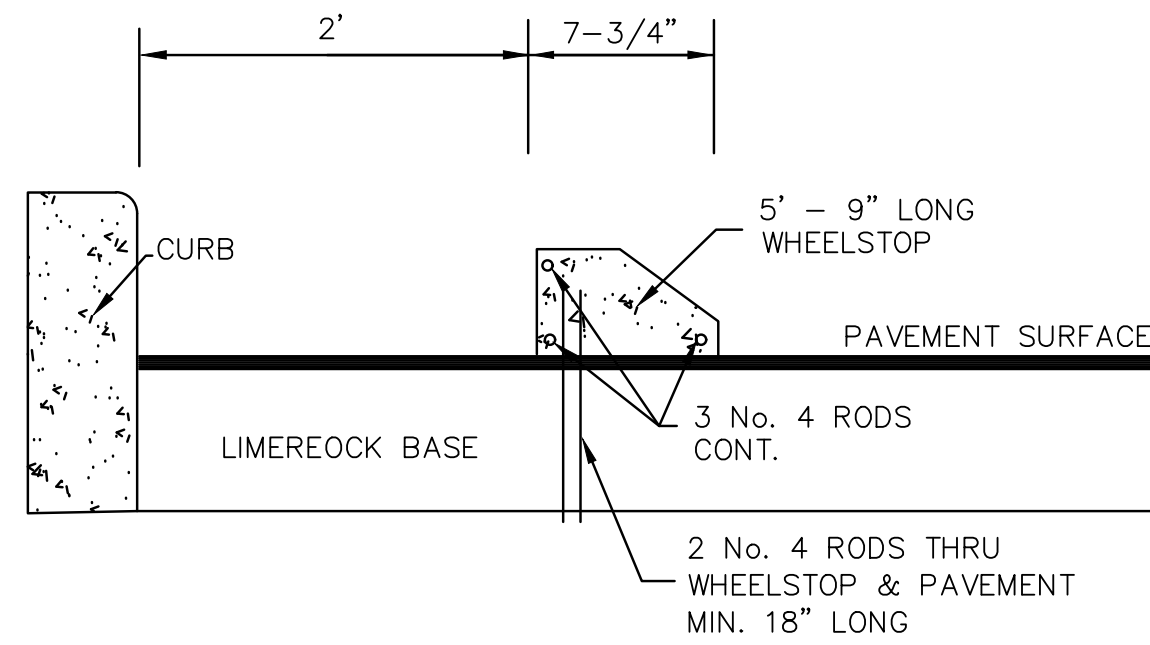
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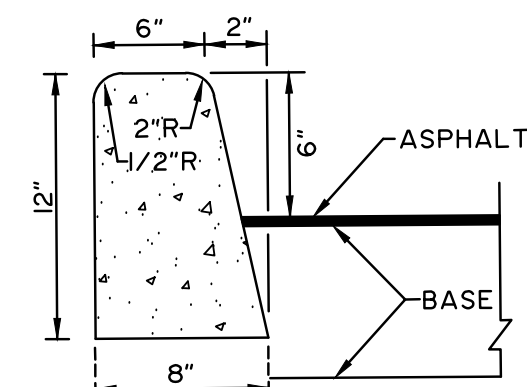
# PAVING & DRAINAGE DETAILS PLAN



**FRAME AND HINGED GRATE DETAIL**  
USF No. 4700-6223



**WHEEL STOP DETAIL**



**CURB DETAIL**

## DRAINAGE WELL DESIGN

AVAILABLE DRAINAGE WELL HEAD:  
 LOWEST RIM ELEVATION 6.00 NAVD  
 FUTURE WET SEASON W.T. 2.50  
 WELL HEAD LOSS 2.00  
 AVAILABLE HEAD AT WELL 1.50 FEET

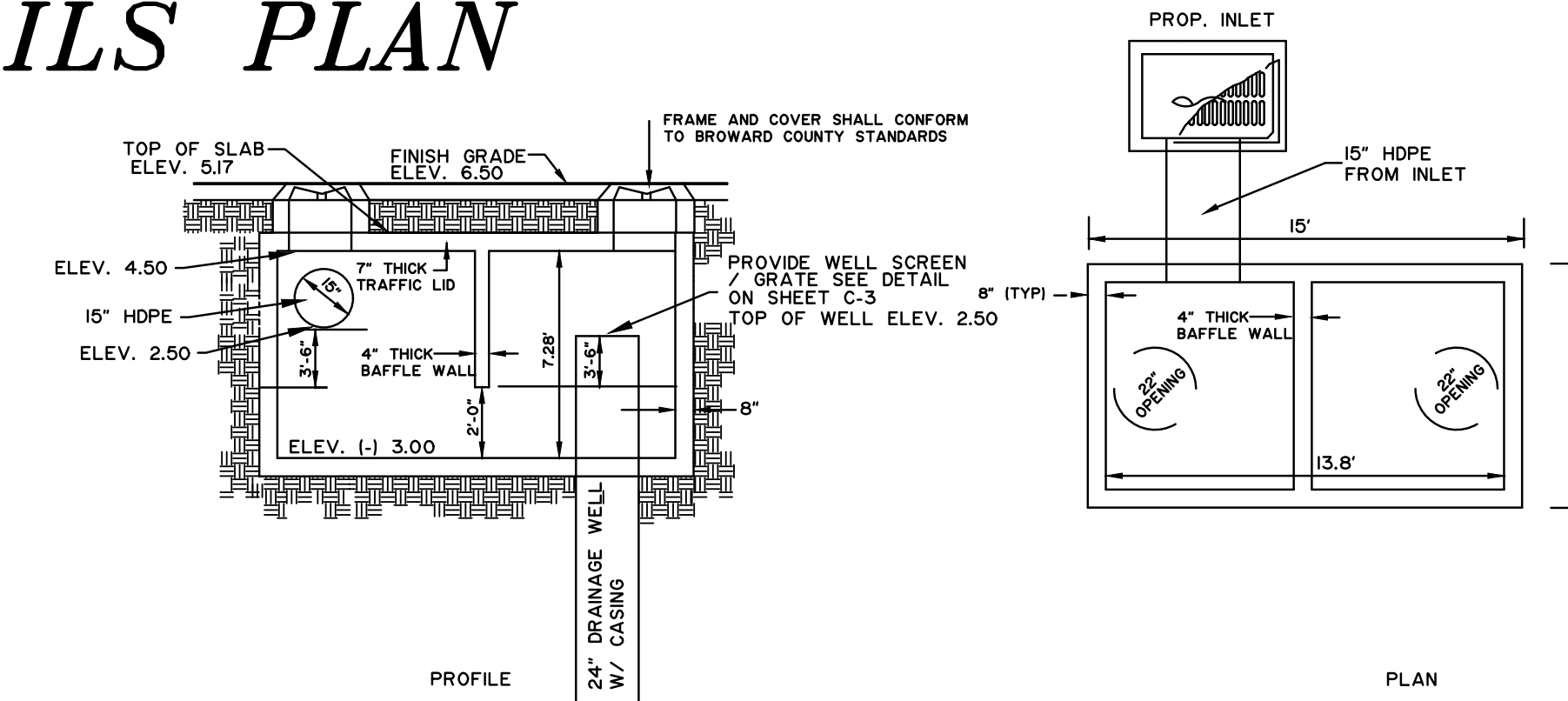
ASSUMING 400 GAL./ MI. PER FT. HEAD DISCHARGE  
 DISCHARGE AVAILABLE = 400 GPM/FT x 1.50 FT = 600 GPM  
 WELL CAPACITY = 600 GPM or 1.34 CFS AVAILABLE

DRAINAGE WELL SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS  
 ADDITIONAL WELLS TO OBTAIN REQUIRED RUNOFF FLOW AT EACH WELL LOCATION MAY BE REQUIRED.

TOTAL RUNOFF FLOW;  
 Q = 600 GPM OR 1.34 CFS

DRAINAGE WELL REQUIREMENTS  
 Q = 600 GPM OR 1.34 CFS

90 SECOND RETENTION = 1.34 CFS ( 90 SEC ) = 121 CU. FT.  
 RETENTION PROVIDED = 276 CU. FT.

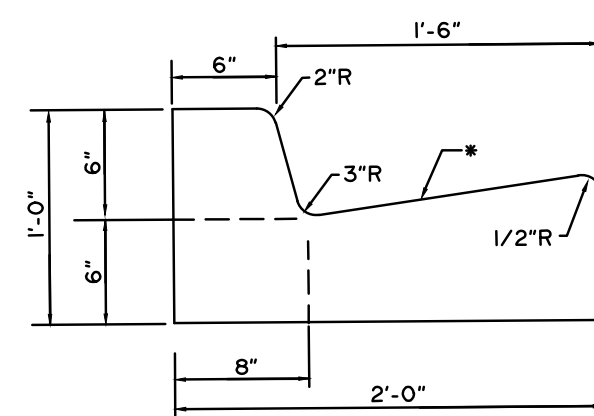


## GREASE INTERCEPTOR AND DRAINAGE WELL DETAIL STRUCTURE No. 3

SCALE: N.T.S.

