

PROJECT INFORMATION

Mount Hermon Apartments is a 110-unit senior housing 7-story high-rise development project that will utilize 9% LIHTC funding in RFA 2020-202. The unit mix will consist of 77 one bedrooms and 33 two bedrooms. The site is generally located at NW 4th Street and NW 8th Avenue in Fort Lauderdale, FL, 33311. The site is a combination of 2 parcels 10-25-21-0000-00100-0000 & 03-25-21-0040-0100-0070, folio number 50-42-10-12-0500.

The proposed development is ideally located for senior affordable housing with access to major grocery stores to include Save a lot, Fresh Market, multiple pharmacies, local eateries, other neighborhood shopping, medical options at all levels, major highways all located less than 1-mile from the site.

The development will be 100% affordable with income restrictions, 10% of the units will be set-aside for residents with extremely low income (ELI) at or below 25% AMI. The remaining units will be set-aside for residents at or below 60% of the Area Median Income.

Energy efficiency is essential to the well-being and long-term success of our residents and given the high cost of utilities, we take great pride in building communities that integrate sustainable design and construction techniques. Mount Hermon Apartments will provide unit and site features that exceed the industry standards for a development of its class. See below list of features and amenities list that will offered on site.

Community Amenities:

- Safe and secure building with an on-site management and maintenance offices.
- Resident community center
- Multi-purpose rooms will be available to residents on a daily basis
- Library
- Computer room

In-Unit Amenities:

- Washers/Dryers hook-ups in every unit
- Open floor plans
- Energy-Star ceiling fans in all bedrooms
- Full-size Energy-Star appliances (dishwasher, microwave, range, refrigerator)

Other features will include windows with high performance low-e glass, native species landscaping, high Seasonal Energy Efficiency Ratio (SEER 16 or better) HVAC systems, low flow plumbing fixtures and eco-friendly materials such as Green Label flooring, formaldehyde free cabinetry and low VOC paint. Mount Hermon will obtain a National Green Building Standard Certification, highlighting the importance of creating an environmentally friendly community for our residents and the neighbors environment through the utilization of sustainable construction practices.

HTG Management, an affiliate company of the applicant, comprised of a team of expert in their fields will also offer the below FHFC resident programs.

FHFC Resident Programs:

- ☒ 24 Hour Support to Assist Residents In Handling Urgent Issues
- ☒ Computer Training
- ☒ Daily Activities
- ☒ Resident Assurance Check-In Program

Mount Hermon Apartments is the perfect development for the site as it brings much needed affordable housing to an area where seniors can live peacefully while having access to major roadways and other community services.



DEVELOPMENT AND UNIT AMENITIES

Mount Hermon Apartments will provide seniors with a safe, clean and comfortable living environment and create a living atmosphere where they can interact with their neighbors safely and leisurely. The community will be enhanced with best-in-class amenities for residents to enjoy their individual lifestyles to the fullest. Please refer to attached site plan for schematic design.

Mount Hermon Apartments will provide unit features that go above and beyond what is customarily seen in the industry, such as ceiling fans in all bedrooms, walk-in and roll-in showers, and walk in closets in main bedrooms. This development will also take into account the importance of environmentally sustainable communities for residents and our neighbors by maximizing energy efficiency and indoor air quality.

As per the FHFC 2020-202 RFA, the following will be provided in Mount Hermon Apartments:

General Features (listed below are some, not all, of the features that are required in the RFA; nevertheless, all features in the 2020-202 RFA will be committed to):

- Termite prevention;
- Pest control;
- Window coverings for each window and glass door inside each unit;
- Cable or satellite TV hook-up in each unit;
- Washer and dryer hook ups in each of the Development's units and equipment for rent;
- Full-size range and oven;
- Energy Star qualified microwave and dishwasher.

Green Building Features:

Mount Hermon Apartments will provide all required Green Building features listed in the 2020-202 RFA, which include low VOC paint, low-flow water fixtures, Energy Star qualified appliances, and air conditioner and heater specifications that match the efficiency required in the RFA.

In addition, the development will achieve one of the following Green Building Certification programs: Leadership in Energy and Environmental Design (LEED); Florida Green Building Coalition (FGBC); or ICC 700 National Green Building Standard (NGBS). Selection of the program will be accomplished during the credit underwriting process.

ADA Accessibility:

All units will provide the accessibility features indicated in the RFA, which include low door thresholds, lever style handles for doors, faucet, and cabinets. Reinforced walls to allow for installation of grab bars that meet ADA Standards will also be provided in all units. At least 20% of the units will have roll-in showers and all of the tubs/showers will have horizontal grab bars for added safety.



DEVELOPMENT AND UNIT AMENITIES

Below are samples of some of HTG's properties and the interior design and amenities that we offer as our standard. 1. VILLAGE PLACE, FORT LAUDERDALE, 2. COURTSIDE, MIAMI, 3. VALENCIA GROVE, EUSTIS



MT. HERMON

NW 4TH STREET & NW 8th AVE | FORT LAUDERDALE | FL 33311

LIST OF DRAWINGS

- GENERAL**
- G-0 COVER SHEET
- G-1 NOTES, SYMBOLS & ABBREVIATIONS
- G-2 ZONING, SITE PLAN & LOCATION DIAGRAMS
- G-3 AREA DIAGRAM
- G-4 SITE AND CONCEPT PICTURES
- CIVIL**
- C-1 GRADING PLAN
- LIFE SAFETY**
- LS-01 LIFE SAFETY PLAN (GROUND LEVEL)
- LS-02 LIFE SAFETY PLAN (2ND LEVEL)
- LS-03 LIFE SAFETY PLAN (3RD LEVEL)
- LS-04 LIFE SAFETY PLAN (4TH TO 7TH LEVEL)
- ARCHITECTURE**
- A1-100 SITE PLAN
- A1-101 GROUND LEVEL FLOOR PLAN
- A1-102 2ND LEVEL FLOOR PLAN
- A1-103 3RD LEVEL FLOOR PLAN
- A1-104 4TH TO 7TH LEVEL FLOOR PLAN
- A1-105 ROOF PLAN
- A1-201 GROUND LEVEL E.C.P.
- A1-202 2ND LEVEL E.C.P.
- A1-203 3RD LEVEL E.C.P.
- A1-204 4TH TO 7TH LEVEL E.C.P.
- A1-205 ENLARGED PLAN - LOBBY
- A1-102 ENLARGED PLAN - SOCIAL ROOM
- A1-401 ENLARGED UNIT A
- A1-402 ENLARGED UNIT B
- A1-403 ENLARGED UNIT C
- A1-404 ENLARGED UNIT D
- A1-405 ENLARGED UNIT E
- A1-406 ENLARGED UNIT F
- A2-101 EAST ELEVATION
- A2-102 SOUTH ELEVATION
- A2-103 WEST ELEVATION
- A2-104 NORTH ELEVATION
- A3-101 LEGEND/GENERAL SECTION
- A4-100 CROSS SECTIONS
- A4-101 STAIR PLAN AND SECTION
- A4-102 ELEVATION PLANS & SECTION
- A4-103 ENLARGED KITCHEN PLANS & PLAN
- A5-102 ENLARGED BATH PLANS & SECT
- A6-100 FURNISHING/DETAILS
- A6-101 DOOR & WINDOW SCHEDULE
- A7-102 WALL TYPES
- A7-103 FINE PENETRATION DETAILS
- A7-104 PARKING DETAILS
- A7-105 ROOF DETAILS

CLASSIFICATION OF WORK:
NEW CONSTRUCTION

SCOPE OF WORK:
NEW RESIDENTIAL BUILDING



PROJECT AND OWNER

MT. HERMON
1000 4TH STREET & NW 8th AVE | FORT LAUDERDALE | FL 33311
MTG
3225 Aviation Avenue, 6th Floor
Coconut Grove, FL 33133

REPORTWAR

7261 NE 4TH AVENUE, STE. 101
MIAMI, FL 33138
305.673.2121 | REP@REPORTWAR.COM

CONSULTING ENGINEERS

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

1.

SCHEMATIC DESIGN

PERMIT APPLICATION DATE: 11/16/19
SHEET ISSUE DATE:
PROJECT NO.: 1194
DRAWN BY: TM APPROVED BY: TM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

SCALE:



SIGNATURE:
T. TODD MARTIN RA,
LIC# AR0017090

SHEET TITLE:
COVER SHEET

SCALE:

N.T.S.

SHEET NO.

G-0

OWNER:	ARCHITECT:	MEP ENGINEER:	STRUCTURAL ENGINEER:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
MTG 3225 Aviation Avenue, 6th Floor Coconut Grove, FL 33133 305-860-8188	/REPORTWAR/ 7261 NE 4TH AVENUE #101 MIAMI FLORIDA 33138 1 305 673 2121				

GENERAL SITE INFORMATION:

PROPERTY ADDRESS: 30A CORAL GABLES FL 33134

FOCUS: 03 - 4118 - 004 - 0726

LEGAL DESCRIPTION: LOTS 15 & 16, BLOCK 142, CORAL GABLES COUNTRY CLUB SECTION PART 59 SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25-VI PAGE 1, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

LOT AREA: ~7' 13'00" x 51'

YEAR BUILT: 1962

CLASSIFICATION OF WORK: AS REVISION (REV) X

SCOPE OF WORK: NEW INTERIOR LAYOUT, REMOVAL AND REPLACEMENT OF INTERIOR FLOORING, NEW FLOOR.

GOVERNING CODES: FLORIDA FIRE PREVENTION CODE 2017, FLORIDA BUILDING CODE (ENACTING 2017), 2017 NATIONAL ELECTRIC CODE, 2017 IRC, MECHANICAL, 2017 IRC, PLUMBING, 2017 IRC, ACCESSIBILITY.

ZONING GUIDELINES:

ZONING: SFR (SINGLE FAMILY RESIDENTIAL)

FLOODED ZONE: K

LOT SIZE: IRREGULAR

LOT AREA: 1,089 SQ.FT.

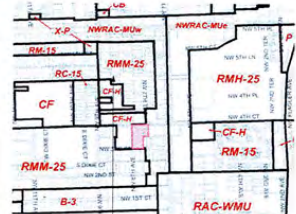
PROPERTY INFO	ALLOWED/REQUIRED	PROVIDED
LOT COVERAGE	<p>BUILDING 60% OF LOT AREA 18,000 & 60% = 4,800 SF</p> <p>BUILDING - AUXILIARY STRUCTURES 40% OF LOT AREA 1,089 & 40% = 4,356 SF</p>	<p>3,432 SQ.FT.</p> <p>EXISTING: 2,442 SF HOME ADDITION: 1,094 SF TOTAL AREA PROVIDED: 3,536 SF OR 21.6%</p>
BASE FLOOR AREA	<p>80% FOR THE FIRST 1,000 SF OF LOT AREA: 2,400 SF 20% FOR THE FIRST 5,000 SF OF LOT AREA: 1,200 SF 30% FOR THE REMAINDER (3,089 SF): 1,141 SF</p>	<p>TOTAL AREA PROVIDED: 4,826 SF OR 35%</p> <p>4,527 SF</p>
MAXIMUM NUMBER OF STORIES	2 STORIES	1 STORY
SETBACKS		
FRONT	20'	28'-2"
SIDE	20% OF THE TOTAL LOT WIDTH NO LESS THAN 5'-0"	15'-0" EAST 5'-0" WEST
REAR	10'	10'-7"



SUBJECT LOCATION
NW 4TH STREET & NW 8TH AVE
FORT LAUDERDALE | FL 33311



SUBJECT LOCATION
NW 4TH STREET & NW 8TH AVE
FORT LAUDERDALE | FL 33311

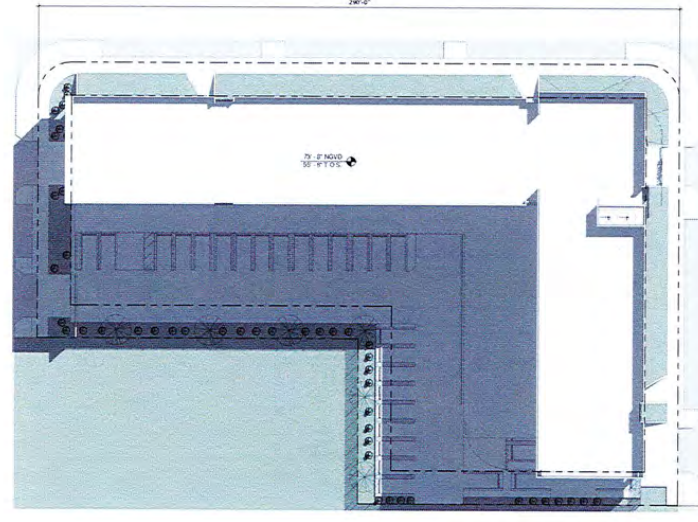


SUBJECT LOCATION
NW 4TH STREET & NW 8TH AVE
FORT LAUDERDALE | FL 33311

1 AERIAL VIEW NTS

2 LOCATION MAP NTS

3 ZONING MAP NTS



4 Site Plan
1/8\"/>

PROJECT AND OWNER

MT. HERMON

1 NW 4TH STREET & NW 8TH AVE | FORT LAUDERDALE, FL 33311

MFC

3225 AMERICAN AVENUE | 5TH FLOOR
FORT LAUDERDALE, FL 33311

ARCHITECT:

REPORTAR

7703 NW 4TH AVENUE, STE. 102
MIAMI, FL 33156 | P: 305.571.2121
305.571.2121 | REPORTAR.COM

CONSULTING ENGINEERS:

SEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE: 11/16/19

SHEET ISSUE DATE:

PROJECT NO.: 1104

DRAWN BY: 104 APPROVED BY: 104

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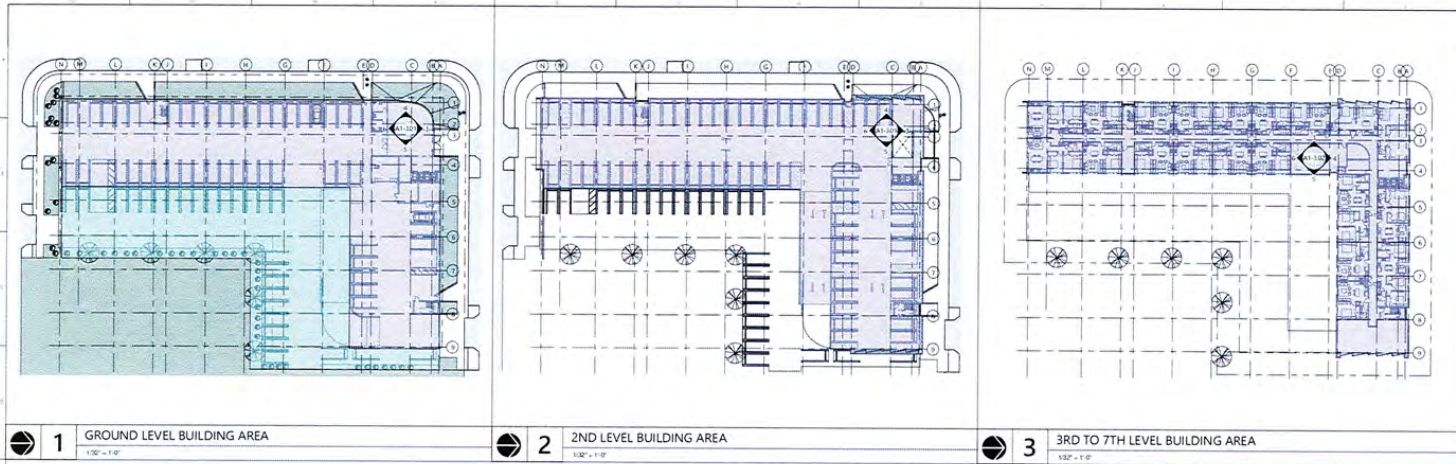
SIGNATURE:
T. TODD MARTIN RA,
LIC.# A00017050

SHEET TITLE:
ZONING, SITE PLAN &
LOCATION DIAGRAMS

SCALE:
As indicated

SHEET NO.:

G-2



PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & MAIN BLVD (10K)
 LAURELHURST, NJ 07031
 HFC
 3225 ANDRISON AVENUE, 6TH FLOOR
 CHICAGO, ILL. 60654
ARCHITECT:
REP RTWAR
 7703 NE 4TH AVENUE, 5TH FL
 MIAMI, FL 33138
 (305) 672-2121 | REP@rtwar.com
 REP: T. TODD MARTIN
CONSULTING ENGINEERS:
 MEP:
 STRUCTURAL ENGINEER:
 CIVIL ENGINEER:
 LANDSCAPE ARCHITECT:

1 GROUND LEVEL BUILDING AREA
 1/32" = 1'-0"

2 2ND LEVEL BUILDING AREA
 1/32" = 1'-0"

3 3RD TO 7TH LEVEL BUILDING AREA
 1/32" = 1'-0"

REFERENCES:

- CONSTRUCTION AREA
- OPEN SPACE

AREA CALCULATIONS:

GROSS CONSTRUCTION AREA:

GROUND LEVEL	21,745 SQ FT
2ND LEVEL	24,266 SQ FT
3RD TO 7TH LEVEL	18,760 SQ FT (X 5)
TOTAL	139,811 SQ FT

OPEN SPACE AREA:

TOTAL	15,341 SQ FT
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BUILDING INFORMATION:

TOTAL HEIGHT	70 FT
PARKING SPACES	
80 PARKING SPACES GROUND LEVEL	
62 PARKING SPACES 2ND LEVEL	
HDCP 151 TO 200 = 6/75	
15 ONSTREET PARKING SPACES	
TOTAL PARKING SPACES	157 PARKING SPACES
DENSITY	
1 BEDROOM	65 UNITS
1 BEDROOM + DEN	3 UNITS
2 BEDROOMS	25 UNITS
3 BEDROOMS	15 UNITS
TOTAL DENSITY	110 UNITS
UNIT AREAS	
1 BEDROOM	574 / 585 SQ FT
1 BEDROOM + DEN	712 SQ FT
2 BEDROOMS	814 / 881 SQ FT
3 BEDROOMS	967 / 1099 SQ FT

KEY PLAN:

SCHEMATIC DESIGN

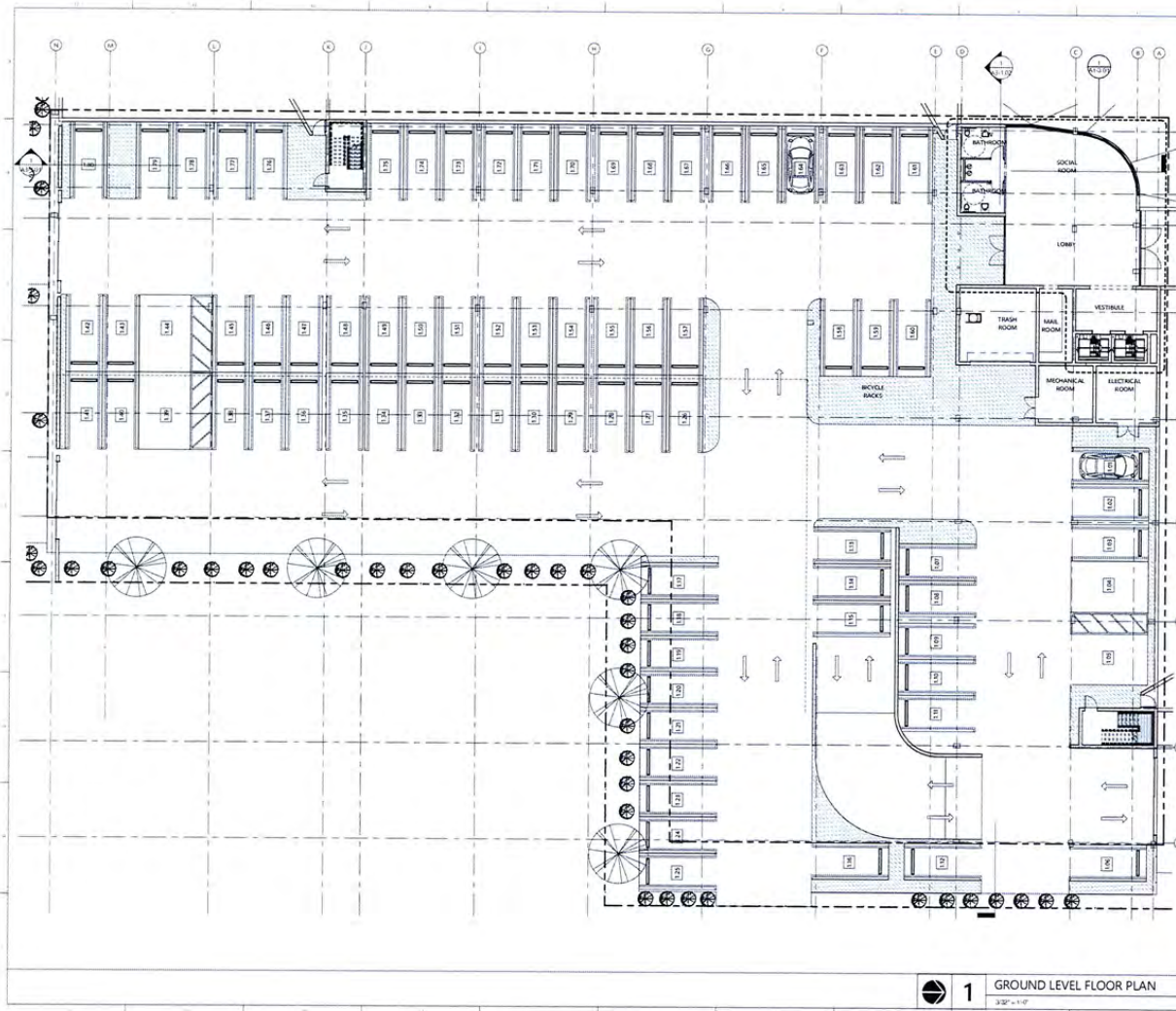
PERMIT APPLICATION DATE:	11/16/19
SHEET ISSUE DATE:	
PROJECT NO.:	1154
DRAWN BY:	TJM
APPROVED BY:	TJM

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SEAL:

 SIGNATURE:
 T. TODD MARTIN RA,
 LIC# AB0017090
 SHEET TITLE:
AREA DIAGRAMS

SCALE:
 As indicated
 SHEET NO.
G-3
 10/26/2019



- WALL LEGEND**
- 1 WALL TYPE 1 TYPICAL NON-LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
 - 2 WALL TYPE 2 EXTERIOR NON-LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
 - 3 WALL TYPE 3 TYPICAL 4" METAL STUD PARTITION NON-RATED.
 - 4 WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
 - 5 WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
 - 6 ASSEMBLY DEMO
- SEE TYPICAL WALL TYPES SHEET A1-101 FOR DETAILS
- CONSTRUCTION NOTES**
- 1 REFER TO DRAWINGS & ADDITIONAL NOTES AND SPECIFICATIONS.
 - 2 GENERAL CONTRACTOR SHALL VERIFY THE EXISTING TO BE MAINTAINED EXISTING WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING CONDITIONS OR CONDITIONS SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ARE INFERRABLE AND NECESSARY TO THE WORK SHALL BE MAINTAINED OR RECONSTRUCTED AS SHOWN UNLESS OTHERWISE NOTED AND/OR LAID OUT TO THIS CONTRACT.
 - 3 ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY TO AVOID ANY DELAYS OR COSTS INCURRED FROM THIS DISCREPANCY. FAILURE TO DO SO MAY RESULT IN DELAYS OR COSTS INCURRED FROM THIS DISCREPANCY.
 - 4 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 - 5 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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 - 8 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 - 9 CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREEVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
 - 10 NEW WALLS ARE TO BE CONSTRUCTED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED. ALL GYPHUM SHALL BE 5/8" THICK TYPE X UNLESS OTHERWISE NOTED. GREEN BOARD TO BE USED IN WET AREAS WHERE PAINT IS APPLIED AND PAROXYL IN TOILETS WHERE TUBS ARE INSTALLED.
 - 11 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 - 12 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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 - 22 CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREEVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.

TERMITE CONTROL

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERFANAGIOUS TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.

PROJECT AND OWNER

MT. HERMON
 1400 4TH STREET & NON-8th AVE (EAST LANDSIDE) | Ft. 32311
 3232 Anderson Avenue, Mt. Hermon, Florida 32761

ARCHITECT:

REP RTWAR
 1751 W. 4TH AVENUE, STE. 101
 MIAMI, FL 33134 | 305.471.1212 | REP@RTWAR.COM

CONSULTING ENGINEERS:

MEP

STRUCTURAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:
 SHEET ISSUE DATE:
 PROJECT NO. 1914
 DRAWN BY: []
 APPROVED BY: []

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SCALE:

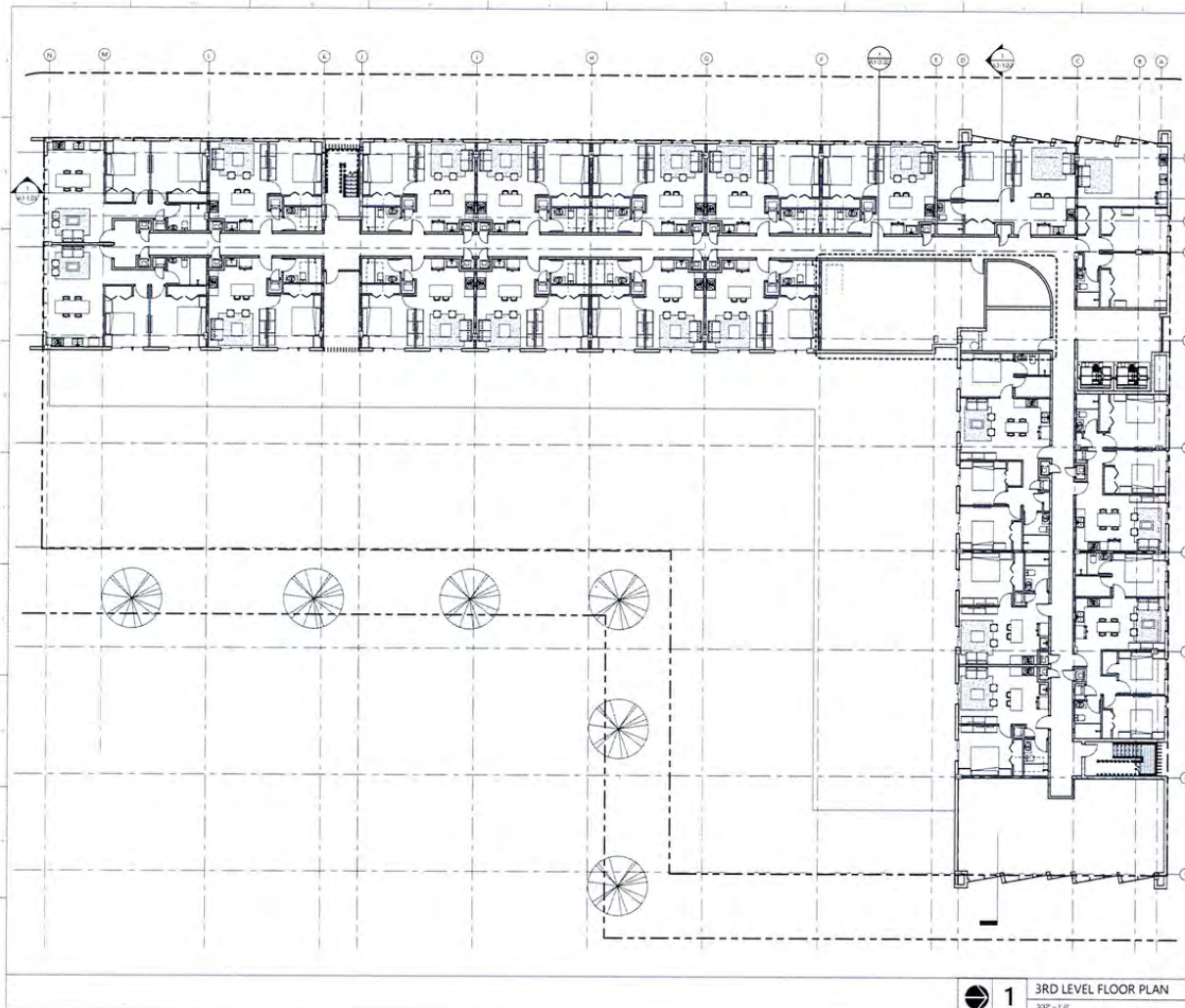
SIGNATURE:
 T. TODD MARTIN RA
 LIC# A 80017000

SHEET TITLE:
GROUND LEVEL FLOOR PLAN

SCALE:
 As indicated

SHEET NO.
A1-1.01

1 GROUND LEVEL FLOOR PLAN
 3/8" = 1'-0"



WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 8' CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTERIOR NON LOAD BEARING 8' CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 4' INTERIOR PARTITION NON-RATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	REMOVE/REBUILD
SEE TYPICAL WALL TYPES SHEET A2-1.0 FOR DETAILS	

- | CONSTRUCTION NOTES | |
|--------------------|---|
| 1. | REFER TO DRAWING Q-2 ADDITIONAL NOTES AND SPECIFICATIONS. GENERAL CONTRACTOR SHALL VERIFY THE CONDITIONS TO MAINTAINANCE. VERIFY WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR NOTED IN NOTES SHALL BE REMOVED AND RECONSTRUCTED TO BE REMOVED OR MODIFIED. SHALL BE DONE WITHIN THE ADDITIONAL TIME AND/OR COSTS TO THIS CONTRACT. |
| 2. | ANY DISCREPANCY IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT. FAILURE TO DO SO MAY RESULT IN NEED OF FINISHED WORK. THIS IS THE LAST ADDRESS TO THE ARCHITECT OF THE CONTRACT DOCUMENTS. |
| 3. | VERIFY SCALE THE DRAWING. VERIFY DIMENSIONS, LEVELS, SCALE DETAILS. GENERAL CONTRACTOR SHALL VERIFY ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS. |
| 4. | GC SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPECIALTIES DRAWINGS. |
| 5. | ALL WORK SHALL BE COMPLETED IN A CLASS A MANNER AND SHALL NOT BE SUBJECT TO BE ACCEPTABLE TO OWNER. |
| 6. | ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK. CONSTRUCTION AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR TO THE FABRICATION OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE. |
| 7. | ALL USE CONTRACTOR'S PERFORMANCE WORK IN THIS BUILDING SHALL VERIFY FOR THE TRULY AND REGULATORY OR TENANT ALTERATION WITH THE BUILDING MANAGER'S OFFICE AND CODES/REGULATIONS. ALL NECESSARY PERMITS SHALL BE OBTAINED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 0. |
| 8. | CONTRACTOR SHALL FINISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR FINISHING ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE. |
| 9. | NEW WALLS ARE ENGAGED TO THE FINISH FACE OF WALL. THIS DOES NOT UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD TO BE SET THE TYPE "X" UNLESS OTHERWISE NOTED. GREEN BOARD TO BE USED IN TOILET WHERE WATER IS USED AND DURABLE IN TOILET WHERE TILE IS USED. |
| 10. | ALL INTERCOMBERS SOUND ATTENUATING PARTS SHALL BE A MINIMUM OF 2" FOR 1/2" STUDS, 4" FOR 1" STUDS AND 4" STUDS AND 4" FOR 1/2" STUDS UNLESS OTHERWISE NOTED. |
| 11. | ALL CEILING SEPARATING RETAIL SPACE FROM TENANT ABOVE SHALL BE ONE HOUR FIRE RATED AND MATCH EXISTING CONDITIONS. NEW FINISHES REFER TO REFLECTED CEILING PLAN FOR GRID LINES AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS. |
| 12. | GENERAL CONTRACTOR TO SUPPLY ORDERED FIRE EXTINGUISHERS. LOCATION OF EXTINGUISHERS AS FURNISHED BY LOCAL AUTHORITY. ALL AND SHALL ALL EXISTING CORE DRILLED HOLES LEFT UNFILLED IN THE FLOOR, SUB AND CEILING SLAB. |
| 13. | PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION. |
| 14. | LABORERS AND ON PLASTER ALL EXISTING EXPOSED CORE WALLS AND PERIMETER CEILING AND WALL SURFACES WHICH ARE DAMAGED OR MISSING WITH ONE NEW LAYER OF GYPSUM BOARD OVER ALL AREAS. |
| 15. | FINISH TOP AND TRIM ALL EXISTING DEMISING PARTITIONS, CORE WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS. |
| 16. | THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE, BUT NOT LIMITED TO FLOORS, WALLS, CEILING, ETC. FOLLOWING THE INSTALLATION OF MILLWORK. TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. |
| 17. | CONTRACTOR TO REBUILD ANY PRORATED WALLS TO MEET ALL REQUIREMENTS TO ANY EXISTING PLUMBING AND ELECTRICAL SYSTEMS WITHIN THE CONSTRUCTION BOUND. |
| 18. | ALL METAL STUDS SHALL BE REMOVED OR REWORKED/REWORKING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE. GENERAL CONTRACTOR SHALL REPAIR ANY CORROSION OR MISSING IMPROVING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE. |
| 19. | GC TO VERIFY AND PROVIDE LIFT F.R. BLOCKING OR APPROVED METAL PLATE BLOCKING AND/OR BRG WALLS WITH MILLWORK. GC SHALL COORDINATE WITH MILLWORK FOR PROPOSED LOCATIONS & APPROVALS OF BLOCKING REQUIREMENTS AND PROVIDE ALL BLOCKING PRIOR TO CLOSING UP ANY AREAS ALL WALL, CEILING, ETC. TO MEET SUCH REQUIREMENTS. SEE MILLWORK SHOP DRAWINGS FOR ALL FUTURE INFORMATION. |

PROJECT AND OWNER
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 HFC
 3225 Anderson Avenue, 8th Floor
 Irvine, CA 92618
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 ARCHITECT:

CONSULTING ENGINEERS
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN

SCHEMATIC DESIGN

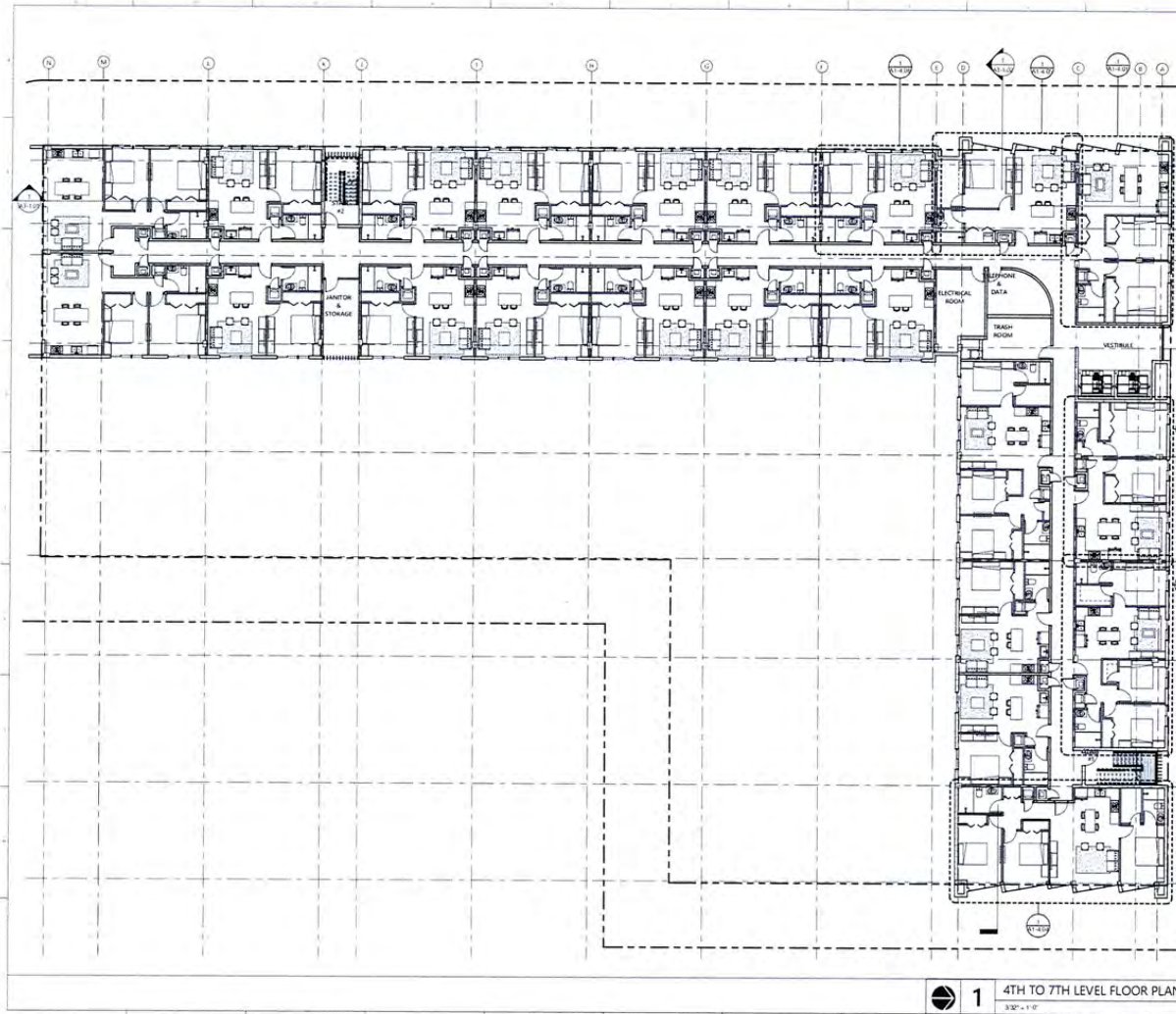
PERMIT APPLICATION DATE	
SHEET DATE	
PROJECT NO. 1194	
DRAWN BY	APPROVED BY

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

SCALE:

 SIGNATURE
 T. TODD MARTIN RA
 LIC # A8017090
 SHEET TITLE
3RD LEVEL FLOOR PLAN
 SCALE:
 As indicated
A1-1.03

1 3RD LEVEL FLOOR PLAN
 3/27 - 1 of 1



WALL LEGEND

- 1 WALL TYPE 1
TYPICAL NON-LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 2 WALL TYPE 2
TYPICAL NON-LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 3 WALL TYPE 3
TYPICAL 4" INTERIOR PARTITION NON-RAISED.
- 4 WALL TYPE 4
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
- 5 WALL TYPE 5
UNIT DAMPING PARTITION FIRE RATED.
- 6 REMOVE/DENOTE

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS.