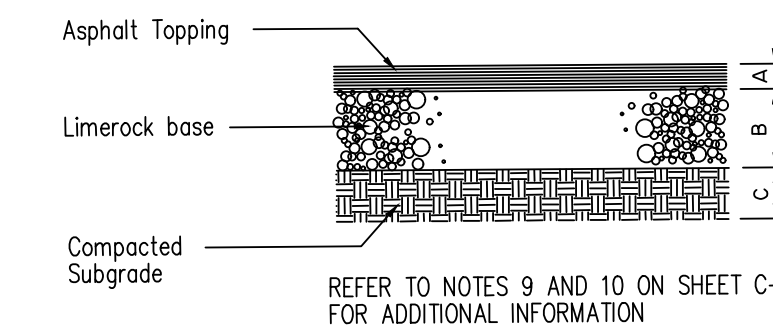
NOTES

1. EACH WELL STRUCTURE RIM ELEV. 6.50 DISCHARGE CAPACITY 600 GPM - 1.34 CFS
2. DRAINAGE WELL SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS.
3. CONTRACTOR TO OBTAIN ALL PERMITS FROM DADE-COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (DERM) AND STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR INSTALLATION OF THE DRAINAGE WELLS.



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

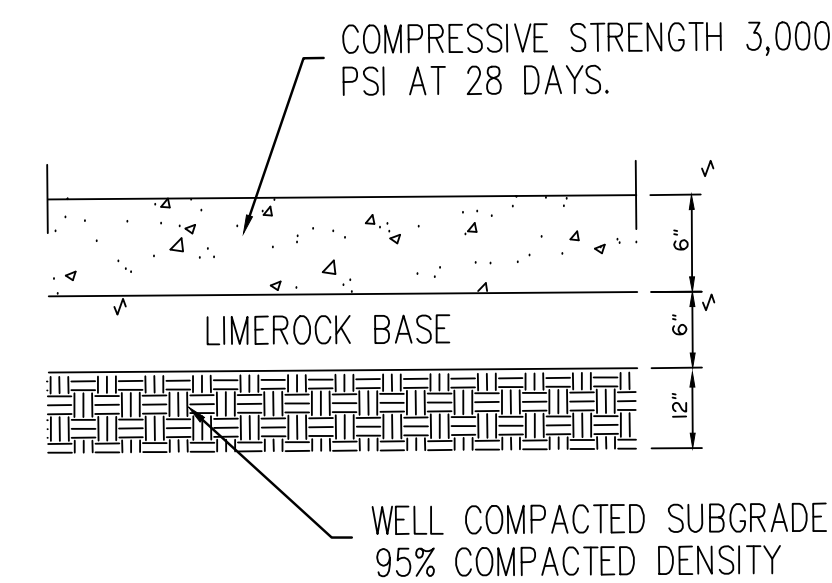
**TYPE F CURB**



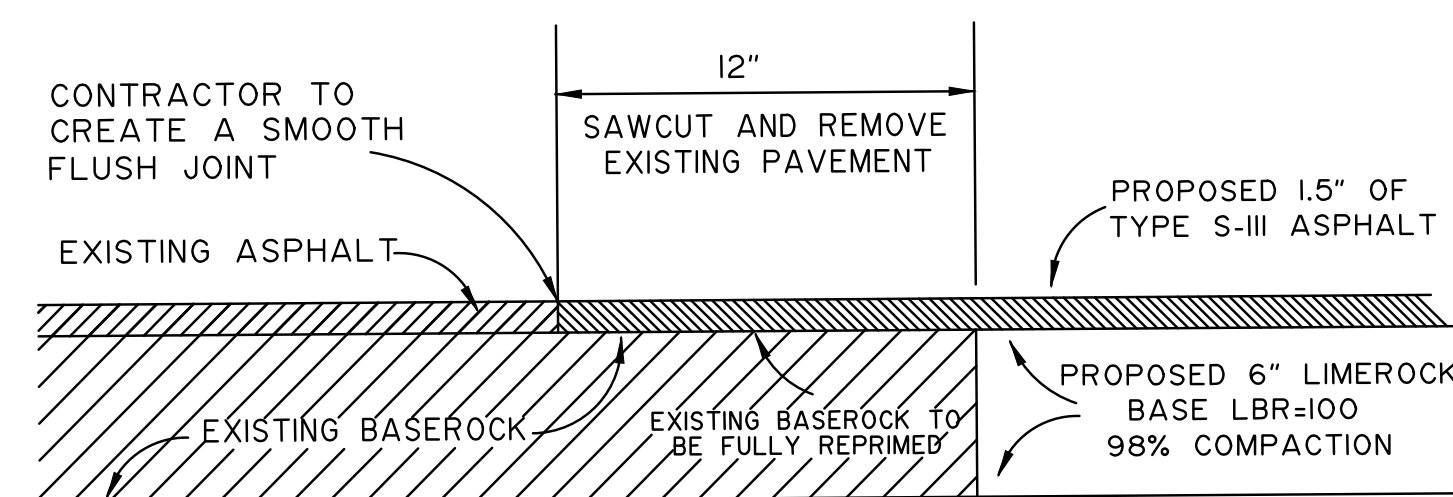
DIMENSION & TYPE

Concrete Section STANDARD	A	B	C
	1.5"	6"	12"

**ASPHALT PAVEMENT DETAIL**

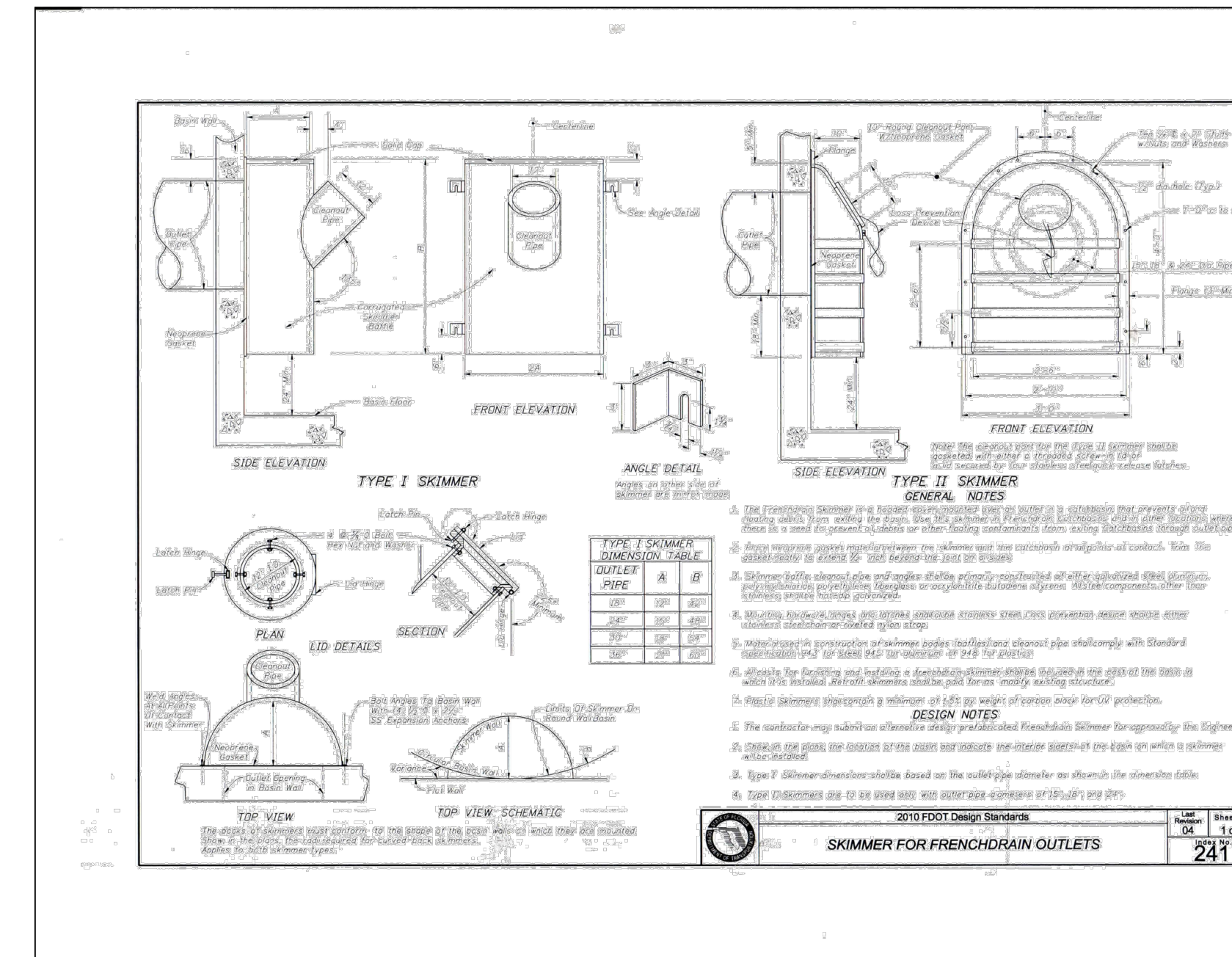


**CONCRETE PAVEMENT DETAIL**



**DETAIL FOR MATCHING EXISTING PAVEMENT**

(BUTT JOINT)  
N.T.S.