- CONSTRUCTION NOTES**
- 1 REFER TO DRAWINGS G-2 ADDITIONAL NOTES AND SPECIFICATIONS.
 - 2 GENERAL CONTRACTOR SHALL VERIFY THE WEIGHTS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND THE GENERAL DESIGN OF WORK AND EXISTING CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ANY DIFFERENCES AND NECESSARY TO BE REMOVED OR MODIFIED SHALL BE NOTICED BY THE CONTRACTOR AT THE TIME AND/OR LOCATION TO THE CONTRACTOR. DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY TO CORRECT ANY NEEDS OF ANY WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
 - 3 VERIFY LOCAL THE EXISTING WEIGHTS DIMENSIONS ONLY LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
 - 4 ALL CHANGES TO MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS SHALL BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK, CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT WORK THE FABRICATION OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AS HIS OWN WORK.
 - 5 ALL TUBE CONTRACTORS PERFORMING WORK IN THIS BUILDING SHALL APPLY FOR THE RULES AND REGULATIONS FOR TUBING ACTIVITIES WITH THE BUILDING MANAGER'S OFFICE AND CDM GROUP AS COORDINATOR. ALL TUBING CONTRACTOR WORK SHALL BE REVIEWED FOR THE RETENTION OF APPROVED MATERIAL, LEAKAGE SPREADSHEET NOT TO BE USED.
 - 6 CONTRACTOR SHALL PURCHASE AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
 - 7 NEW WALLS AND PARTITIONS TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED. ALL OPTIMUM BEAMS TO BE 18" DIA. TRUSS. ALL UNLESS OTHERWISE NOTED. GREEN BEAMS TO BE USED IN TRUSS SPINDLE PANELS. COSS AND BANGS IN TRUSSES WHERE THE DESIGNER HAS OTHERWISE NOTED AT INSTALLATION POINTS SHALL BE A MINIMUM OF 7" DIA. TRUSS. 4" THICK FOR 1/2" DIA. TRUSS AND 1/2" DIA. TRUSS UNLESS OTHERWISE NOTED.
 - 8 ALL EXISTING SPARKING METAL SPACES FROM TRUSSES ABOVE SHALL BE ONE HOUR FIRE RATED AND PATCHED SMOOTH TO RECEIVE NEW FINISHES. REFER TO RELATED DRAWING PLAN FOR DETAILED INFO. AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS.
 - 9 GENERAL CONTRACTOR TO SUPPLY SMOOTHER FIRE EXTINGUISHERS. LOCATION OF EXTINGUISHERS AS REQUIRED BY LOCAL AUTHORITY.
 - 10 ALL EXISTING EXISTING CORE DRILLED WALLS LEFT LARGELY IN THE FLOOR SLAB AND CEILING SLAB.
 - 11 PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
 - 12 LAWNED AND/OR AFTER ALL EXISTING EXPOSED CORE WALLS AND PERIMETER, CEILING AND WALL SURFACES WHICH ARE DAMAGED OR MISSING WITH ONE HOUR RATED OR FIRE RATED PARTITION WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS.
 - 13 FIRE STOP AND PATCH ALL EXISTING DAMAGED PARTITION CORE WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS.
 - 14 THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO BE LEFT. BUT NOT LIMITED TO FLOOR, WALLS, CEILING, ETC. FOLLOWING THE INSTALLATION OF ALL WORK TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - 15 CONTRACTOR TO REPAIR ANY PERIMETER WALLS AS NEAR AS POSSIBLE TO EXISTING CONDITIONS.
 - 16 ALL MECH. SYSTEMS SHALL REPAIR ANY LEAKS OR MISSING/INOPERATING FROM STRUCTURAL ELEMENTS AND OTHER NEARBY ELEMENTS OF THE SPACE.
 - 17 GENERAL CONTRACTOR SHALL REPAIR ANY LEAKS OR MISSING/INOPERATING FROM STRUCTURAL ELEMENTS AND OTHER NEARBY ELEMENTS OF THE SPACE.
 - 18 G.C. TO VERIFY AND INSTALL 1/2" F.R. FLOORING OR APPROVED METAL PLAT STOCK BEHIND ALL GYP. WALLS WITH MILLWORK, ETC. SHALL COORDINATE WITH MILLWORK FOR REQUIRED LOCATIONS & SCHEDULE OF BLOCKING REQUIREMENTS AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLIPPING OF ANY AND ALL WALLS, CEILING, ETC. TO MEET SUCH REQUIREMENTS. SEE MILL WORK SHOP DRAWINGS FOR ALL FUTURE INFORMATION.

PROJECT AND OWNER

MT. HERMON
 100 4TH STREET & HANBELL AVE. (100)
 HANBELL, VA 22971
 VA 22971
 100 4TH STREET & HANBELL AVE. (100)
 HANBELL, VA 22971
 ARCHITECT:

REP RT WAR
 100 4TH STREET & HANBELL AVE. (100)
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 ARCHITECT:

CONSULTING ENGINEERS:

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

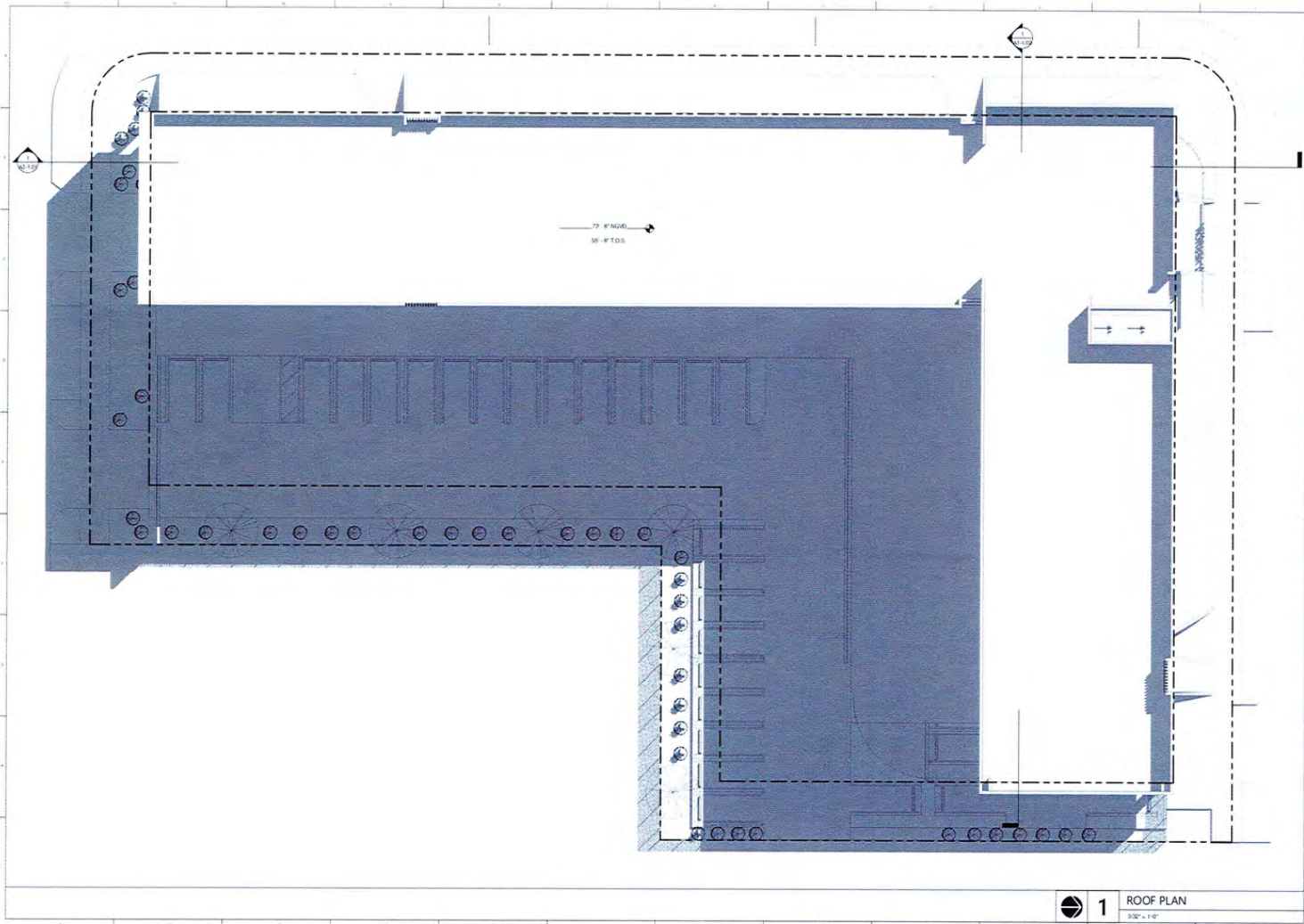
MEP APPLICATION DATE: 12/23/19
 SHEET ISSUE DATE: 12/23/19
 PROJECT NO.: 104
 DRAWN BY: 104 APPROVED BY: 104

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SIGNATURE:
 T. TODD MARTIN, RA,
 LIC# A-00017090
 SHEET 110
 4TH TO 7TH LEVEL
 FLOOR PLAN

SCALE:
 N.T.S.
 SHEET NO.
A1-1.04



PROJECT AND OWNER
MT. HERMON
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CONSULTING ENGINEERS
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE: 12/03/19
 SHEET ISSUE DATE:
 PROJECT NO.: 1914
 DRAWN BY: TMA APPROVED BY: TMA

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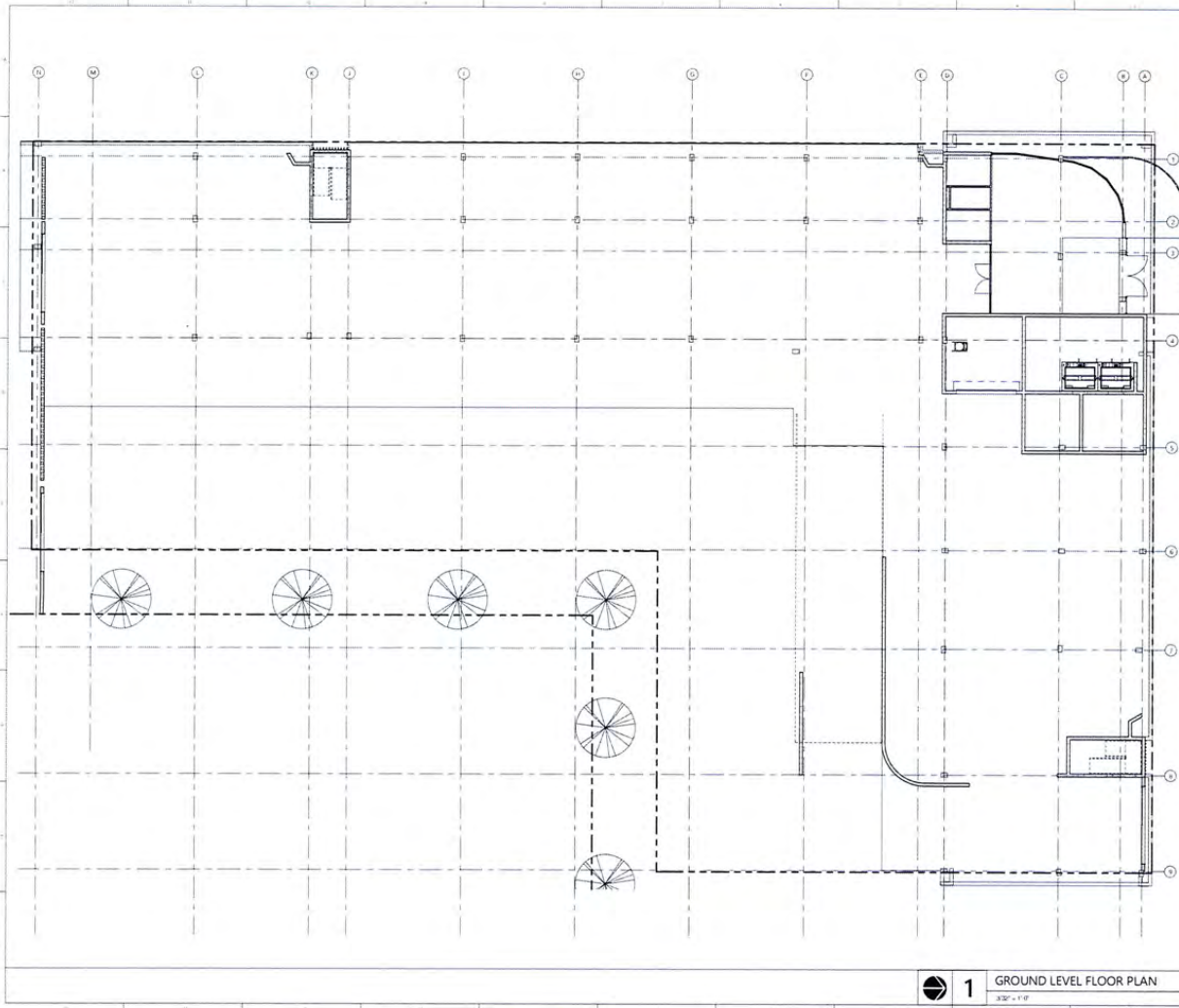
SCALE:

SIGNATURE
 T. TODD MARTIN RA
 LIC# A-10900
 SHEET TITLE
ROOF PLAN

SCALE
N.T.S.
 SHEETING

A1-1.05

1 ROOF PLAN
 3/32" = 1'-0"



1 GROUND LEVEL FLOOR PLAN
3/31" = 1'-0"

FINISH CEILING ELEVATION LEGEND

- 5'-0" CEILING - EXPOSED CEILING
- 8'-0" CEILING - DR. BOARD DRY WALL SOCKET WITH JOINTS FINISH
- 8'-0" CEILING - DR. BOARD DRY WALL SOCKET WITH TAPE, PRINTED AND FINISHED
- 8'-0" CEILING - SURFACED CEILING GRID AND FILES AT 2'-0"
- 7'-8" CEILING - DR. BOARD DRY WALL SOCKET WITH JOINTS FINISH - TAPE, PRINTED AND FINISHED

REFLECTED CEILING NOTES

1. REFER TO THE GENERAL NOTES SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL WORKSHOP. REFER TO ALL DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB - CONTRACTOR SHALL VERIFY ALL CEILING MINIMUM CONDITIONS TO ASSURE CLEARANCE OF STRUCTURE, PIPING AND OTHER OBSTRUCTIONS WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATIONS OF THE LIGHT FIXTURES. NOTIFY SUB - CONTRACTOR SHALL FINISH CEILING TRIMMING WITH CURVED EDGES AND METAL SHIMMER HOLDING WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS. SUB - CONTRACTOR SHALL VERIFY NECESSARY SERVICES IS AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT AVAILABLE.
5. SUB - CONTRACTOR SHALL VERIFY ALL CEILING HANGING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "BENTON/OWENS CORNING". SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD ACCESS PANEL FRAMES SHALL BE TYPED AND SPACED. PROTECT AND REPAIR ALL BLOWINGS AS THEY OCCUR.
6. CEILING HEIGHTS ARE DRAWN IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INDICATED ON SEPARATE SHEET. REFER TO ENGINEERING DRAWINGS FOR ILLUMINANCE LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND ALL ENGINEERING DRAWINGS FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM.
7. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
8. ALL HANGING AND STRIKES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (SMALL COLUMNS, ETC.) UNLESS OTHERWISE NOTED. ANY ELEVATION FROM THIS INSTALLATION SHALL RESULT IN A CENTER FOR REGULATION THROUGH THE HOOKS AND STRIKES AT HIS OWN EXPENSE.
9. ALL UNFINISHED SURFACE THROUGH FLOOR SLAB ABOVE SHALL BE FINISHED AS REQUIRED.

RCP LEGEND

- JUNCTION BOX
- EXHAUST VENT
- 4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: BENTON/OWENS CORNING
- SURFACE MOUNTED LIGHT MANUFACTURER: T.S.D.
- PENDANT LIGHT MANUFACTURER: T.S.D.
- WALL MOUNTED LIGHT MANUFACTURER: T.S.D.
- EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: T.S.D.

PROJECT AND OWNER

MT. HERMON
 1014 4TH STREET & MAIN AVE (FOUR)
 LAURENCE, IA 50555
 HTS
 3225 American Avenue, 9th Floor
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 505.673.2323 | REP@RTWAR.COM

CONSULTING ENGINEERS:

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:
 SHEET ISSUE DATE:
 PROJECT NO.: 1194
 DRAWN BY:
 APPROVED BY:

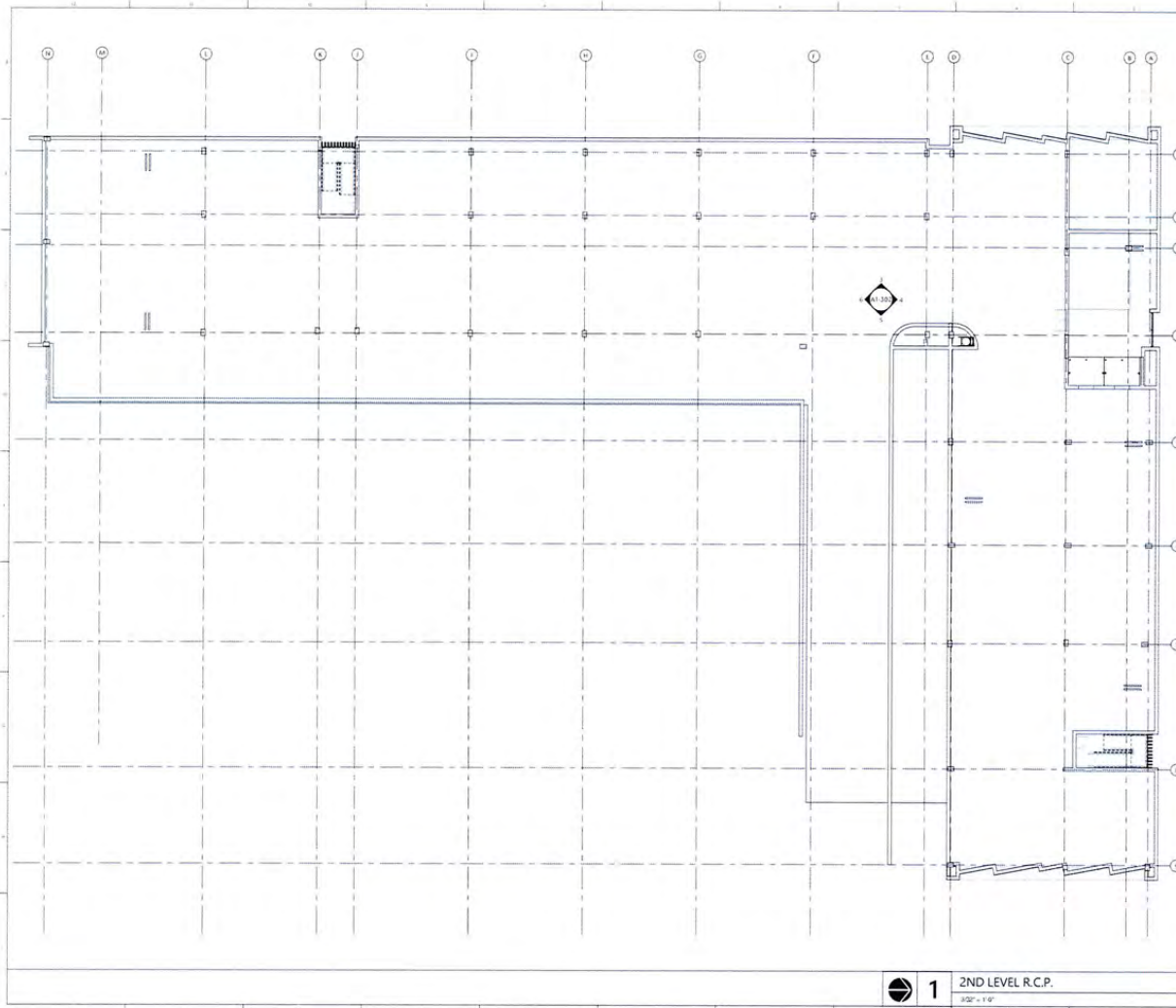
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SIGNATURE:
 T. TODD MARTIN RA
 LECA #00017090
 SHEET TITLE:
 GROUND LEVEL R.C.P.