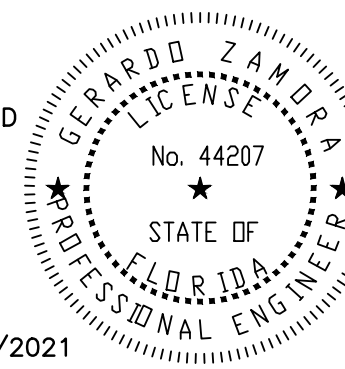
**ISOMETRIC VIEW  
TYPE II BAFFLE DETAILS**

GERARDO ZAMORA P.E.  
 CIVIL ENGINEER  
 P.E. No. 44207  
 E.B. 0006791  
 STATE OF FLORIDA

DATE: 11/3/2020  
 PROJECT No. 2020-13

**ZAMORA & ASSOCIATES, INC.**  
 ENGINEERING LAND PLANNING  
 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176  
 (305) 273-7801 FAX (305) 273-9514

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR. P.E. ON THE DATE ADJACENT TO THE SEAL.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
 8/2/2021



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 Miami, FL 33173  
 305.877.1845  
 Jfiallo@fiallomepdesign.com

CA# 28637

**NEW 5-STORY STORAGE BUILDING  
 AMERCO FACILITY 788054  
 1800 West State Road 84  
 Ft. Lauderdale, FL 33315**

JORGE FIALLO  
 FLORIDA P.E. #65527  
 Drawings not valid unless Signed, Sealed and Dated by a Registered Professional

NO.	REVISIONS	DATE

JOB NUMBER:  
**20-200-00514**  
 ISSUE DATE: MARCH 2020  
 DRAWN BY: J. FIALLO  
 CHECKED BY: J. FIALLO  
 ISSUE: -

**C-4**

SHEET NUMBER

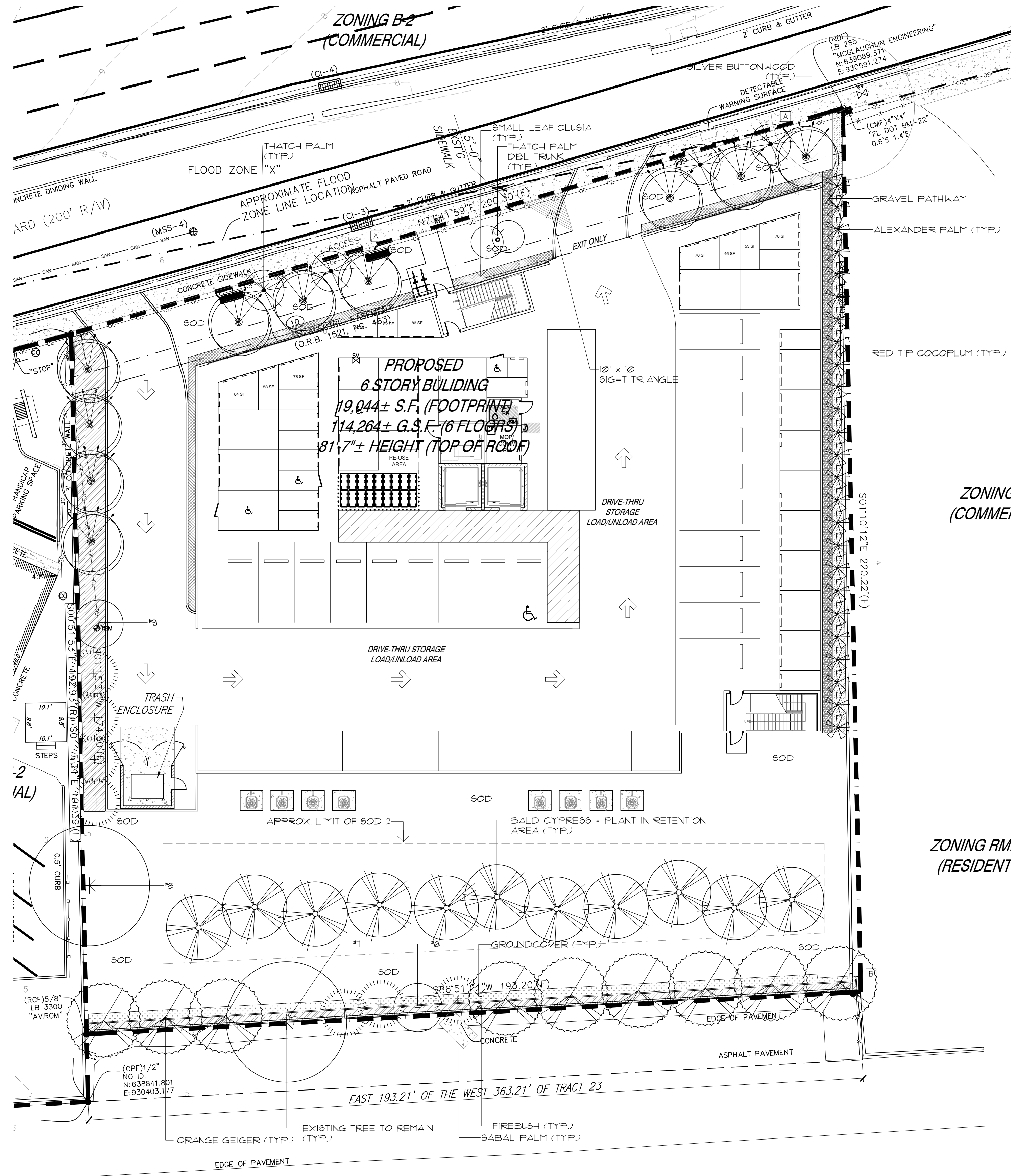












### CITY OF FT. LAUDERDALE LANDSCAPE REQUIREMENTS

ZONING	B-2 + RMM-25	
ITEM 1	1 TREE PER 1000 SQ. FT.	31
ITEM 2	V.I.A. LANDSCAPE WITH OFF-STREET PARKING	N/A
ITEM 3	MIN. OF 35% OF GROSS LOT SF. SHALL BE LAND MAINTAINED BY IRRIG. SYS.	13,263#
ITEM 6	FOR PARCELS ON INTERDISTRICT CORRIDOR	N/A
ITEM 7	FOR PARCELS ON WATERWAYS	N/A
ITEM 8	FOR RESIDENTIAL USE PARCELS	N/A
ITEM 10	TREE DIVERSITY	6 TYPES
ITEM 10	NATIVE TREES - 50% MIN.	24
ITEM 15	FOR MULTI-FAMILY OR CLUSTER DEVELOP.	N/A
ITEM 16	STREET TREES UNDER LINES (1 PER 20 LF.)	10

### PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	TOLERANCE, SIZE & REMARKS
10	CS	CONOCARPUS ERECTUS 'SER.'	SILVER BUTTONWOOD	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
9	CS	CORDIA SEBESTENA	ORANGE GEIGER	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
10	CS	TAXODIUM DISTICHUM	BALD CYPRESS	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
25	FE	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	** MIN. 2" DIA. TRUNK, MIN. 14' HT., F.G.
7	SP	SABAL PALMETTO	SABAL PALM	Δ** MIN. 2" DIA. TRUNK, MIN. 14' HT., BOOTED, F.G.
4	TR	THRINAX RADIATA	THATCH PALM	Δ** MIN. 2" DIA. TRUNK, MIN. 14' HT., F.G.
1	TR2	THRINAX RADIATA	THATCH PALM	Δ** MIN. 2" DIA. DBL. TRUNK, MIN. 14' HT., F.G.
TBD	CI	CHYSABALANUS ICACO	RED TIP COCOPLUM	Δ** 3 GALL. 24" O.C. T.S. (24" TALL WHEN PLANTED)
TBD	CG	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	Δ** 1 GALL. 30" O.C. S.R. (30" TALL WHEN PLANTED)
TBD	HP	HAMELIA PATENS	FIREBUSH	Δ** 3 GALL. 24" O.C. S.R. (24" TALL WHEN PLANTED)
<b>GROUNDCOVERS:</b>				
TBD				
<b>SOD:</b>				
8,400#	SOD	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE FLORATAM	Δ** SOLID SOD
4,310#	SOD 2	PASPALUM NOTATUM	ARGENTINE BAHIA	** SOLID SOD

### ABBREVIATIONS:

OA. HT.	OVERALL HEIGHT	MIN.	MINIMUM	** MODERATE DROUGHT TOLERANCE
STG.	STAGGERED	STD.	STANDARD	** VERY DROUGHT TOLERANT
S.R.	SINGLE ROW	O.C.	ON CENTER	Δ NATIVE
T.S.	TRIANGULAR SPACING	GAL.	GALLON	
S.T.	SINGLE TRUNK	G.W.	GREY WOOD	
D.T.	DOUBLE TRUNK			

### DROUGHT TOLERANCE & ORIGIN:

### EXISTING TREE LIST:

#	BOTANICAL NAME	COMMON NAME	DBH (")	HT. (')	SP. (')	TRF. (')	Condition	Disposition	Notes	DBH loss (")
1	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
2	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
3	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
4	Sabal Palmetto	Sabal Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
5	Sabal Palmetto	Sabal Palm	n/a	n/a	n/a	n/a	n/a	n/a	Stump to be removed	n/a
6	Sabal Palmetto	Sabal Palm	13	5	10		Fair	Remain	Booted trunk	0
7	Quercus Virginiana	Live Oak	16	25	25		Fair	Remain		0
8	Quercus Virginiana	Live Oak	n/a	n/a	n/a		n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
9	Sabal Palmetto	Sabal Palm	16	12	10		Fair	Remain		0
Total DBH Loss:										0

### PRELIMINARY LANDSCAPE PLAN

SCALE : 1/16" = 1'-0"



DESIGNING BEAUTIFUL SPACES  
**LLA** LAURA LLERENA & ASSOCIATES  
 LANDSCAPE ARCHITECTURE  
 13170 S.W. 128th Street, Suite 207, Miami, FL 33186  
 Tel: 305-256-1199 / Fax: 305-256-1155  
 www.llerena-associates.com



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jfiallo@fiallomepdesign.com

CA# 28637

**NEW 6-STORY STORAGE BUILDING  
AMERCO- FACILITY 788054  
1800 West State Road 84  
Ft. Lauderdale, FL 33315**

LAURA M. LLERENA-HERNANDEZ  
FLORIDA P.L.A. #6667125  
Drawings not valid unless signed, sealed and Dated by a Registered Professional