SCALE:
 As indicated

SHEET NO:
A1-2.01



1 2ND LEVEL R.C.P.
ASD = 1/8"

FINISH CEILING ELEVATION LEGEND

-
-
-
-

REFLECTED CEILING NOTES

1. REFER TO THE GENERAL / FS SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE REST OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION REFER TO M.E.P. DRAWINGS.
3. FACTORY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB: CONTRACTOR SHALL VERIFY ALL CEILING PLUMB CONDUITS TO ASSURE CLEARANCE OF OUT WORK, PIPING AND OTHER OBSTRUCTION. NOTICING THE CEILING HEIGHTS SPECIFIED AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING NOTICING WITH GIPPSAM BOARDING AND METAL SHIMMOR BOARDING WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB: CONTRACTOR SHALL VERIFY ADEQUATE SURFACE AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SURFACE NOT ADEQUATE.
6. SUB: CONTRACTOR SHALL SUPPLY FULL GIPPSAM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE INSTALLED AND SPACED TO PREVENT ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS AND WITH ENGINEERING DRAWINGS FOR DATAING CIRCUITS AND FIRE ALARM SYSTEM.
8. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
9. ALL HOODS AND FROGS SHALL BE CENTERED ABOVE THE LIGHT SOURCE OR CENTERED ON SURFACE WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL BE THE CONTRACTOR RELOCATING THE HOODS AND FROGS AT HIS OWN EXPENSE.
10. ALL HORIZONTAL SLAB POKE THROUGH FROM SLAB ABOVE SHALL BE FIRE RATED AS REQUIRED.

RCP LEGEND

-
-
-
-
-
-
-

PROJECT AND OWNER

MT. HERMON
 1 NEWBATH STREET & NEWBATH AVE (EAST)
 LANDSBERG MA 01231
 HSS
 1205 American Avenue, 8th Floor
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 Miami, FL 33137
 305.873.2422 | REP RTWAR CORP
 REP RTWAR.COM

CONSULTING ENGINEERS

MEP:

STRUCTURAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN

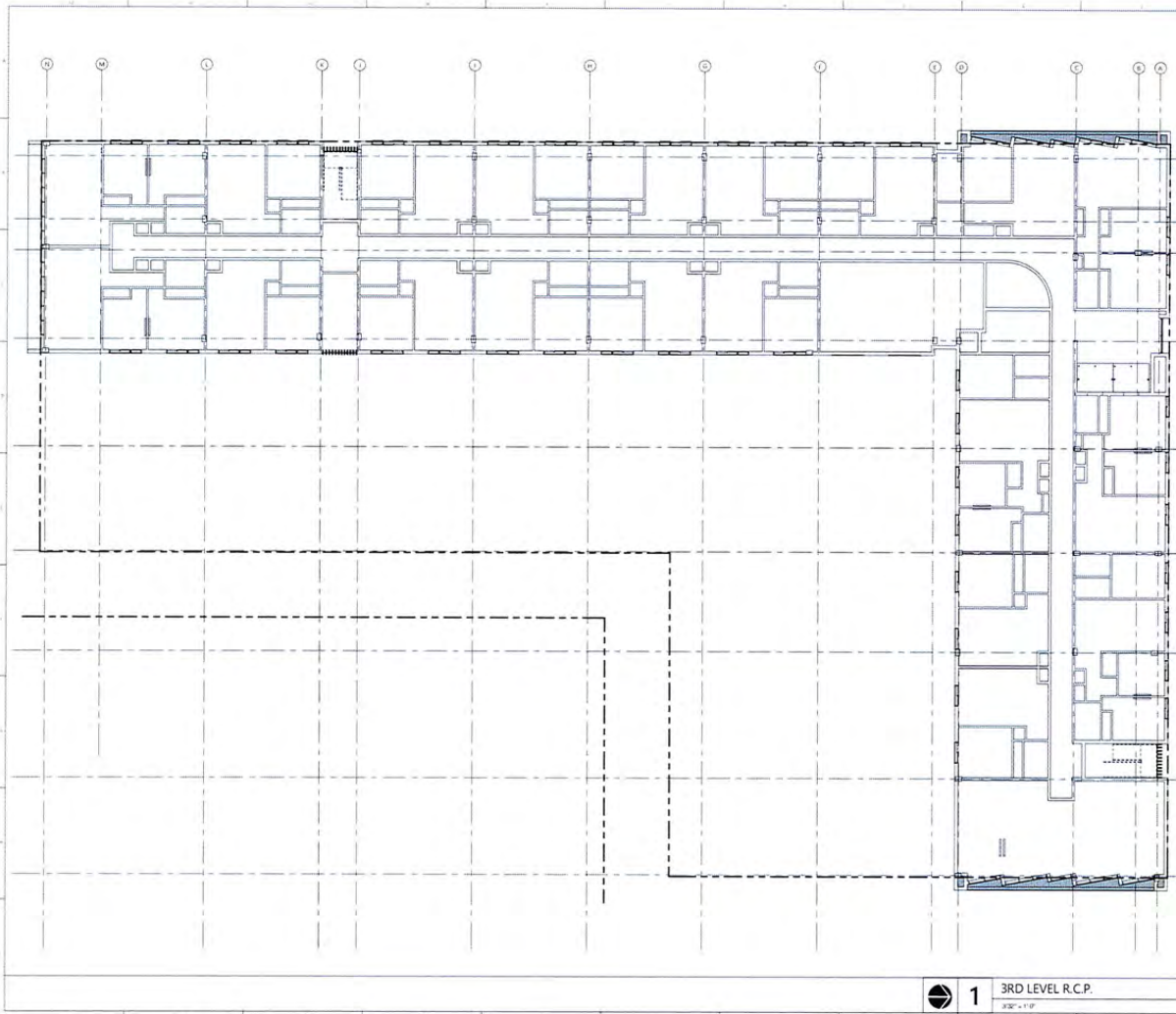
PERMIT APPLICATION DATE: 12/28/19
 SHEET ISSUE DATE:
 PROJECT NO.: 1914
 DRAWN BY: TMA APPROVED BY: TMA

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SIGNATURE:
 T. TODD MARTIN RA,
 LIC# A80017090
 SHEET TITLE:
 2ND LEVEL R.C.P.

SCALE:
 N.T.S.
A1-2.02
 12/28/19



FINISH CEILING ELEVATION LEGEND

- 8'-0" CEILING:** EXPOSED CEILING
8' - 0"
- 8'-0" CEILING:** GYP BOARD DRY WALL COFFER WITH SANDOZ FINISH
8' - 0"
- 8'-0" CEILING:** SURFACED CEILING GRID AND TILES AT 4" x 4"
8' - 0"
- 7'-6" CEILING:** GYP BOARD DRY WALL COFFER WITH SANDOZ FINISH
7' - 6"

REFLECTED CEILING NOTES

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE PATTERN OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FIXTURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. THE CONTRACTOR SHALL VERIFY ALL CEILING JOIST CONDITIONS TO ASSURE CLEARANCE OF SUCT WORK, PIPING, AND OTHER OBSTRUCTION WITH THE CEILING HEIGHT SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. THE CONTRACTOR SHALL PROVIDE CEILING JOIST CONDITIONS WITH OFFICIAL RECORDS AND MEET JOIST CONDITIONS WHERE JOIST CLEARANCES ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. THE CONTRACTOR SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY OBSTACLES TO ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "INDUSTRIAL INC." SIZE OF ACCESS PANELS SHALL BE COORDINATED WITH FIELD ACCESS PANELS. PANELS SHALL BE LINED AND PACKED. PROVIDE ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7. CEILING HEIGHTS AND DIMENSIONS IN RELATIONSHIP TO FINISHED FLOOR EMERGENCY LIGHTS SHALL BE INDICATED ON SEPARATE EXPORT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SMOKEING, CIRCULAR AND FIRE ALARM SYSTEMS.
8. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
9. ALL HORIZONTAL STRIKES SHALL BE CENTERED UNLESS THE LIGHT SWITCH OR CENTERED ON STRIKE WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED ANY DEVIATION FROM THIS REGULATION SHALL BE IN THE CONTRACTOR'S HANDS AND STRIKES AT HIS OWN RISK.
10. ALL ABANDONED SMOKE POKE THROUGHS FROM SLAB ABOVE SHALL BE FIRE SAIED AS REQUIRED.

RCP LEGEND

- JUNCTION BOX**
- EXHAUST VENT**
- 4" SQUARE THINNESS RECESSED LIGHT**
MANUFACTURE: BOLD LIGHTING, RA 0675
- SURFACE MOUNTED LIGHT**
MANUFACTURE: T.B.D.
- PENDANT LIGHT**
MANUFACTURE: T.B.D.
- WALL MOUNTED LIGHT**
MANUFACTURE: T.B.D.
- EXTERIOR LINEAR WALKOVER RECESSED LIGHT**
MANUFACTURE: T.B.D.

PROJECT AND OWNER

MT. HERMON
 10044TH STREET & NEW BRIDGE AVENUE
 LAURENSVILLE, FL 32051
 HFC
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 MIAMI, FL 33122
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 #REPRITWAR

CONSULTING ENGINEERS:

- MEP:**
- STRUCTURAL ENGINEER:**
- CIVIL ENGINEER:**
- LANDSCAPE ARCHITECT:**

KEY PLAN

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:	12/05/19
SHEET ISSUE DATE:	
PROJECT NO.:	1194
DRAWN BY:	T.M.
APPROVED BY:	T.M.

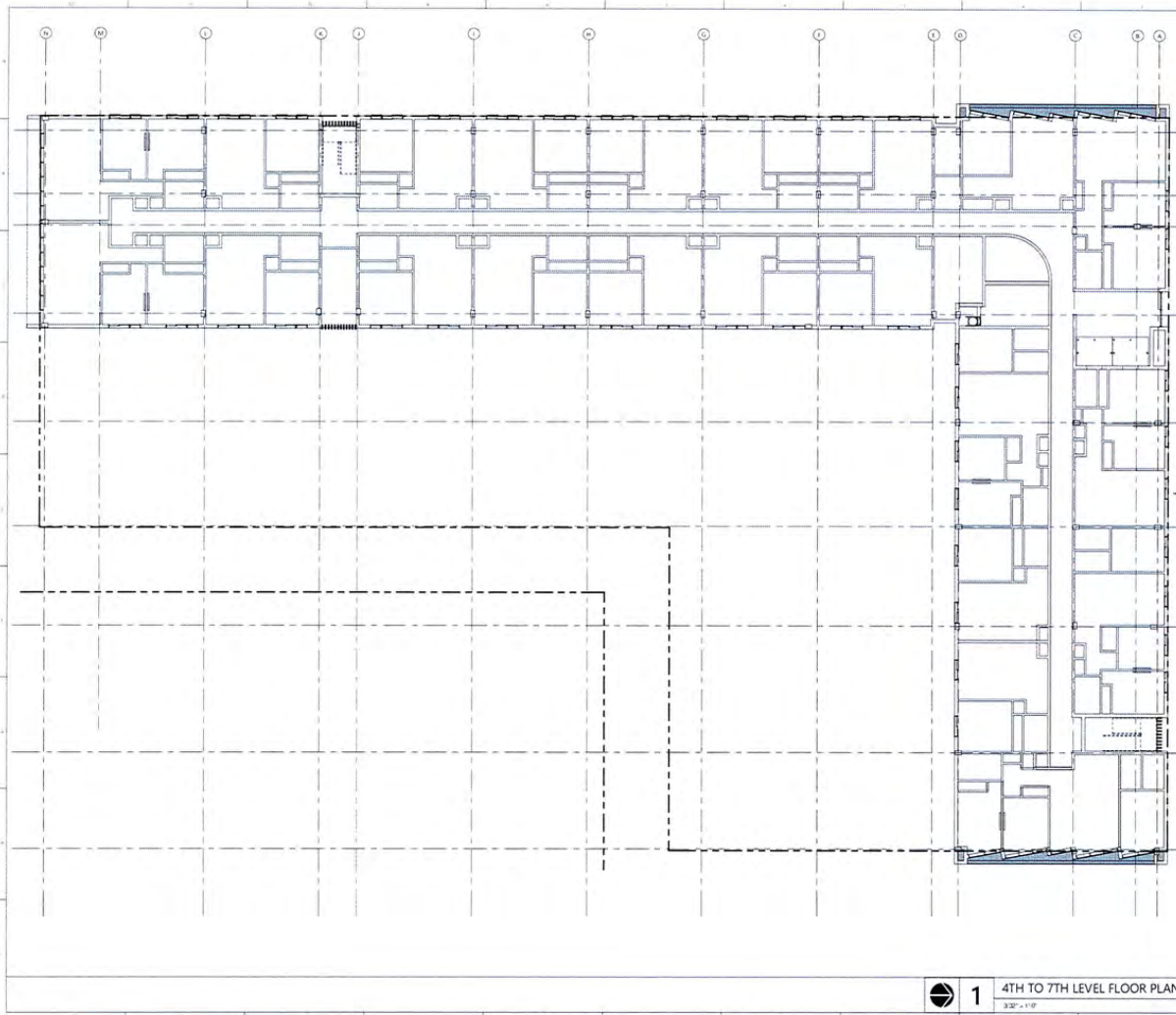
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SEAL:

 SIGNATURE:
 T. TODD MARTIN, RA
 LIC# AR0077950
 SHEET TITLE:
 3RD LEVEL R.C.P.

SCALE:
 N.T.S.
 SHEET NO:
A1-2.03

1 3RD LEVEL R.C.P.
 3/32" = 1'-0"



FINISH CEILING ELEVATION LEGEND

- S.O. CEILING - EXPOSED CEILING
- S.O. CEILING - 8'-0" GFR BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TAPED, PAINTED AND FINISHED
- S.O. CEILING - 8'-0" SUSPENDED CEILING GRID AND TILES AT 2'x2'
- S.O. CEILING - 7'-0" GFR BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TAPED, PAINTED AND FINISHED

REFLECTED CEILING NOTES

1. REFER TO THE GENERAL / G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO ME.P. DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB: CONTRACTOR SHALL VERIFY ALL CEILING FEATURES CORRELATING TO ASSURE CLEARANCE OF STRUCTURE, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB: CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH OPENING RISERS AND MESH DROPOUN HOODS WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB: CONTRACTOR SHALL VERIFY ADEQUATE SERVICE AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6. SUB: CONTRACTOR SHALL SUPPLY ALL OFFSHORE CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY THE FOLLOWING MFG. SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD. ACCESS PANELS SHALL BE COVERED AND BRANDED. PROTECT AND ALL BLOCKINGS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE SPECIFIED IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR BRITISH COLUMBIA AND THE ALARMA SYSTEM. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
8. ALL HORIZONTAL FIXTURES SHALL BE CENTERED ABOVE THE LIGHT SOURCE OR CENTERED ON SURFACE WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL BE SUBJECT TO CONTRACTOR NEGOTIATING THE HOWING AND STROKES AT HIS OWN EXPENSE.
9. ALL UNANNOUNCED SLAB POKE THROUGH FROM SLAB ABOVE SHALL BE FIRE STOPPED AS REQUIRED.

RCP LEGEND

- FUNCTION BOX
- EXHAUST VENT
- ▲ 4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: T.B.D. (TYPICAL)
- ◆ SURFACE MOUNTED LIGHT MANUFACTURER: T.B.D.
- PENDANT LIGHT MANUFACTURER: T.B.D.
- WALL MOUNTED LIGHT MANUFACTURER: T.B.D.
- ▬ EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: T.B.D.

PROJECT AND OWNER

MT. HERMON
 100 4TH STREET & WALBRA AIR FLOOR
 LANGERMEIER PL. 3071
 HTS
 3223 Anderson Avenue, 9th Floor
 Concord, CA 94521
ARCHITECT:

REP RITWAR

7781 NE 4TH AVENUE, STE. 101
 SUITE 101, PORTLAND, OR 97218
 503.671.2121 | REP@RITWAR.COM

CONSULTING ENGINEERS

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN

SCHEMATIC DESIGN

PERMIT APPLICATION DATE: 12/28/19
 SHEET SCALE: 1/8" = 1'-0"
 PROJECT NO: 1914
 DRAWN BY: TMA APPROVED BY: TMA

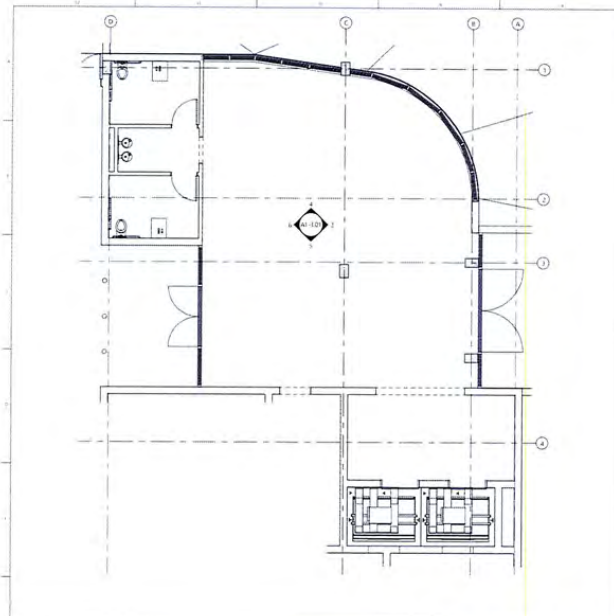
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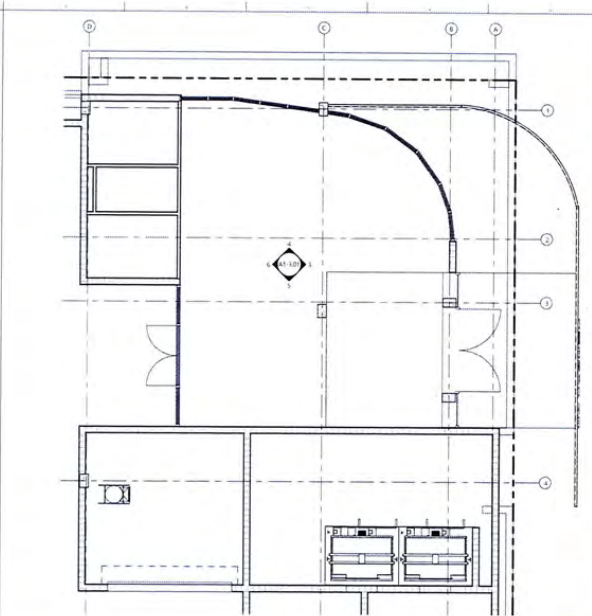
SIGNATURE:
 T. TODD MART IN RA
 LIC# 100017090
 SHEET TITLE:
 4TH TO 7TH LEVEL
 R.C.P.
 SCALE:
 N.T.S.