NO.	REVISIONS	DATE
1	REVIEW COMM	07/14/21
2	SITE PLAN REV.	09/13/21
3	REVIEW COMM	11/08/21

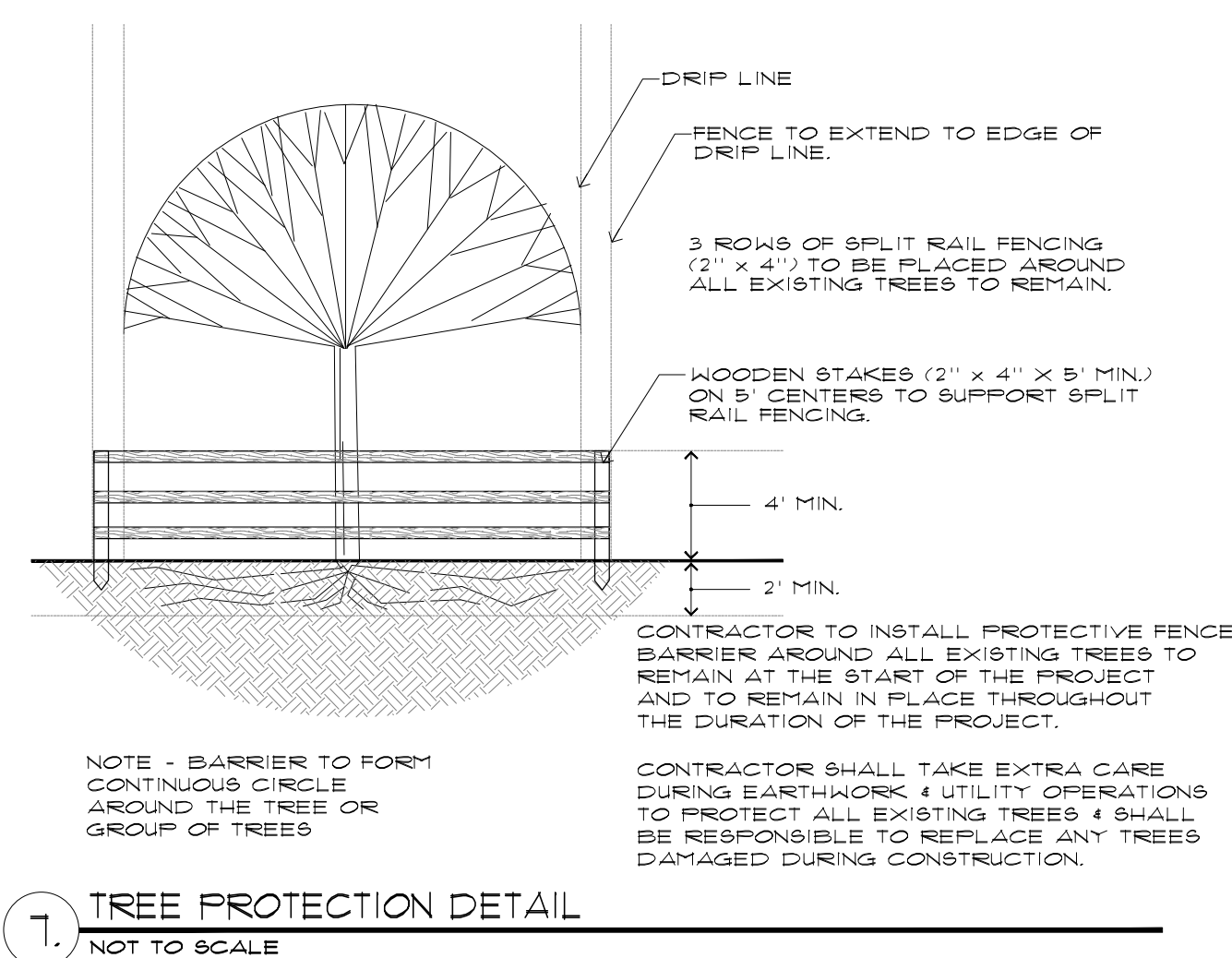
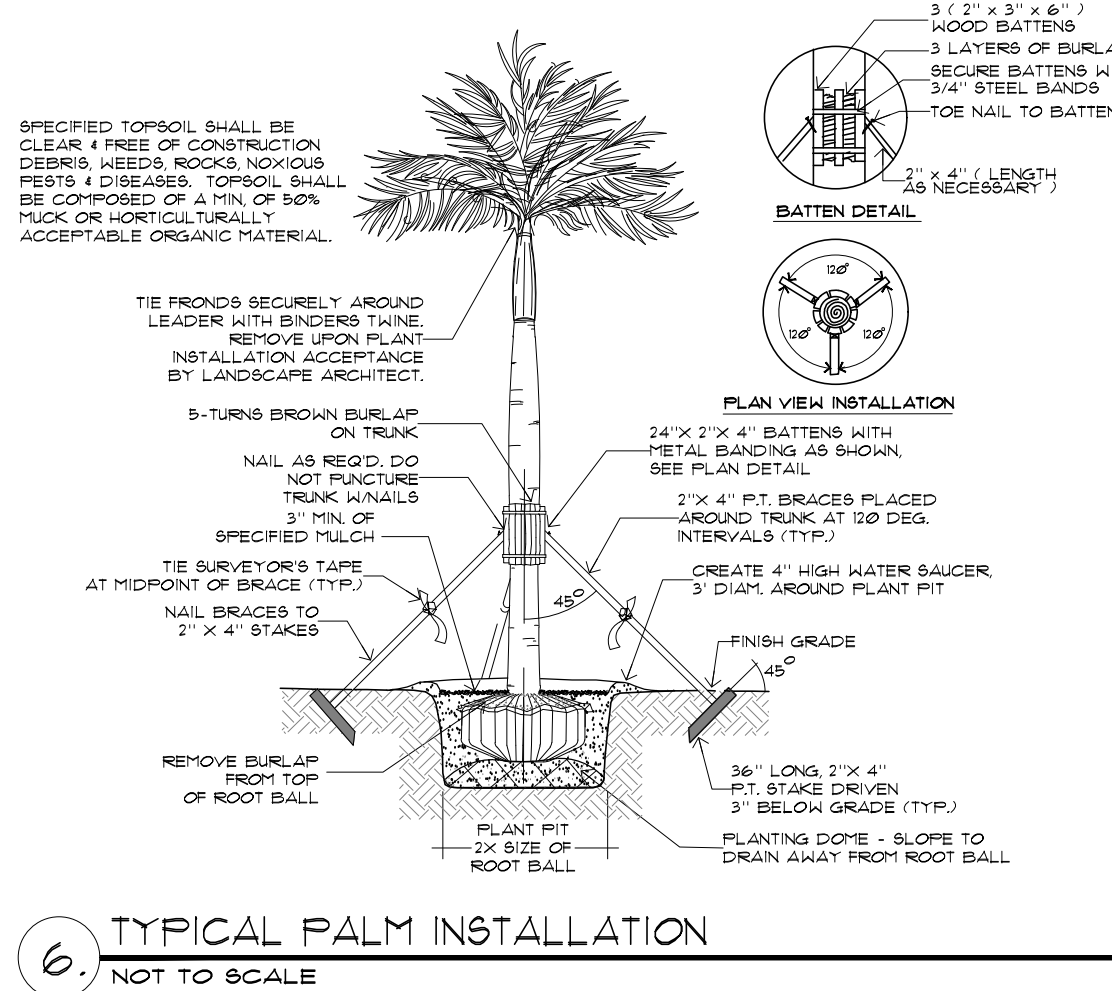
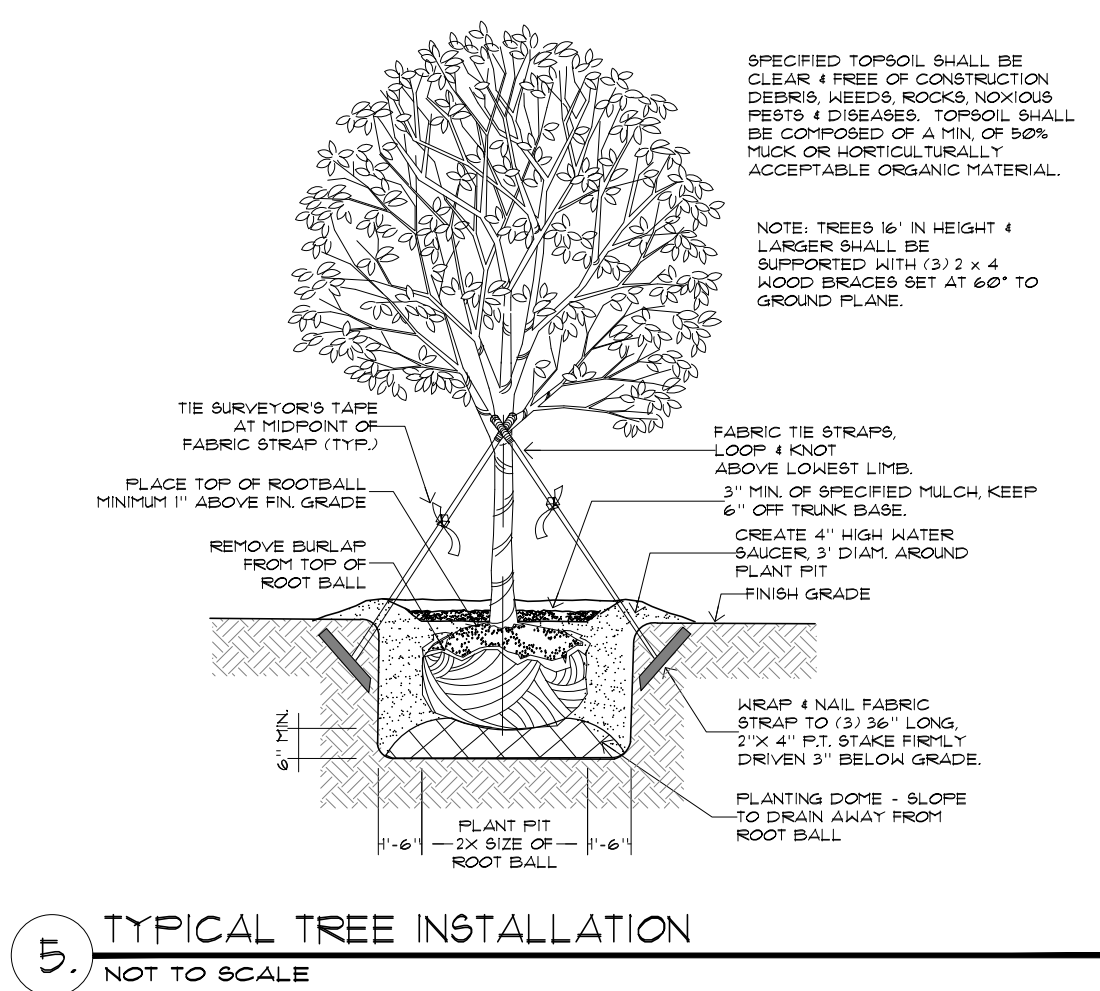
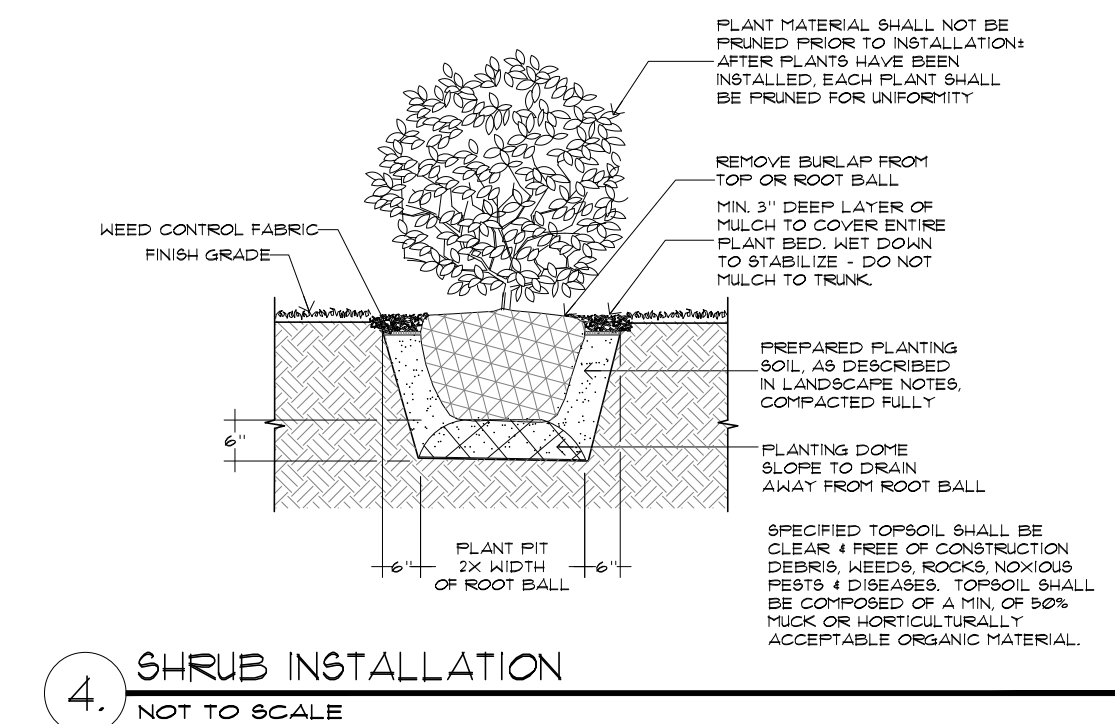
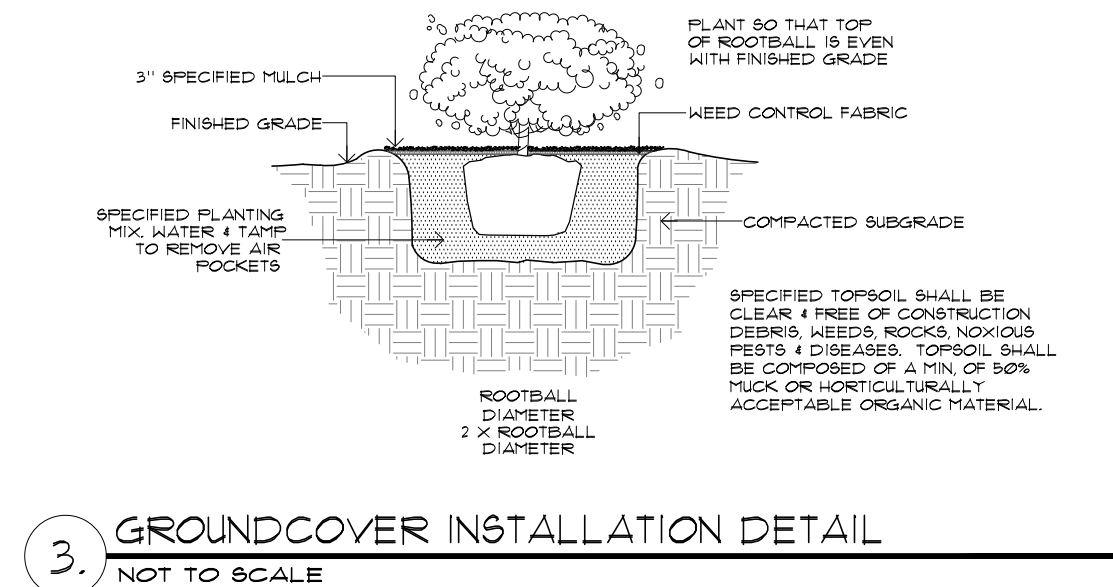
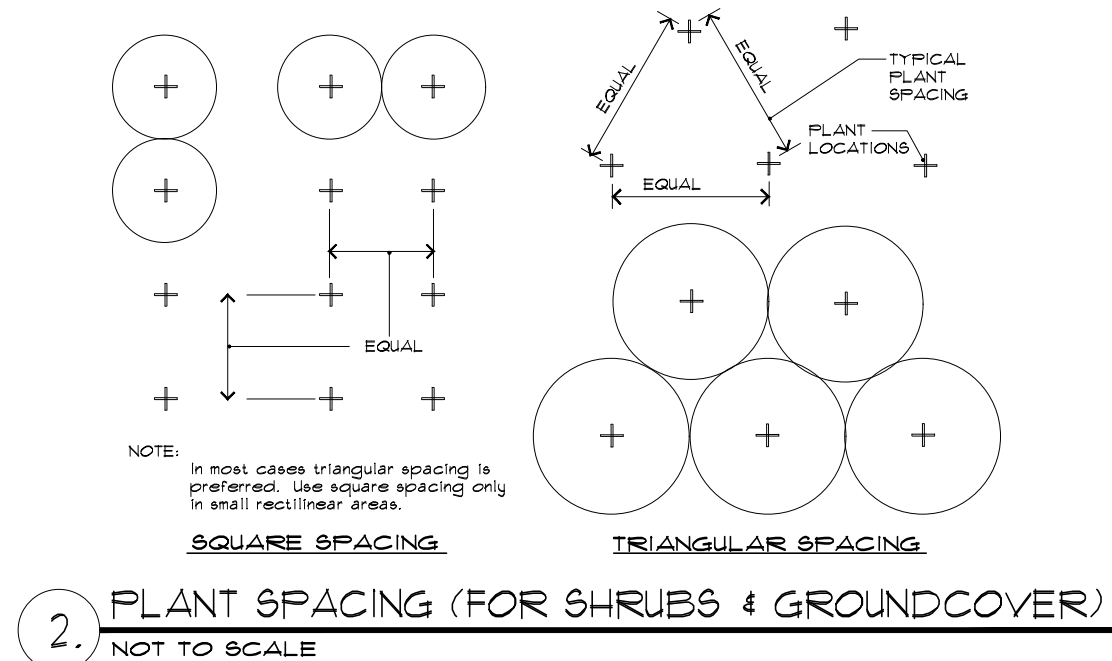
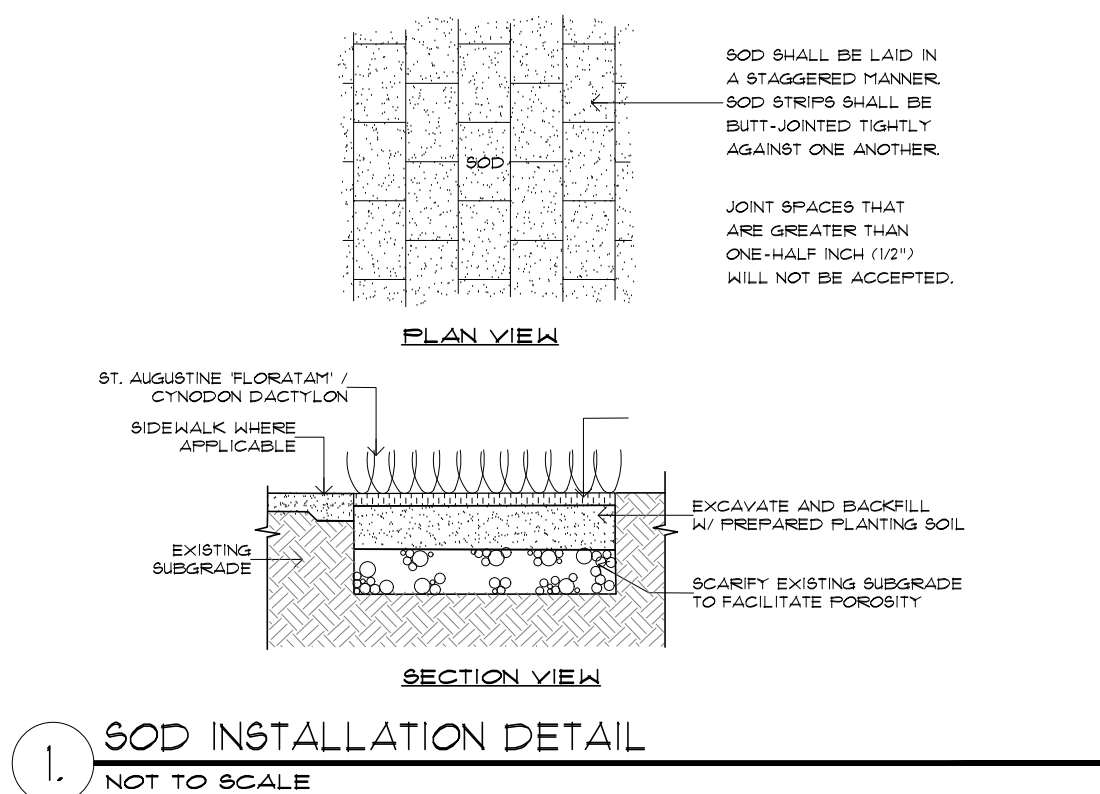
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**20-200-00514**  
 ISSUE DATE: DEC. 2020  
 DRAWN BY: LR  
 CHECKED BY: LMLH  
 ISSUE: -