SHEET NO:
A1-2.04

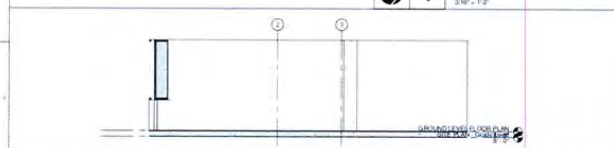
1 4TH TO 7TH LEVEL FLOOR PLAN
 3/8" = 1'-0"



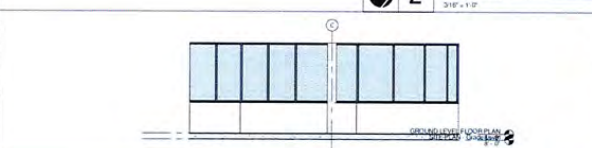
1 ENLARGED PLAN - LOBBY
3/16" = 1'-0"



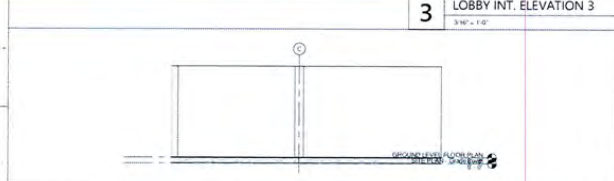
2 LOBBY R.C.P.
3/16" = 1'-0"



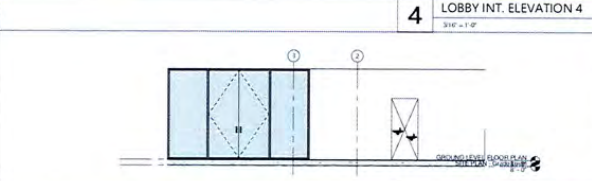
3 LOBBY INT. ELEVATION 3
3/16" = 1'-0"



4 LOBBY INT. ELEVATION 4
3/16" = 1'-0"



5 LOBBY INT. ELEVATION 5
3/16" = 1'-0"



6 LOBBY INT. ELEVATION 6
3/16" = 1'-0"

FINISH CEILING ELEVATION LEGEND

- 1. **3.0 CEILING** LAPOSED CEILING
10'-0"
- 2. **3.0 CEILING** GIP BOARD DRY WALL SOFFIT WITH SMOOTH FINISH
9'-0"
- 3. **3.0 CEILING** SUSPENDED CEILING GRID AND TILES
8'-0"
- 4. **3.0 CEILING** GIP BOARD DRY WALL SOFFIT WITH SMOOTH FINISH
TAPED, PRINTED AND FINISHED
7'-0"

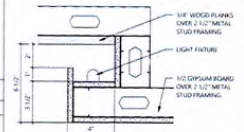
REFLECTED CEILING NOTES

1. REFER TO THE GENERAL / C SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATION OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO ME/P DRAWINGS.
3. REFER ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB: CONTRACTOR SHALL VERIFY ALL CEILING PLUMBING CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER CONSTRUCTION WITH THE CLEARANCE HEIGHTS SPECIFIED. AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB: CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH DIMENSIONED AND METAL SHIMONS/MOLDING. WHERE LOWER CLEARANCE ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB: CONTRACTORS SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6. SUB: CONTRACTOR SHALL SUPPLY ALL CEILING BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE MANUFACTURED BY "THE PERFORMANCE INC." SIZE OF ACCESS PANELS SHALL BE COORDINATED BY FIELD. ACCESS PANEL FRAMES SHALL BE TYPED AND CONCEALED. PROVIDE JAY AND ALL BLOCKING AS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO UNDERGROUND DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS AND WITH ENGINEERING DRAWINGS FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM. REFER TO UNDERGROUND DRAWINGS FOR LOCATION OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
8. ALL HOBES AND THROSES SHALL BE CONTINUED ABOVE THE LIGHT FIXTURE OR CENTERED ON SURFACE SHALL COLUMN, ETC. UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS POSITIONATION SHALL HOLD IN CONTRACTOR RE-ELECTRICATING THE HOBES AND THROSES AT HIS OWN EXPENSE.
9. ALL UNMENDED SLAB POLE THROUGH FROM SLAB ABOVE SHALL BE FREE SALED AS REQUIRED.

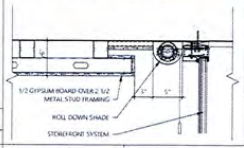
RCP LEGEND

- 1. **JUNCTION BOX**
- 2. **EXHAUST VENT**
- 3. **4" SQUARE TRIMLESS RECESSED LIGHT**
MANUFACTURER: TRAC-LIGHT/FULL GIGI
- 4. **SURFACE MOUNTED LIGHT**
MANUFACTURER: T.E.D.
- 5. **PENDANT LIGHT**
MANUFACTURER: T.E.D.
- 6. **WALL MOUNTED LIGHT**
MANUFACTURER: T.E.D.
- 7. **EXTERIOR LINEAR WALKOVER RECESSED LIGHT**
MANUFACTURER: T.E.D.

COVE LIGHTING DETAIL



ROLLODOWN SHADE DETAIL



PROJECT AND OWNER
MT. HERMON
1401 4TH STREET & MAIN BLVD. (P.O.)
LAURENSVILLE, TN 37055
HISG
3225 American Republic Blvd. Palm
Crestwood, CA 91323
ARCHITECT:

REPRITWAR
1761 E. 4TH AVENUE, STE. 101
WILSON, IL 61801-3310
305.672.2121 | REPRITWAR.COM

CONSULTING ENGINEERS

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

PROJECT APPLICATION DATE:	
SHEET ISSUE DATE:	
PROJECT NO.:	1194
DRAWN BY:	
APPROVED BY:	

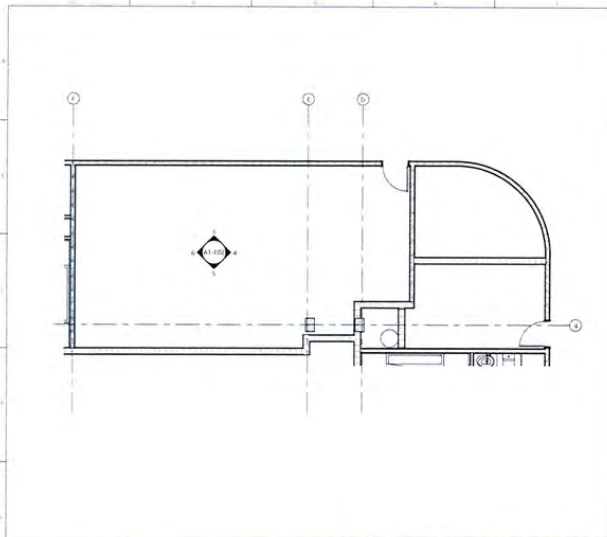
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SCALE:

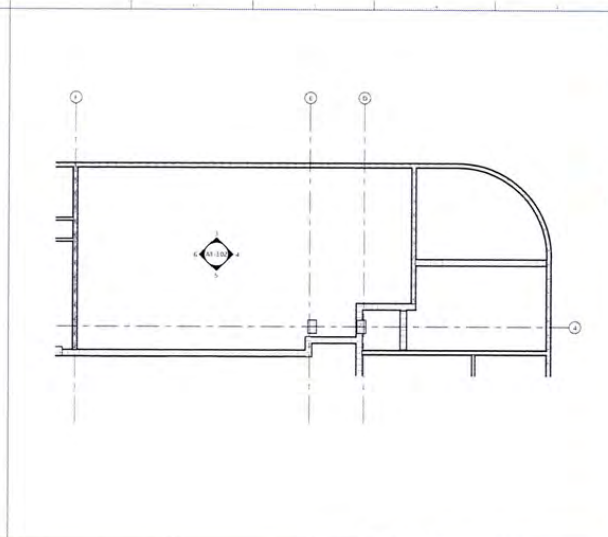
SIGNATURE:
T. TODD MARTIN RA.
LECA A00017090

SHEET TITLE:
ENLARGED PLAN - LOBBY

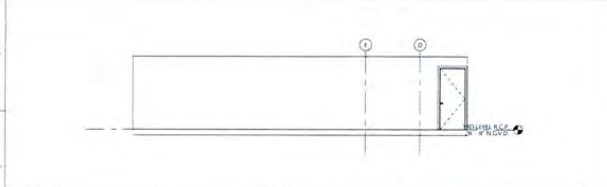
SCALE:
As indicated
A1-3.01
SHEET NO.



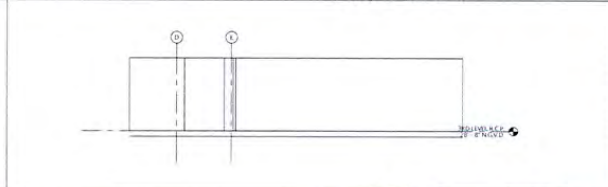
1 ENLARGED PLAN - SOCIAL ROOM
3/16" = 1'-0"



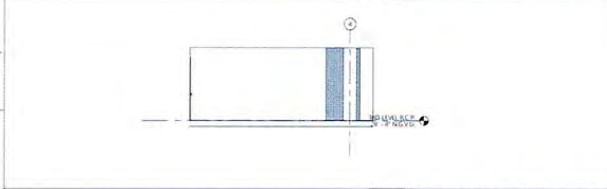
2 SOCIAL ROOM R.C.P.
3/16" = 1'-0"



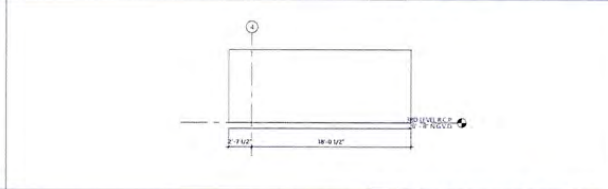
3 SOCIAL ROOM INT. ELEVATION 3
3/16" = 1'-0"



5 SOCIAL ROOM INT. ELEVATION 5
3/16" = 1'-0"



4 SOCIAL ROOM INT. ELEVATION 4
3/16" = 1'-0"



6 SOCIAL ROOM INT. ELEVATION 6
3/16" = 1'-0"

FINISH CEILING ELEVATION LEGEND

	S.D. CEILING 8'-0"	EXPOSED CEILING
	S.D. CEILING 8'-0"	GYP. BOARD DRY WALL SOFFIT WITH SANDWICH FINISH
	S.D. CEILING 8'-0"	GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH
	S.D. CEILING 8'-0"	SUSPENDED CEILING GRID AND TILES 24" x 24"
	S.D. CEILING 7'-0"	GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH
	S.D. CEILING 7'-0"	GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH

- REFLECTED CEILING NOTES**
- REFER TO THE GENERAL / G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
 - THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION REFER TO THE TRADE DRAWINGS.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
 - CONTRACTOR SHALL VERIFY ALL CEILING PLUMBING CONDITIONS TO ASSURE CLEARANCE OF ELECTRIC WIRING AND OTHER OBSTRUCTIONS WITH THE CEILING HEIGHT SPECIFIED. AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB- CONTRACTOR SHALL PROVIDE CEILING TRANSFORMERS WITH OPTIMUM BEAM AND METAL SHADOW MINIMIZING WHERE CONER CEILING ARE REQUIRED DUE TO CEILING PROFILES.
 - CONTRACTOR SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE ROOM SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
 - CONTRACTOR SHALL SUPPLY ALL CEILING BORED CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY THE MANUFACTURER. SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD ACCESS PANEL FRAMES SHALL BE TYPED AND SPACED. PROTECT AND REPAIR ALL FINISHES AS MAY BE REQUIRED.
 - CEILING HEIGHTS ARE DIMENSIONED IN WALL TO TOP OF FINISHED FLOOR.
 - EMERGENCY LIGHTS SHALL BE PROVIDED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SMOKEING CIRCUITS AND FIRE ALARM SYSTEMS.
 - REFER TO ENGINEERING DRAWINGS FOR LOCATION OF NEW AIR SUPPLY AND RETURNING AIR GRILLES.
 - ALL HOPS AND DOWNERS SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE WALL. COULERS, FLEXIBLE CONDUITS, NOTED AND DEVIATION FROM THIS INSTALLATION SHALL BE NOTED IN CONNECTION RELOCATING THE HOPES AND DOWNERS AT THE OWNERS EXPENSE.
 - ALL UNBLOCKED SLAB FLOOR THROUGHS FROM SLAB ABOVE SHALL BE FIRE RATED AS REQUIRED.

RCP LEGEND

	JUNCTION BOX
	EXHAUST VENT
	4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: BACHMAN LIGHTING, INC. (S.D.)
	SURFACE MOUNTED LIGHT MANUFACTURER: T.S.D.
	PENDANT LIGHT MANUFACTURER: T.S.D.
	WALL MOUNTED LIGHT MANUFACTURER: T.S.D.
	EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: T.S.D.

PROJECT AND OWNER
MT. HERMON
100 4TH STREET & MAIN AVE (100)
UNDEVELOPED 15, 3/23/11
HFS
3223 AUSTIN AVENUE, SUITE 100
CORONA, CALIFORNIA 92626
ARCHITECT:

REPERTWAR
7755 162 4TH AVENUE, STE. 102
SEASIDE, CA 92134
309 873 7223 | REPERTWAR.COM
434 2016 0218

CONSULTING ENGINEERS:
MEP:
STRUCTURAL ENGINEER:
CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

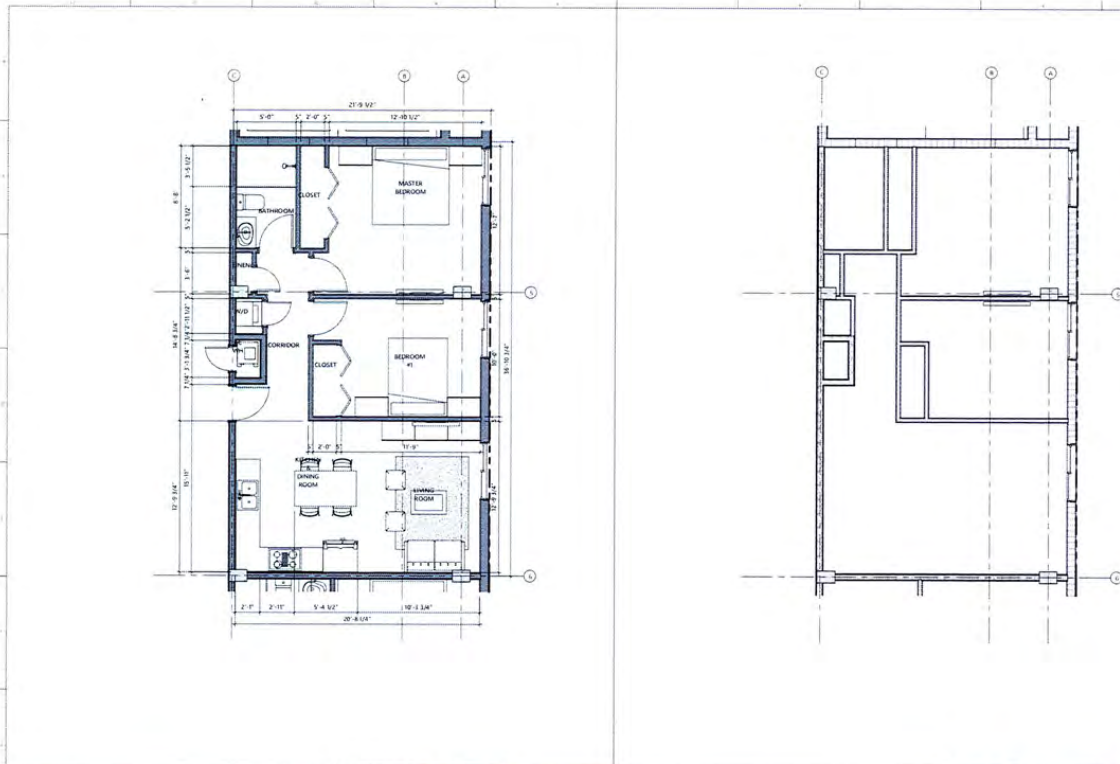
PROJECT APPLICATION DATE: 12/15/19
SHEET ISSUE DATE:
PROJECT NO.: 1914
DRAWN BY: TML APPROVED BY: TML

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SCALE:

SIGNATURE:
T. TODD MARTIN, R.A.
LIC # 480077090
SHEET TITLE:
ENLARGED PLAN - SOCIAL ROOM

SCALE:
N.T.S.
A1-3.02
4/20/2020 10:11



1 ENLARGED UNIT B
1/4" = 1'-0"

2 ENLARGED UNIT B - R.C.P.
1/4" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON-LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTERIOR NON-LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DEMISING PARTITION 1/2" MIN. FIRE RATED.
	REMOVABLE

SEE TYPICAL WALL TYPES SHEET AT 1-0 FOR DETAILS.

MATERIAL LEGEND	
	1 WHITE STUCCO SMOOTH FINISH (SEE FINISH SCHEDULE)
	2
	3 IMPREG. CONCRETE ROOF TILE (ADA No. 14.100.03)
	4
	5 LAMINATED GLASS
	6 ALUMINUM FRAMING
	7 WOOD SERRA
	8 RIPA METAL GUTTER

FINISH CEILING ELEVATION LEGEND	
	1 S.O. CEILING 8" x 12" EXPOSED CEILING
	2 S.O. CEILING 8" x 12" GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH PAINTED, PRIME AND FINISHED
	3 S.O. CEILING 8" x 12" SUSPENDED CEILING GRID AND TILES 48" x 24"
	4 S.O. CEILING 7" x 12" GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH PAINTED, PRIME AND FINISHED

- ### REFLECTED CEILING NOTES
- REFER TO THE GENERAL I-G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
 - THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION. REFER TO THE DRAWINGS, TYPICAL ARCHITECT OR ANY DISCREPANCIES BETWEEN THE REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
 - SUB: CONTRACTOR SHALL VERIFY ALL CEILING HEIGHTS CONCERNING TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB: CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH CURVED EDGES AND SMOOTH FINISHING, WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
 - SUB: CONTRACTOR SHALL VERIFY ACCURATE SPACING AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SPACING IS NOT AVAILABLE.
 - SUB: CONTRACTOR SHALL SUPPLY ALL OPENING REAR CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY THE MANUFACTURER. SIZE OF ACCESS PANELS SHALL BE COORDINATED IN REED. ACCESS PANEL FRAMES SHALL BE TYPED AND SPACINGS PROVIDED AND ALL BLOCKING AS REQUIRED.
 - CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
 - EMERGENCY LIGHTS SHALL BE PROVIDED ON UNBARRICADED WALK TO UNBARRICADED WALKWAYS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEMS.
 - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLES.
 - ALL HORIZONTAL STROKS SHALL BE CENTERED ABOVE THE LIGHT SWITCHES OR LOCATED ON SWIRL WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THE INSTALLATION SHALL BE NOTED BY CONTRACTOR RELOCATING THE HORIZONTAL STROKS AT HIS OWN RISK.
 - ALL UNBARRICADED SLAB POKES THROUGH FROM SLAB ABOVE SHALL BE FIRE RATED AS REQUIRED.

RCP LEGEND	
	1 JUNCTION BOX
	2 EXHAUST VENT
	3 4" SQUARE TRIMMED RECESSED LIGHT MANUFACTURER: TBC
	4 SURFACE MOUNTED LIGHT MANUFACTURER: TBC
	5 PENDANT LIGHT MANUFACTURER: TBC
	6 WALL MOUNTED LIGHT MANUFACTURER: TBC
	7 EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: TBC

INTERIOR FINISHES

INTERIOR FLOOR FINISH CLASSIFICATION #1
 INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION SHALL BE OF CLASS 1 OR 2 MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH IBC 905. THE CLASSIFICATION SHALL BE DETERMINED BY THE CLASSIFICATION DETERMINED BY IBC 905 AND FOLLOW CLASS 1 OR 2 MATERIALS OR OF GREATER CLASS. (905.2.2 MATERIALS OR GREATER)

INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2
 FOR VERTICAL EXITS AND EXITS PROTRUSIONS, EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, AND ROOMS AND EXCLUDED SPACES, MINIMUM REQUIRED FLAME SPREAD CLASSIFICATION INTERIOR FINISHES IS CLASS 1 (OR WANTS) OR GREATER CLASS. (905.2.2 MATERIALS OR GREATER)

SHOWER GLASS
 ALL SHOWER GLASS TO BE SAFETY GLASS CATEGORY II
 PROVIDE 12" MINIMUM CLEAR WIDTH FOR SHOWER ACCESS AT BATHROOMS IN COMPLIANCE WITH IBC 203.1.1

PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & MAIN BLVD AVE (EAST)
 LAKESIDE, CA 94022
 HTS
 2525 AVENUE ARCHITECTURE, 985 PINE
 CANYON DRIVE, SUITE 101
 ARCHITECT

REP RTWAR
 7701 HWY 101, SUITE 101
 SAN JUAN, CA 94022
 (415) 421-1234
 ARCHITECT

CONSULTING ENGINEERS
 MEP

STRUCTURAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

KEY PLAN

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:	12/03/19
SHEET ISSUE DATE:	
PROJECT NO.:	1014
DRAWN BY:	TJM
APPROVED BY:	TJM

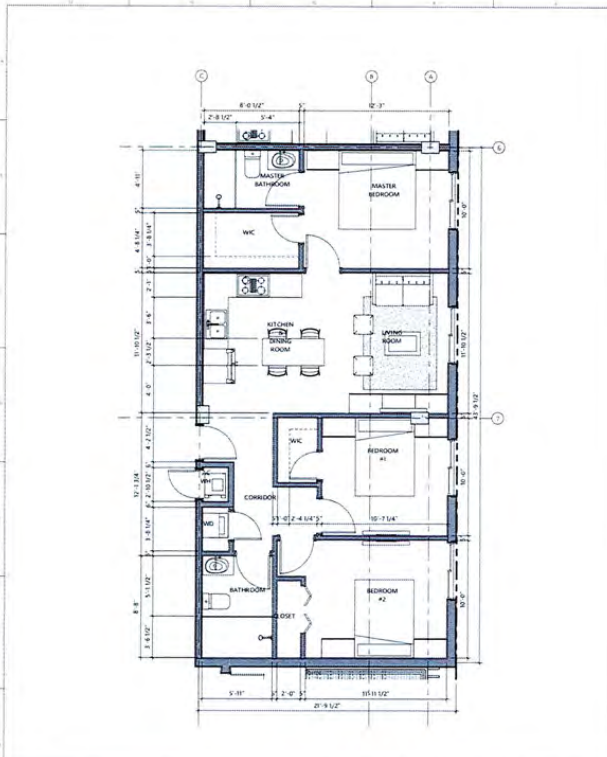
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



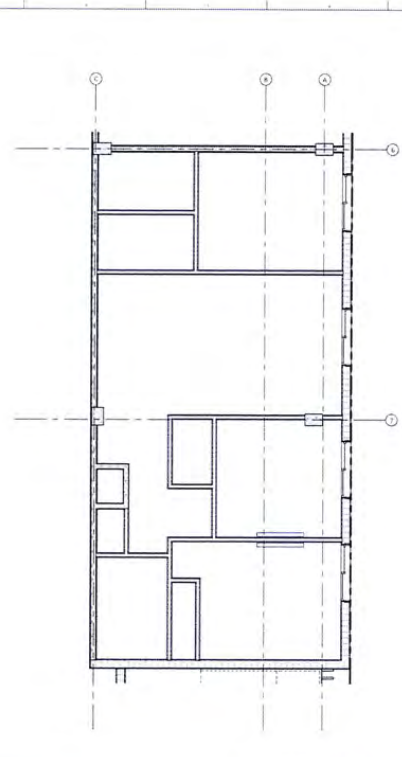
SIGNATURE:
T. TODD MARTIN, R.A.
 LIC # A0017990
 SHEET TITLE:
ENLARGED UNIT B

SCALE:
N.T.S.

A1-4.02



1 ENLARGED UNIT C
1/4" = 1'-0"



2 ENLARGED UNIT C - R.C.P.
1/4" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON-LOAD BEARING 1/2" CMU WALL BY VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTERIOR NON-LOAD BEARING 1/2" CMU WALL BY VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 1" INTERIOR PARTITION NON-RATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DRAWING PARTITION 1 HR FIRE RATED.
	REMOVABLE/EXTENDABLE

SEE TYPICAL WALL TYPES SHEET A7-1.0 FOR DETAILS.

MATERIAL LEGEND			
	1 WHITE STUCCO SMOOTH FINISH (SFP PANEL ALABASTER)		2 LAMINATED GLASS
	3 ALUMINUM FINISHING		4 WOOD SINKING
	5 WIPROCK CONCRETE WOOD TILE (NSA NO. 14-1006-03)		6 BLACK METAL GUTTER

FINISH CEILING ELEVATION LEGEND	
	S.C. CEILING 8'-0" EXPOSED CEILING
	S.C. CEILING 7'-0" GYP BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TARED, PRIMEFIED AND FINISHED
	S.C. CEILING 8'-0" SUSPENDED CEILING GRID AND TILES 24" x 24"
	S.C. CEILING 7'-0" GYP BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TARED, PRIMEFIED AND FINISHED

- REFLECTED CEILING NOTES**
- REFER TO THE GENERAL/CG SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
 - THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATION OF ANY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO THE CG DRAWINGS.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND THE MECHANICAL AND ELECTRICAL DRAWINGS FOR CLARIFICATION.
 - CONTRACTOR SHALL VERIFY ALL CEILING PLUMBING CONDITIONS TO ACHIEVE CLEARANCE OF THE TRUSS, CHIMNEY AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES. SUB CONTRACTOR SHALL PROVIDE CEILING MODIFICATIONS WITH CUSTOM FRAMES AND THE LAMPWORK INCLUDING WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
 - CONTRACTOR SHALL VERIFY ANY OTHER SERVICES AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICES ARE NOT AVAILABLE.
 - CONTRACTOR SHALL SUPPLY ALL OPTIMUM RIGID CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "REINFORCING INC." SIZE OF ACCESS PANELS SHALL BE COORDINATED AS PER ACCESS PANEL FRAMES SHALL BE TARED AND SPACKLED PROVIDE APPROVED ALL ACCESSING AS MAY BE REQUIRED.
 - CEILING HEIGHTS ARE DETERMINED IN RELATIONSHIP TO HORIZONTAL FLOOR FINISH. FINISHES SHALL BE INSTALLED ON HORIZONTAL FINISH TO ENHANCE LIGHTING FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECT'S RELATED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SMOKEING CIRCUITS AND FIRE ALARM SYSTEM.
 - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLES.
 - ALL HORIZONTAL STRONGS SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SMALL WALL, COLUMN, ETC. UPON CEILINGING NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORIZONTAL STRONGS AT HIS OWN EXPENSE.
 - ALL UNDESIRABLE SEAL FOLE THROUGH FROM SLAB AREAS SHALL BE FIRE RATED AS REQUIRED.

RCP LEGEND	
	JUNCTION BOX
	EXHAUST VENT
	4" SQUARE RECESSED LIGHT MANUFACTURER: BUSH BUSHING INC. (BUSH)
	SURFACE MOUNTED LIGHT MANUFACTURER: TSI-D
	PENDANT LIGHT MANUFACTURER: TSI-D
	WALL MOUNTED LIGHT MANUFACTURER: TSI-D
	EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: TSI-D

INTERIOR FINISHES	
INTERIOR FLOOR FINISH CLASSIFICATION #1	
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 05110-01-01 OF CLASS 1 OR 2 FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH NFPA 255. THE CLASSIFICATION REQUIRED TO MEET COMPLETION TO THE CLASSIFICATION DETERMINED BY NFPA 255 AS FLOOR CLASS 1 OR 2 WALL/FLOOR OR GREATER CLASS 2, 0.22 WATTS/KVA, 0.1" GREATER.	
INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2	
FOR VERTICAL EXITS AND EXITS PASSAGeways, EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, AND ROOMS AND FACED SPACES, IMPARTIAL REQUIRED BLANK SPREAD CLASSIFICATION INTERIOR FINISHES 0. CLASS 0, PLANK SPREAD INDEX 79-20, SMOKE-DEVELOPED INDEX 0-400.	
SHOWER GLASS	
ALL SHOWER GLASS TO BE SAFETY GLASS CATEGORY 9 PROVIDE 20" MINIMUM CLEAR WIDTH FOR SHOWER ACCESS AT BATHROOMS IN COMPLIANCE WITH ICCA CODES 1.	

PROJECT AND OWNER
MT. HERMON
1974TH STREET & NAVAIR AVE. (EOR)
LAURELHURST, IL 62451
HTG
3225 Anderson Avenue, 5th Floor
Chicago, Illinois 60641, 312.831.8100
ARCHITECT:

REP RTWAR
1791 N. 4TH AVENUE, STE. 101
CHICAGO, IL 60641-1311
312.671.3222 | REPRTWAR.COM
R.A. MARTIN, P.E.

CONSULTING ENGINEERS
MEP

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

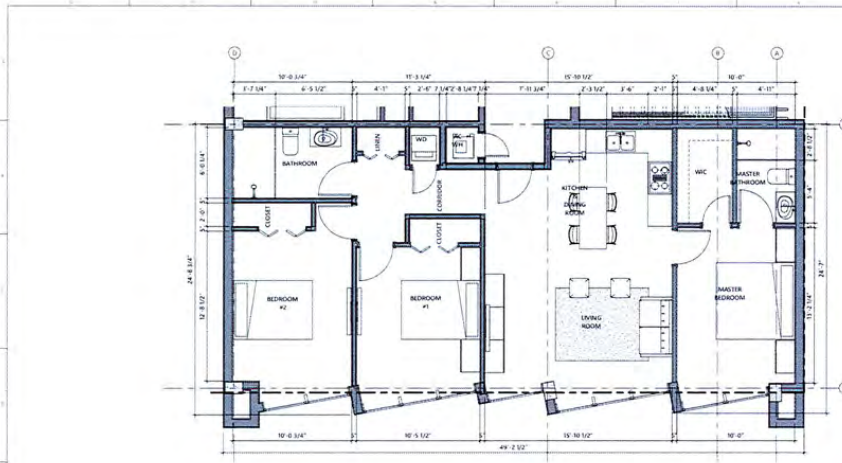
KEY PLAN:

SCHEMATIC DESIGN
PERMIT APPLICATION DATE: 12/28/19
SHEET ISSUE DATE:
PROJECT NO.: 1914
DRAWN BY: TSI APPROVED BY: TSI

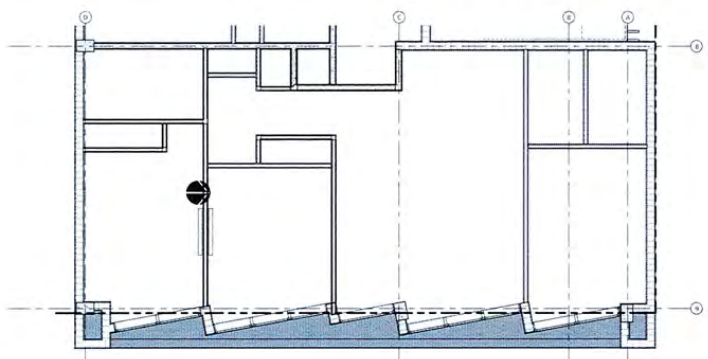
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SCALE:

SIGNATURE:
T. TODD MARTIN, RA.
LIC # 10790
ENLARGED UNIT C
SCALE:
NTS.
SHEET NO. **A1-4.03**
DATE: 01/14/20



1 ENLARGED UNIT D
3/4" = 1'-0"



2 ENLARGED UNIT D - R.C.P.
3/4" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON LOAD BEARING 1/2 CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTENSION NON LOAD BEARING 1/2 CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON RATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	REMOVE/DEMCO

FINISH CEILING ELEVATION LEGEND	
	8'-0" CEILING - UNWORKED CEILING
	9'-0" CEILING - GYP BOARD DRY WALL SORTED WITH SANDY FRESH PAINTED AND FINISHED
	10'-0" CEILING - SUSPENDED CEILING GRID AND TEES
	11'-0" CEILING - GYP BOARD DRY WALL SORTED WITH SANDY FRESH PAINTED AND FINISHED

INTERIOR FINISHES	
	INTERIOR FLOOR FINISH CLASSIFICATION #1 INTERIOR FLOOR FINISH AND FLOOR CEILING MATERIALS REQUIRED BY SECTION 05111-10 OR CLASS 1 OR 2 FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH MPA 203. THE CLASSIFICATION REFERRED TO HEREIN CORRESPONDS TO THE CLASSIFICATION DEFINED BY MPA 203. ALL FLOOR CLASS 1 SURFACES SHALL BE GRABER, CLASS 2-3/2 WHITE POLYURETHANE FINISH.
	INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2 FOR VERTICAL ENT'S AND ENT'S PASSAGeways, EXT. ACCESS CORRIDORS AND OTHER ENT WAYS, AND ROOMS AND ENCLOSED SPACES, MINIMUM REQUIRED FINISH SPREAD CLASSIFICATION INTERIOR FINISHES IS CLASS 1 (FLAKE, SPRING) INDEX 75-21. STAKE DEVELOPED INDEX 0-20.
	SHOWER GLASS ALL SHOWER GLASS TO BE SAFETY GLASS CATEGORY I. PROVIDE 2" MINIMUM CLEAR WIDTH FOR SHOWER ACCESS AT BATHROOMS IN CONFORMANCE WITH IBC 1010.1.1.

MATERIAL LEGEND	
	1 WHITE STUCCO SMOOTH FINISH (S&W ALABASTER)
	2
	3 WAFFLE CONCRETE FLOOR TILE (NSR No. 14-100-03)
	4
	5 LAMINATED GLASS
	6 ALUMINUM FRAMING
	7 WOOD SIDING
	8 BLACK METAL GUTTER

REFLECTED CEILING NOTES	
1	REFER TO THE GENERAL FG SHEETS FOR ADDITIONAL NOTES AND SPECIFICATION.
2	THE LAYOUT OF THE REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M&E DRAWINGS.
3	REIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4	SUB CONTRACTOR SHALL VERIFY ALL CEILING PLUMB CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTIONS WITH THE CEILING HEIGHTS SHOWN AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GRIPERS AND/OR WITH SHADOW BIDDING WHERE LOWER CEILING IS REQUIRED FOR TG CLEARANCE PROBLEMS.
5	SUB CONTRACTOR SHALL VERIFY ACCESSIBLE SERVICE FEASIBILITY FOR THE WORK SHOWN, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ACCESSIBLE.
6	SUB CONTRACTOR SHALL SUPPLY ALL GYP BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION FROM 10' HORIZONTAL. ACCESS PANELS SHALL BE AS MANUFACTURED BY THE MANUFACTURER. SIZE OF ACCESS PANELS SHALL BE COORDINATED WITH ACCESS PANEL FRAMES SHALL BE FARD AND SPACING PROVIDED ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7	CEILING HEIGHTS ARE ESTABLISHED IN RELATIONSHIP TO FINISHED FLOOR. ELEVATIONS SHALL BE NOTED ON SYMBOLS. CEILING REFER TO FINISHING DRAWINGS FOR FINISHING LIGHT LOCATIONS.
8	COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM.
9	REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
10	ALL HORN AND STROBE SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE. HORN, COLOR, ETC. UNLESS COORDINATE NOTES. ANY DEVIATION FROM THIS REGULATION SHALL BE IN CONTRACTOR'S SOLE RESPONSIBILITY. HORN AND STROBE AT NO GAIN LEVELS.
11	ALL UNBLOCKED SLAB POLE THROUGH FROM SLAB AND/OR SHALL BE FIRE RATED AS REQUIRED.

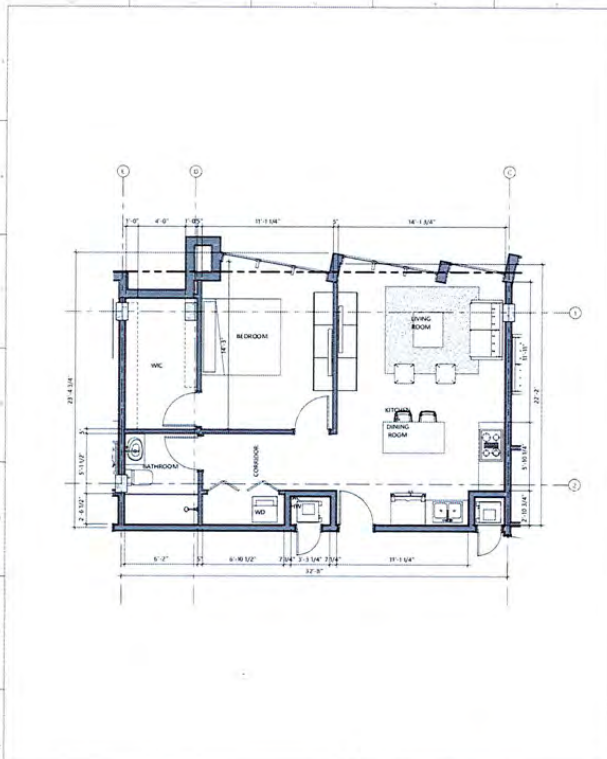
RCP LEGEND	
	JUNCTION BOX
	EXHAUST VENT
	4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: BRAD LIGHTING, 64-2075
	SURFACE MOUNTED LIGHT MANUFACTURER: T.R.G.
	PENDANT LIGHT MANUFACTURER: T.R.G.
	WALL MOUNTED LIGHT MANUFACTURER: T.R.G.
	EXTERIOR LINEAR WINDOW RECESSED LIGHT MANUFACTURER: T.R.G.

SCHEMATIC DESIGN	
	SHEET APPLICATION DATE: 12/01/19
	PROJECT NO.: 1164
	DRAWN BY: YSL
	APPROVED BY: TML
	SCALE: N.T.S.
	SHEET TITLE: ENLARGED UNIT D

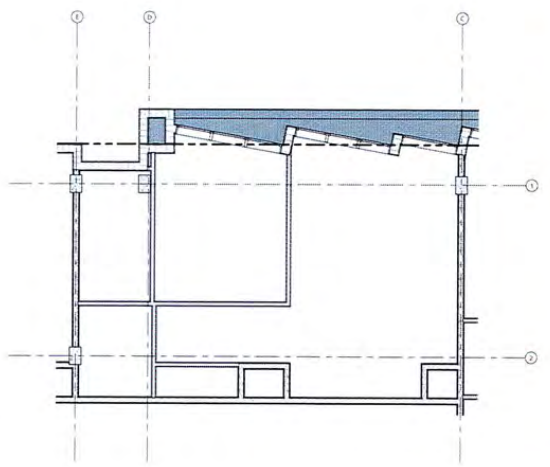
PROJECT AND OWNER
MT. HERMON
 1407 1/2 STREET & NW 36th AVE (100)
 LAWRENCE, KS 66044
 HIG
 1222 Andover Avenue, 5th Floor
 Columbia, MO 65201
 ARCHITECT:
REPRITWAR
 1715 W. 4TH AVENUE, STE 100
 KANSAS CITY, MO 64108
 316.671.1212 | REPRITWAR.COM
 CONSULTING ENGINEERS:
 MEF
 STRUCTURAL ENGINEER:
 CIVIL ENGINEER:
 LANDSCAPE ARCHITECT:
 KEY PLAN:

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SCALE:
 N.T.S.
 SHEET NO:
A1-4.04
 04/27/2019



1 ENLARGED UNIT E
1/4" = 1'-0"



2 ENLARGED UNIT E - R.C.P.
1/4" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON-LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTERIOR NON-LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DEMISING PARTITION 1-HR FIRE RATED.
	REMOVABLE/DO

SEE TYPICAL WALL THRESH SHEET AT 1.0 FOR DETAILS.