PRELIMINARY LANDSCAPE PLAN

L-1

SHEET NUMBER





**NEW 6-STORY STORAGE BUILDING**  
**AMERCO- FACILITY 788054**  
1800 West State Road 84  
Ft. Lauderdale, FL 33315

LAURA M. LLERENA-HERNANDEZ  
FLORIDA RLA #6667125  
Drawings not valid unless Signed, Sealed and Dated by a Registered Professional

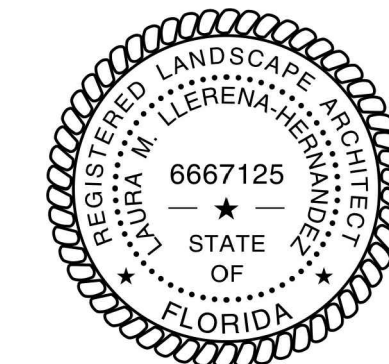
NO.	REVISIONS	DATE

JOB NUMBER:  
**20-200-00514**

ISSUE DATE: NOV. 2021  
DRAWN BY: LR  
CHECKED BY: LMLH  
ISSUE: -

PRELIMINARY LANDSCAPE DETAILS  
SCALE : NTS

DESIGNING BEAUTIFUL SPACES  
**LLA** LAURA LLERENA & ASSOCIATES  
LANDSCAPE ARCHITECTURE  
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PRELIMINARY LANDSCAPE DETAILS

L-2

SHEET NUMBER



**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



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ARCHITECTURAL DESIGN & FACILITY IMAGING

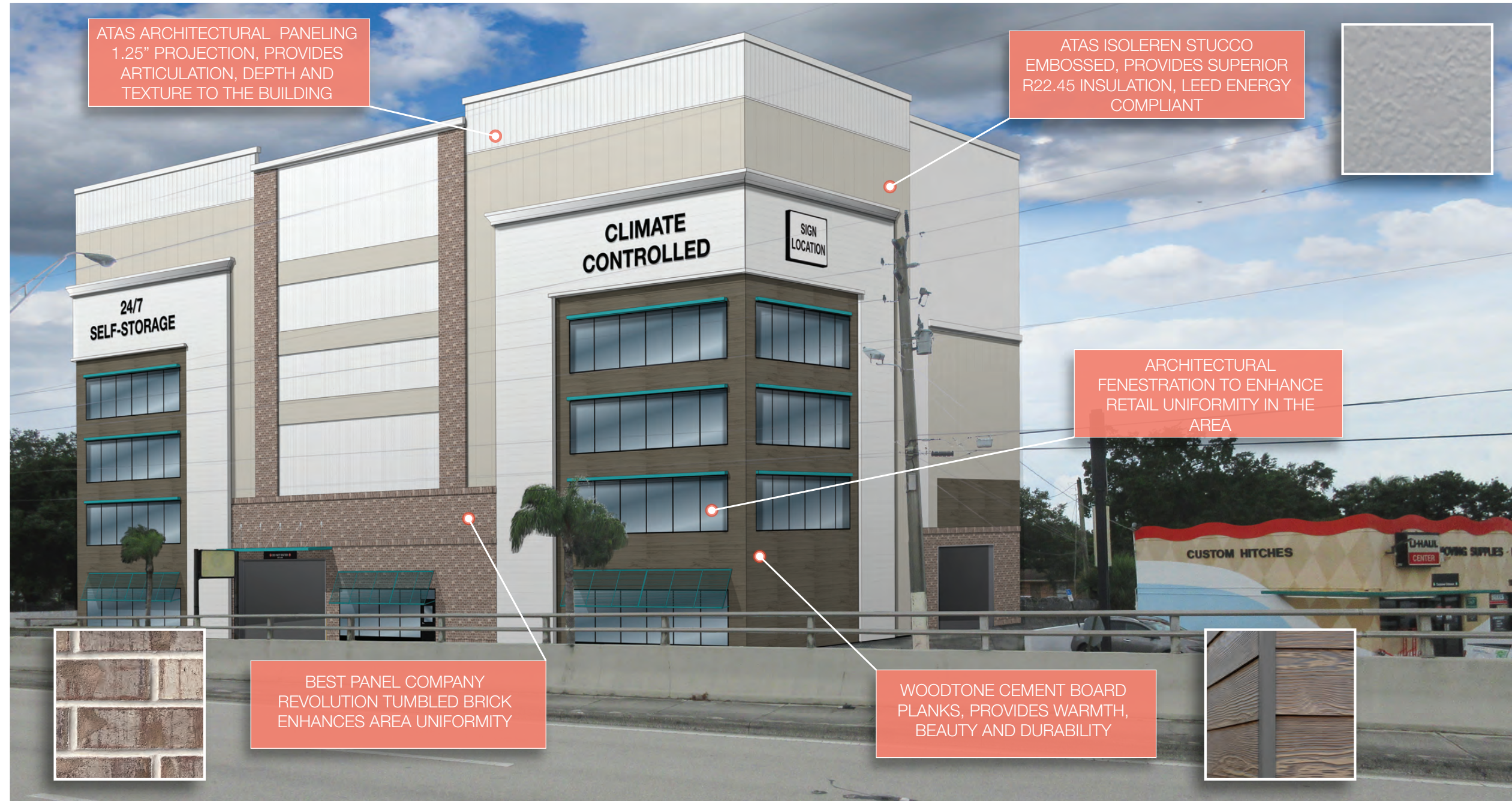
**August 24, 2021**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

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**NORTH ELEVATION**

Scale: 1" = 25'



**WEST ELEVATION**

Scale: 1" = 25'



**SOUTH ELEVATION**

Scale: 1" = 25'



**EAST ELEVATION**

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

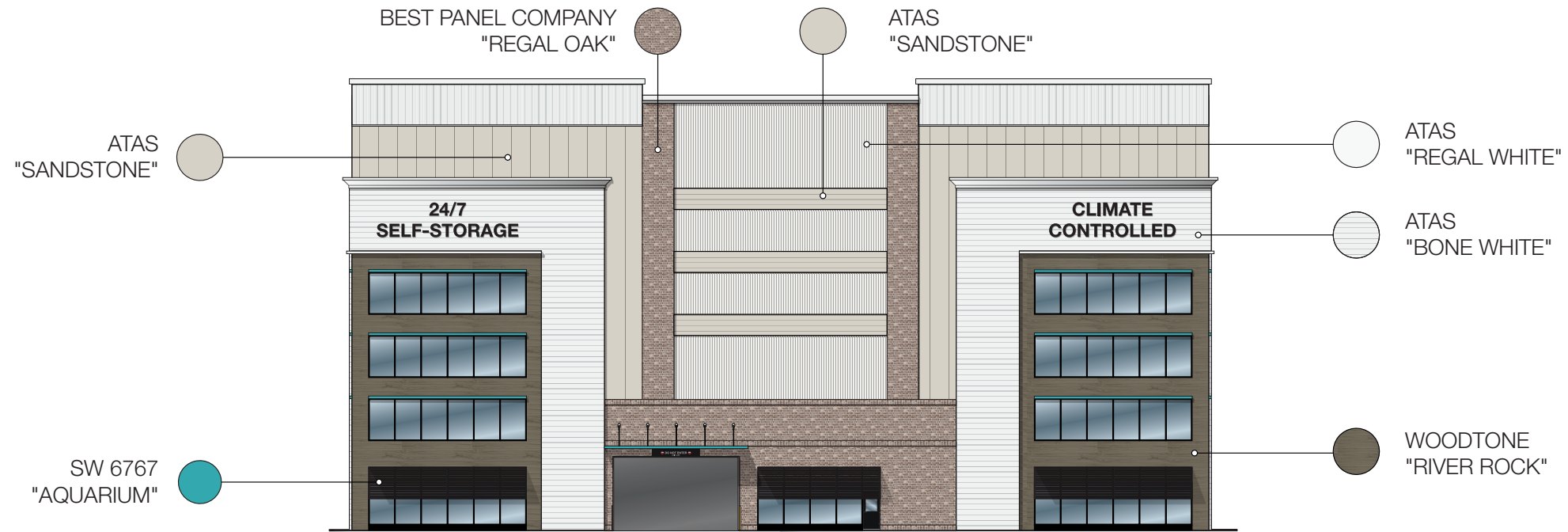
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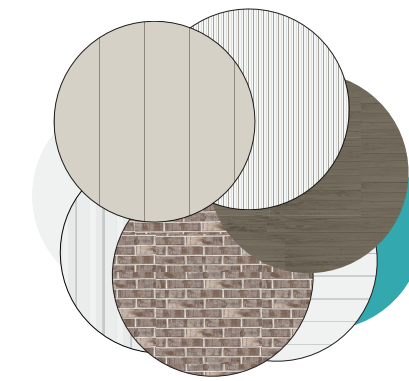
**NORTH ELEVATION**

Scale: 1" = 25'



**WEST ELEVATION**

Scale: 1" = 25'



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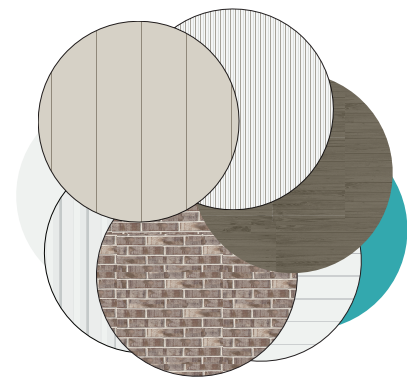
**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



**SOUTH ELEVATION**

Scale: 1" = 25'



**EAST ELEVATION**

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

**August 24, 2021**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315

ARCHITECTURAL MODULATION CONVEYING  
A MORE RETAIL APPEARANCE

ARCHITECTURAL FENESTRATION  
TO ENHANCE RETAIL UNIFORMITY  
IN THE AREA



MATERIAL APPLICATION PROVIDES ARTICULATION  
AND INTEREST TO THE STRUCTURE

ARTISTIC USE OF MATERIALS

GENEROUS USE OF GLASS

**NORTH ELEVATION**

Scale: 1" = 25'

CHANGE IN MATERIALS TO PROVIDE  
ARTICULATION TO THE ELEVATION



VERTICAL MODULATION EXTENDING  
THE PARAPET ABOVE THE ROOFLINE

ARTISTIC USE OF MATERIALS

**WEST ELEVATION**

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

**August 24, 2021**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315

VERTICAL AND HORIZONTAL  
MODULATION IN THE BUILDING



CHANGE IN MATERIALS TO PROVIDE  
VISUAL SEPARATION TO THE FACADE

ARTICULATION AND VISUAL  
INTEREST TO THE BUILDING

**SOUTH ELEVATION**

Scale: 1" = 25'