MATERIAL LEGEND			
	1 WHITE STUCCO SANITON FINISH (NO PAINT/ABASTER)		5 LAMINATED GLASS
	2		6 ALUMINUM FINISHING
	3 MINOR CONCRETE FLOOR TILE (NOA NO. 14-1000B)		7 WOOD SIKING
	4		8 BLACK METAL GUTTER

FINISH CEILING ELEVATION LEGEND	
	1 B.O. CEILING 8'-0" EXPOSED CEILING
	2 B.O. CEILING 8'-0" GYP BOARD DRY WALL SOFFIT WITH SANITON FINISH TILES, PAINTED AND FINISHED
	3 B.O. CEILING 8'-0" SUSPENDED CEILING GRID AND TILES AT 4'x4'
	4 B.O. CEILING 7'-6" GYP BOARD DRY WALL SOFFIT WITH SANITON FINISH TILES, PAINTED AND FINISHED

- ### REFLECTED CEILING NOTES
- REFER TO THE GENERAL / G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
 - THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION REFER TO THE P DRAWINGS.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
 - SUR - CONTRACTOR SHALL VERIFY ALL CEILING HEIGHT CONDITIONS TO ACHIEVE CLEARANCE OF SMOKE, HEAT, AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUR - CONTRACTOR SHALL PROVIDE CEILING FINISHING WITH OPTIMUM FINISH AND IN THE MANNER INDICATED WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
 - SUR - CONTRACTOR SHALL VERIFY ALL LIGHT FIXTURES AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT AVAILABLE.
 - SUR - CONTRACTOR SHALL SUPPLY ALL OPTIMUM HEIGHT CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "PERFORMANCE" SIZE OF ACCESS PANELS SHALL BE COORDINATED TO FIT. ACCESS PANEL FRAMES SHALL BE TYPED AND SPACED TO PROVIDE OPEN AND ALL BLOCKING AS MAY BE REQUIRED.
 - CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
 - EMERGENCY LIGHTS SHALL BE INSTALLED ON DOWNHOLE CIRCUIT RINGS TO ENHANCE FIRE DANGERS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SMOKEING CIRCUITS AND FIRE ALARM SYSTEMS.
 - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
 - ALL HORIZONTAL STRINGS SHALL BE IDENTIFIED ABOVE THE LIGHT SWITCH OR CONTAINED ON SIGNAL, PANEL, COLUMN, ETC. LINES. DIMENSIONS NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORIZONTAL STRINGS AT HIS OWN EXPENSE.
 - ALL UNDESIRABLE SEAL PORE THROUGH FROM SLAB ABOVE SHALL BE FIRE RATED AS REQUIRED.

RCP LEGEND	
	1 JUNCTION BOX
	2 EXHAUST VENT
	3 4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: BRAD LIGHTING, INC. (BRL)
	4 SURFACE MOUNTED LIGHT MANUFACTURER: TRO
	5 PENDANT LIGHT MANUFACTURER: TRO
	6 WALL MOUNTED LIGHT MANUFACTURER: TRO
	7 EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: TRO

INTERIOR FINISHES	
INTERIOR FLOOR FINISH CLASSIFICATION #1	
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 9.01.1.1 (FLOOR FINISH) SHALL BE CLASSIFIED IN ACCORDANCE WITH NFPA 253. THE CLASSIFICATION REQUIRED TO MEET COMPLIANCE TO THE CLASSIFICATION DETERMINED BY NFPA 253 AS GIVEN CLASS 1.00 WALKWAY OR GREATER CLASS 1.02 WALKWAY OR GREATER.	
INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2	
FOR VERTICAL EXITS AND EXITS PASSENGERS, EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS, APPROXIMATIONS AND INCLUDED SPACE, MINIMUM REQUIRED FLAME SPREAD CLASSIFICATION FOR INTERIOR FINISHES IS CLASS 1.00 WALKWAY INDEX 79-20. SMOKE DEVELOPED INDEX 0-400.	
SHOWER GLASS	
ALL SHOWER GLASS TO BE SAFETY GLASS CATEGORY II.	
PROVIDE 20" MINIMUM CLEAR WIDTH FOR SHOWER ACCESS AT BATHROOMS IN CONDOMINIUM WITH CHECK OVER 11.	

PROJECT AND OWNER
MT. HERMON
1004 4TH STREET & NW BLVD AVE (EAST)
MARIETTA GA 30067
HTG
3225 Anderson Avenue, Mt. Hermon
Condominium #11, 317 33
ARCHITECT:

REPORT WAR
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SUITE 101, DORSET, GA 30535
305.673.2221 | REPORTWAR.COM

CONSULTING ENGINEERS
MEP
STRUCTURAL ENGINEER
CIVIL ENGINEER
LANDSCAPE ARCHITECT

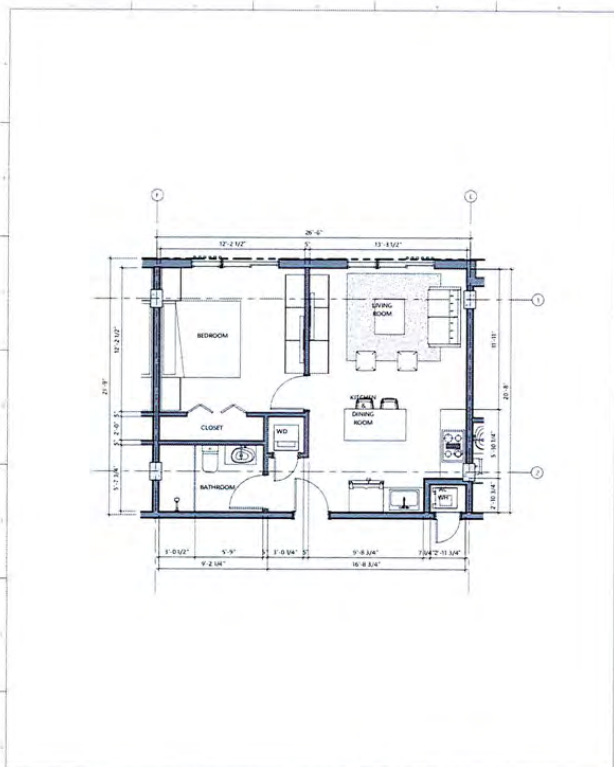
KEY PLAN:

SCHEMATIC DESIGN	
PERMIT APPLICATION DATE:	12/6/19
SHEET ISSUE DATE:	
PROJECT NO.:	1194
DRAWN BY:	1194
APPROVED BY:	1194

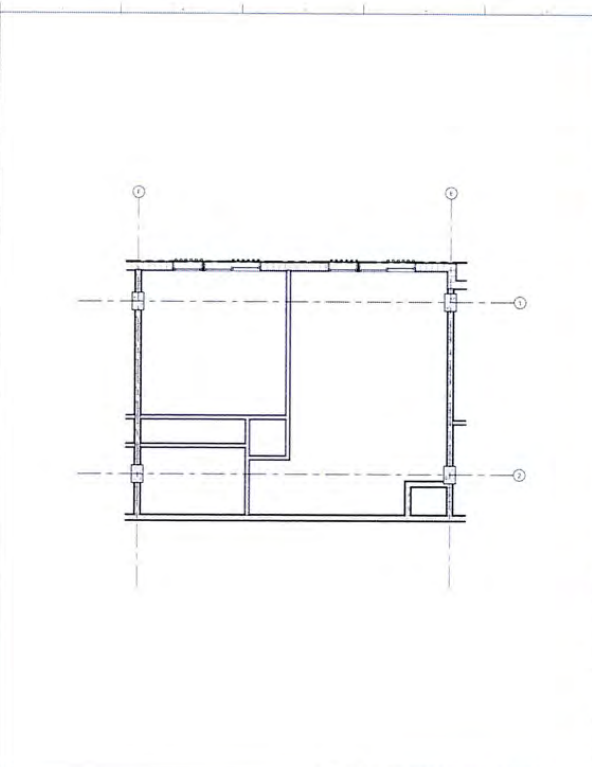
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SCALE:

SIGNATURE:
T. TODD MARTIN, RA.
LIC # 16000
SHEET TITLE:
ENLARGED UNIT E
SCALE:
N.T.S.
SHEET NO.
A1-4.05



1 ENLARGED UNIT F
1/4" = 1'-0"



2 ENLARGED UNIT F - R.C.P.
1/4" = 1'-0"

WALL LEGEND	
	WALL TYPE 1 TYPICAL NON-LOAD BEARING 1/2" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 2 EXTERIOR NON-LOAD BEARING 1/2" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-SATED.
	WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
	WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.
	DEMOLITION

SEE TYPICAL WALL TYPES SHEET AT 1-0 FOR DETAILS.

MATERIAL LEGEND	
	1 WHITE STUCCO SMOOTH FINISH (SEE FINISH SCHEDULE)
	2 LAMINATED GLASS
	3 ALUMINUM FRAMING
	4 WEARING CONCRETE FLOOR TILE (SEE FINISH SCHEDULE)
	5 WOOD SIDING
	6 BLACK METAL GUTTERS

FINISH CEILING ELEVATION LEGEND	
	1 EXPOSED CEILING
	2 GYP. BOARD DRY WALL SMOOTH FINISH
	3 SUSPENDED CEILING GRIDS WITH 2'x2' TILES
	4 GYP. BOARD DRY WALL SMOOTH FINISH

- REFLECTED CEILING NOTES**
- REFER TO THE GENERAL, I/G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
 - THE INTENT OF THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO THE I/G SHEETS.
 - NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
 - THE CONTRACTOR SHALL VERIFY ALL CEILING PLUMBING CONDITIONS TO ACHIEVE CLEARANCE OF SIX INCHES FROM THE CEILING AND CONSTRUCTION WITH THE CEILING HEIGHTS SHOWN, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. THE CONTRACTOR SHALL PROVIDE CEILING TRANSLATIONS WITH CURTAIN ROADS AND THE SHOWN INCLUDING WHERE DOWN CEILING ARE REQUIRED DUE TO CEILING PROFILES.
 - THE CONTRACTOR SHALL VERIFY ALL CEILING SERVICES AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT AVAILABLE.
 - THE CONTRACTOR SHALL SUPPLY ALL CURTAIN ROAD CEILING ACCESS FRAMES REQUIRED AND NOTIFY ARCHITECT OF LOCATION FROM THE "PERFORMANCE" SIDE OF ACCESS FRAMES SHALL BE COORDINATED IN THIS ACCESS FRAME FRAMES SHALL BE TYPED AND SCHEDULED PROVIDE AND ALL BLOCKING SHALL BE REQUIRED.
 - CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR FINISH. DIMENSIONS SHALL BE INDICATED ON DRAWING CANNOT BE USED TO ENGINEER DRAMA FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SMOKING CIRCUITS AND FIRE ALARMS SYSTEMS.
 - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLES.
 - ALL HANGING AND STICKS SHALL BE CENTERED BELOW THE LIGHT SWITCH OR CENTERED ON LINE WITH WALL COLUMN. ALL DIMENSIONS SHOWN NOTED ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HANGING AND STICKS AT HIS OWN EXPENSE.
 - ALL UNFINISHED SLAB HOLES THROUGH FROM SLAB ABOVE SHALL BE FILL CONCRETE AS REQUIRED.

RCP LEGEND	
	JUNCTION BOX
	EXHAUST VENT
	4" SQUARE RECESSED LIGHT MANUFACTURER: BUSH BULBING, INC. (SEE FINISH SCHEDULE)
	SURFACE MOUNTED LIGHT MANUFACTURER: T.B.D.
	PENDANT LIGHT MANUFACTURER: T.B.D.
	WALL MOUNTED LIGHT MANUFACTURER: T.B.D.
	EXTERIOR LINEAR WALKOVER RECESSED LIGHT MANUFACTURER: T.B.D.

INTERIOR FINISHES	
INTERIOR FLOOR FINISH CLASSIFICATION #1	
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION SHALL BE OF CLASS 1 OR 2. MATERIALS SHALL BE CLASSIFIED ACCORDING WITH NFPA 95. THE CLASSIFICATION REQUIRED TO MEET THE CLASSIFICATION SHALL BE DETERMINED BY THE CLASSIFICATION OF THE FLOORING OR CRACKER GLASS 2, 0.22 WATTS/CM OR 4 CRACKER.	
INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2	
FOR VERTICAL EXITS AND EXITS, FINISHES, SET ACCESS CONDITIONS AND OTHER EXITS, WALLS AND CEILING SHALL BE FINISHED TO MEET THE CLASSIFICATION DETERMINED BY THE CLASSIFICATION OF THE FLOORING OR CRACKER GLASS 2, 0.22 WATTS/CM OR 4 CRACKER.	
SHOWER GLASS	
ALL SHOWER GLASS TO BE SAFETY GLASS CATEGORY II PROVIDER 12" MINIMUM CLEAR WITH 1" FOR SHOWER ACCESS AT BATHROOMS IN COMPLIANCE WITH IBC 2018.	

PROJECT AND OWNER
MT. HERMON
 1001 4TH STREET & MAIN AVE (RDC)
 LAURENSVILLE, VA 24399
 HIG
 3223 American Avenue, 9th Floor
 Columbia, SC 29201
ARCHITECT:

REP RTWAR
 7701 W 8TH AVENUE, SUITE 102
 MIAMI, FL 33156
 305.473.2021 | REPRTWAR.COM
 04/20/2019

CONSULTING ENGINEERS

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN

PROJECT APPLICATION DATE	12/28/19
SHEET ISSUE DATE	
PROJECT NO.	1194
DRAWN BY	TYS
APPROVED BY	TYS

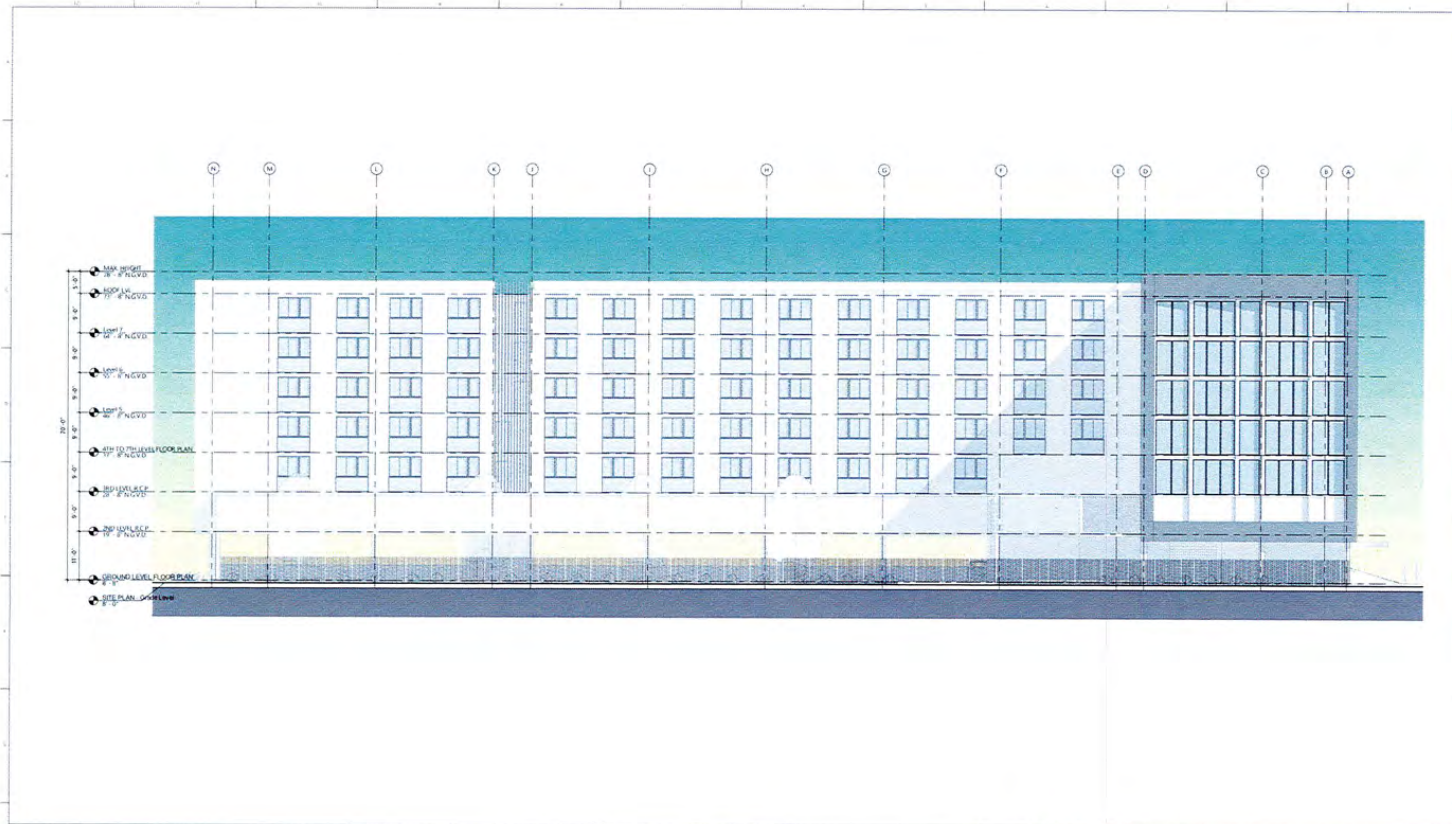
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SCALE:
 ENLARGED UNIT F

SCALE:
 N.T.S.