ARCHITECTURAL INTEREST AT  
THE SKYLINE

ARTICULATION AND VISUAL  
INTEREST TO THE BUILDING



**EAST ELEVATION**

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

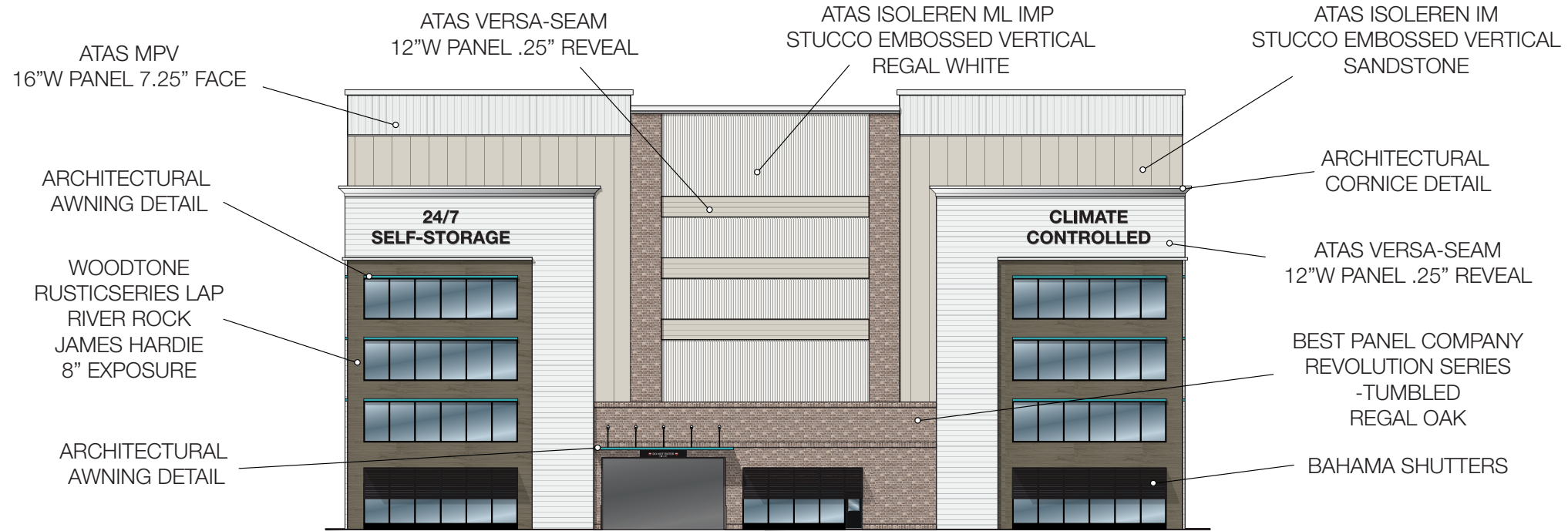
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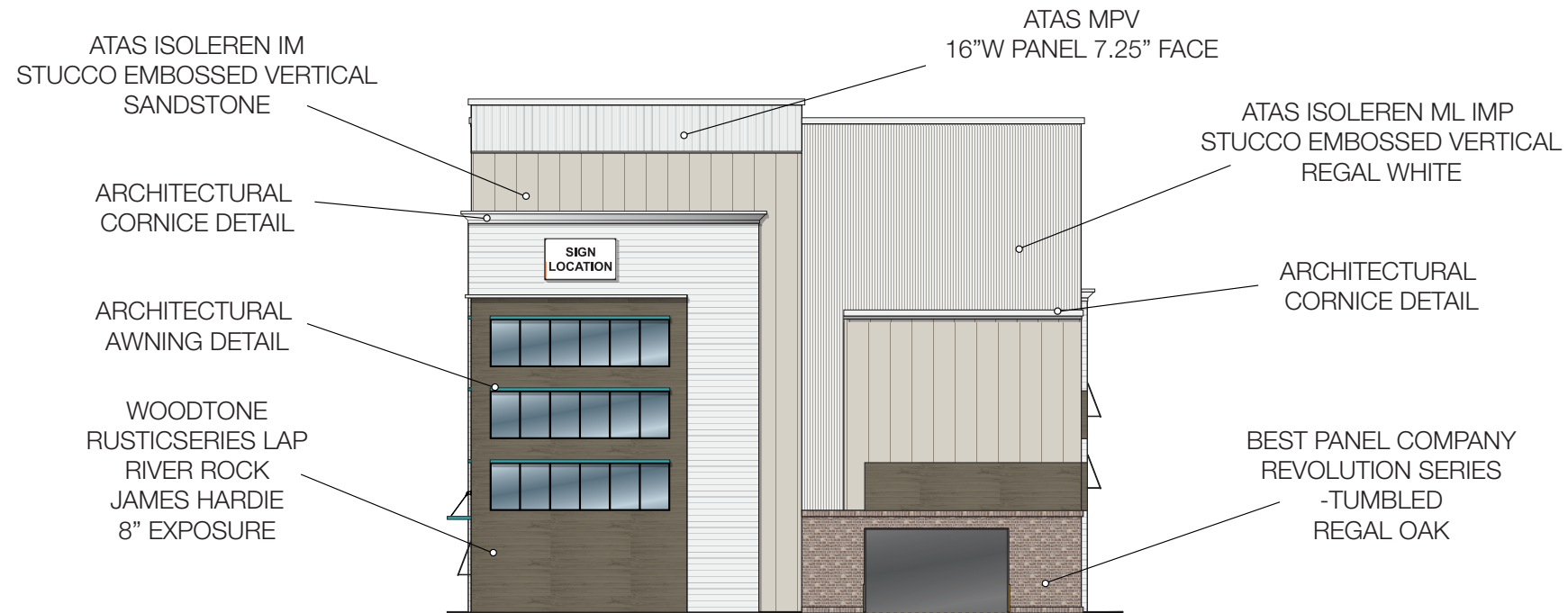
**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

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**NORTH ELEVATION**

Scale: 1" = 25'



**WEST ELEVATION**

Scale: 1" = 25'

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**SOUTH ELEVATION**

Scale: 1" = 25'



**EAST ELEVATION**

Scale: 1" = 25'

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**NORTH ELEVATION**

Scale: 1/16" = 1'

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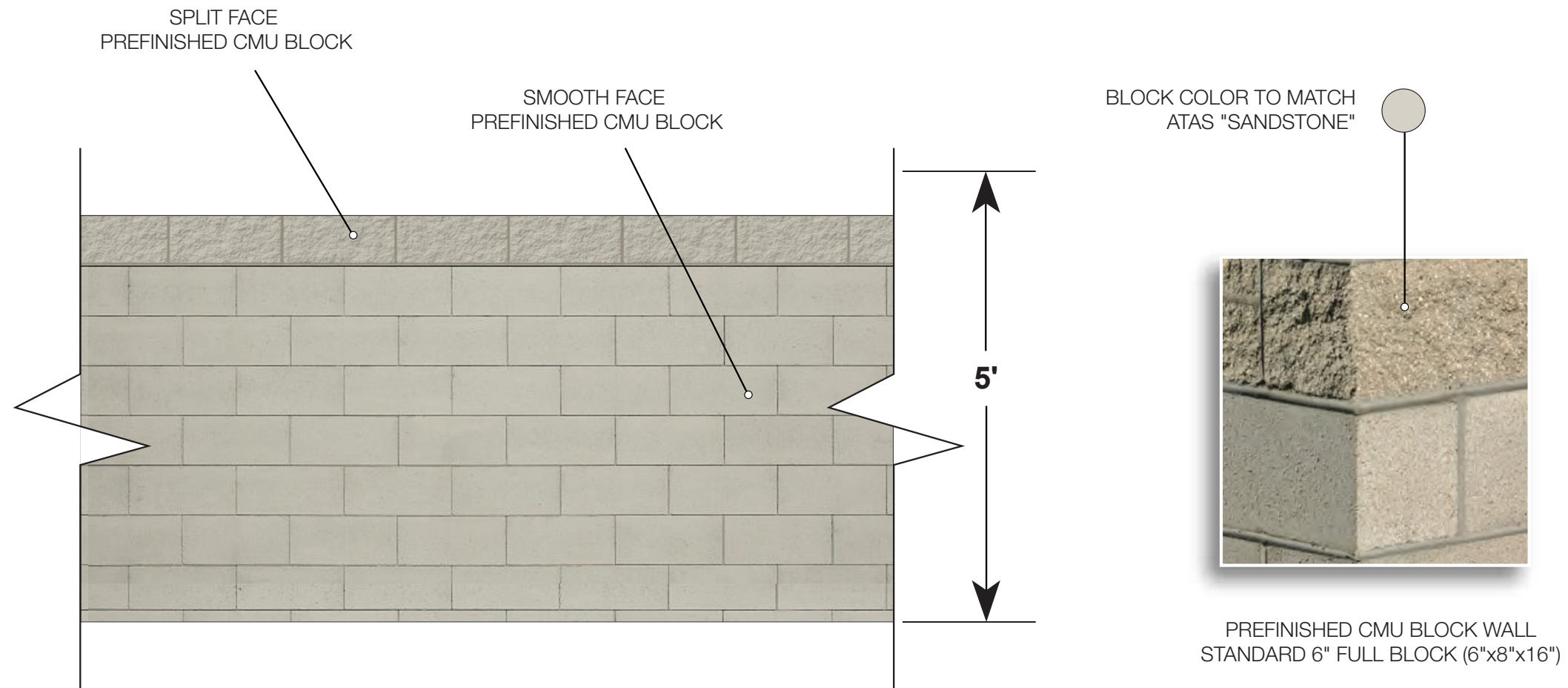
**August 24, 2021**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



**SOUTH & EAST WALL ELEVATIONS**

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**August 24, 2021**

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**SELF-STORAGE FACILITY AT I-95 & STATE RD 84**

1840 W. State Rd. 84, Fort Lauderdale, FL 33315

PLASTIC FORMED  
CHANNEL LETTERS  
6.93'W X 2.5'H  
17.32 SQFT

PLASTIC FORMED  
CHANNEL LETTERS  
26.89'W X 2.5'H  
67.22 SQFT



PLASTIC FORMED  
CHANNEL LETTERS  
15.16'W X 2.5'H  
37.9 SQFT

PLASTIC FORMED  
CHANNEL LETTERS  
24.06'W X 2.5'H  
60.15 SQFT

**NORTH ELEVATION**

Scale: 1" = 25'

LIT CABINET SIGN  
12'W X 7'H  
84 SQFT



**WEST ELEVATION**

Scale: 1" = 25'

LIT CABINET SIGN  
12'W X 7'H  
84 SQFT



**EAST ELEVATION**

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

**August 24, 2021**

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