SHEET NO.
A1-4.06



PROJECT AND OWNER
MT. HERMON
 1004TH STREET & NW BLAKE (FOOT
 JARVISVILLE) N. 1/2 111
 MTG.
 3225 Anderson Avenue 4th Floor
 Central Point, N. 97101
 ARCHITECT:

REP RITWAR
 7701 NW 4TH AVENUE, STE 101
 SUITE 1, FLORENCE, OR 97150
 503.671.2121 | REP@RITWAR.COM
 R. WITKOWSKI, AIA

CONSULTING ENGINEERS
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE:
 SHEET ISSUE DATE:
 PROJECT NO.: 1314
 DRAWN BY: APPROVED BY:

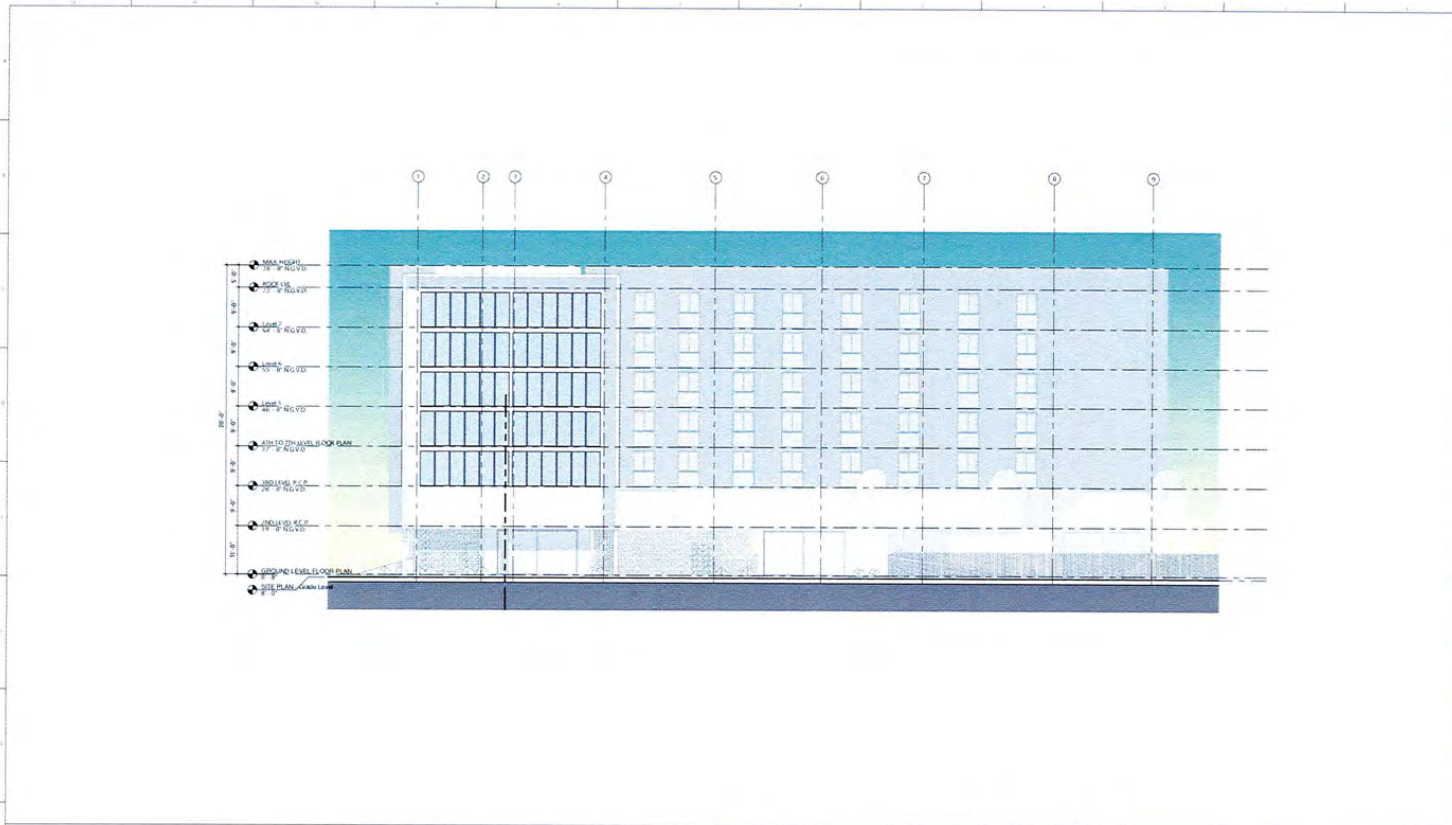
ALL DRAWINGS AND WRITTEN
 MATERIALS HEREIN CONSTITUTE
 ORIGINAL WORK OF THE ARCHITECT
 AND MAY ONLY BE DUPLICATED
 WITH THEIR WRITTEN CONSENT.

SEAL:

 SIGNATURE:
 T. TODD MART IN RA,
 LIC# AR0017090
 SHEET TITLE:
EAST ELEVATION

SCALE:
 As indicated
 SHEET NO:
A2-1.01
 DATE: 04/11/2023

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D. = 136			
1. 1/8" = 1'-0" N.G.V.D.			
2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF SEASIDE.			
3. REFER TO SHEET A-1.02 FOR WALL SECTIONS SPECIFICATIONS.			
4. ALL CONSTRUCTION AREAS FINISH MATERIAL INSTALLED BELOW GFS SHALL BE FLOOD RESISTANT MATERIAL.			
1	WHITE SILICO SANDSH FRESH GUN FOAM INSULATION	5	LAMINATED GLASS
2	---	6	ALUMINUM FINISHING
3	INTERIOR CONCRETE ROCK TILE MCA No. 16-100-02	7	WOOD Siding
4	---	8	BLACK METAL GLITTER



PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & MAIN BLVD (CORNER)
 WASHINGTON, IL 62451
 HTG
 3223 American Avenue, Mt. Hermon
 Central Illinois, IL 62451
ARCHITECT:

REP RTWAR
 1701 NE 4TH AVENUE, STE 101
 MIAMI, FL 33136
 305.671.2121 - REP RTWAR.DDP

CONSULTING ENGINEERS
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE: 03/21/14
 SHEET ISSUE DATE:
 PROJECT NO.: 1104
 DRAWN BY: APPROVED BY:

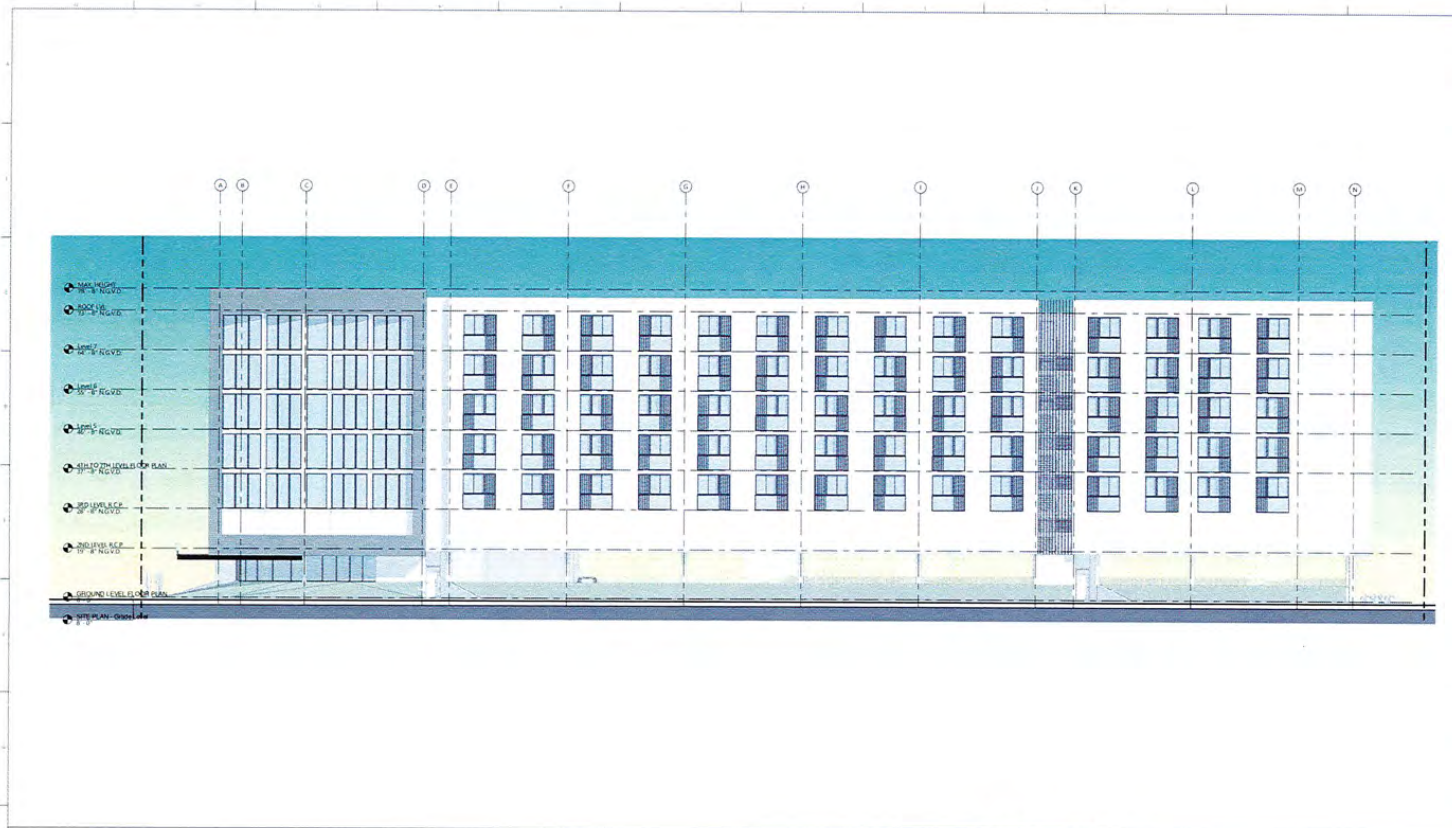
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL

 SIGNATURE
 T. TODD MARTIN RA
 LIC # RD071090
SOUTH ELEVATION

SCALE: As indicated
 SHEET NO: **A2-1.02**
14/07/2014 10:44

ELEVATION LEGEND AND NOTES		1 SOUTH ELEVATION 3/20" = 1'0"	
UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN THIS DRAWING ARE IN FEET AND INCHES. 1. 0' 0" = 11' 0" NEGATIVE 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH 3. REFER TO SHEET A-100 FOR WALL SECTION SPECIFICATIONS 4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW SHALL BE FLOOD RESISTANT MATERIAL		MATERIAL LEGEND	
1	WHITE STUCCO SMOOTH FINISH OVER JOIST/RAFTER	5	LAMINATED GLASS
2	---	6	ALUMINUM FINISHING
3	IMPREG. CONCRETE ROOF TILE (MCA No. 14-1006.03)	7	WOOD SIDING
4	---	8	BLACK METAL GUTTER



PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & MAIN BLVD AVE (EAST)
 LAURENSVILLE, TN 37057
 HES
 3225 American Avenue, 8th Floor
 Columbia, SC 29208
ARCHITECT:

REPR | T | W | A | R
 100 4TH STREET, STE 100
 LAURENSVILLE, TN 37057
 (615) 212-1111 | REPR@TWAR.COM
 www.reprtwar.com

CONSULTING ENGINEERS
 MEP:
 STRUCTURAL ENGINEER:
 CIVIL ENGINEER:
 LANDSCAPE ARCHITECT:

KEY PLANS:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE:
 SHEET ISSUE DATE: 03/21/14
 PROJECT NO.: 1104
 DRAWN BY: APPROVED BY:

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

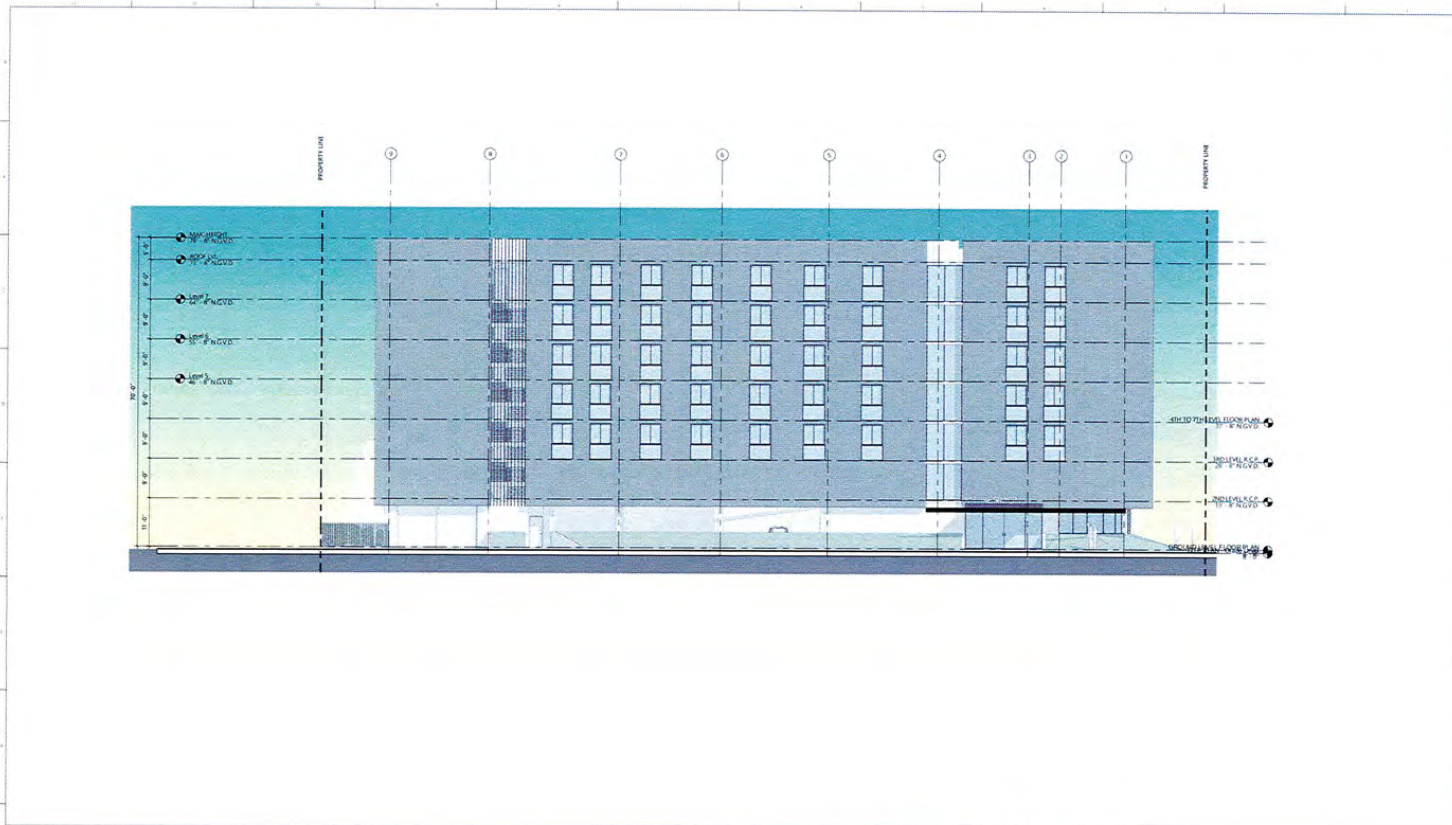


SIGNATURE
 T. TODD MARTIN, R.A.
 LIC.# 48077990
 SHEET TITLE
WEST ELEVATION

SCALE
 As indicated

SHEET NO.
A2-1.03

1 WEST ELEVATION 3/22' x 1'-0"	
ELEVATION LEGEND AND NOTES	
UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D. + 156 1. 0'-0" = 11'-0" N.G.V.D. 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MARIETTA. 3. REFER TO SHEET A-1.02 FOR WALL SECTION SPECIFICATIONS. 4. ALL CONSTRUCTION AND FINISH MATERIALS INSTALLED BELOW BFC SHALL BE FLOOD RESISTANT MATERIAL.	
MATERIAL LEGEND	
1 WHITE STUCCO SMOOTH FINISH OVER FOAM SUBSTRATE	2 LAMINATED GLASS
3 WHITE BRICK	4 ALUMINUM FRAMING
5 PRECAST CONCRETE ROCK TILE ADA No. 14-106.03	6 WOOD SOFFIT
7 BLACK METAL GUTTER	



PROJECT AND OWNER:
MT. HERMON
 1004 4TH STREET & MAIN AVE (FOOT)
 LAURENSVILLE, VA 22071
 HES:
 2225 American Avenue, 8th Floor
 Columbia Heights, VA 22024
ARCHITECT:

REPERTWAR
 1715 NE 87th Avenue, Ste. 102
 Miami, FL 33178
 305.873.2521 | REP@REPWAR.COM
 WWW.REPWAR.COM

CONSULTING ENGINEERS:
 MEP:
 STRUCTURAL ENGINEER:
 CIVIL ENGINEER:
 LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE:
 SHEET SUBMIT DATE:
 PROJECT NO.: 1104
 DRAWN BY: APPROVED BY:

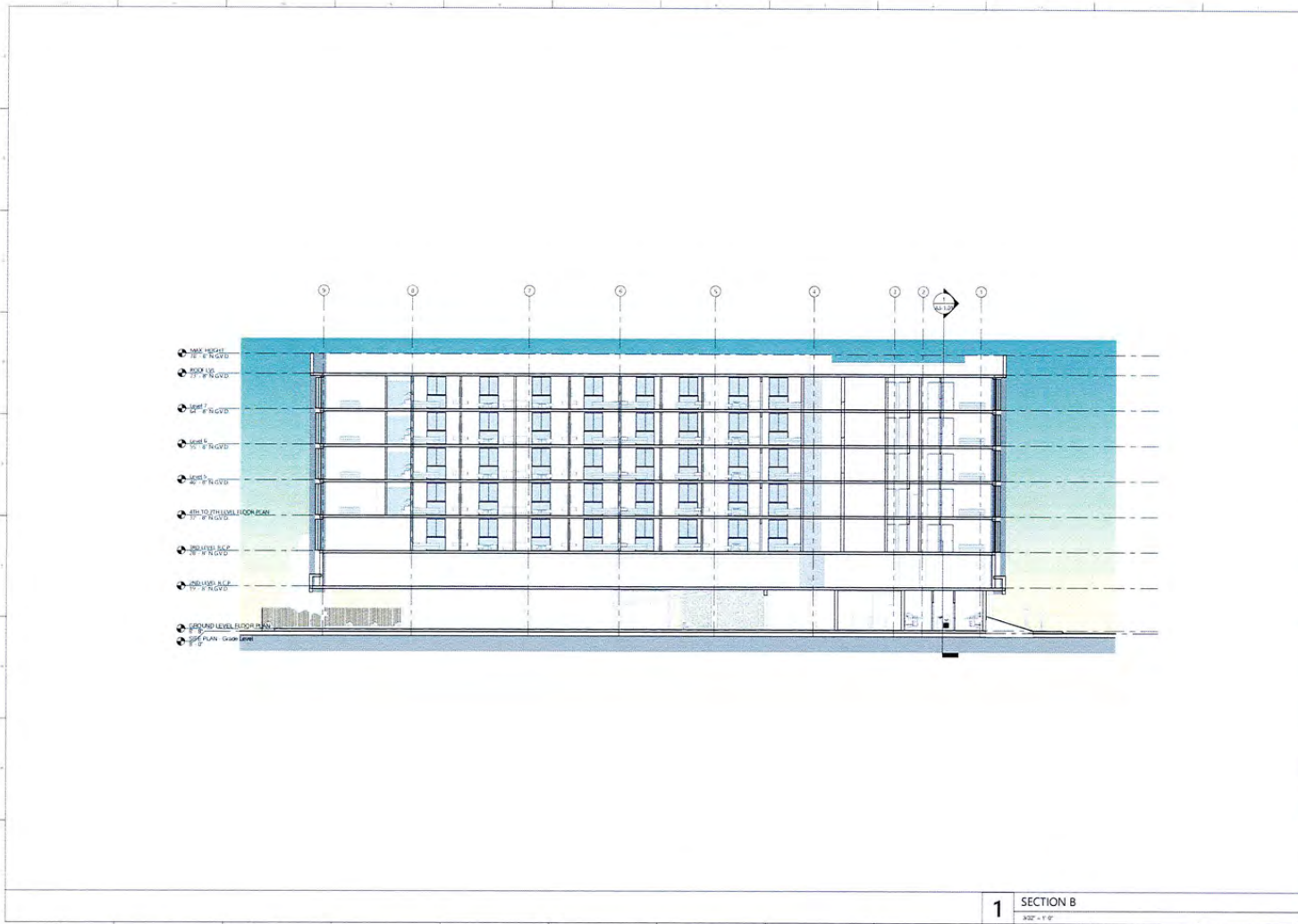
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:

 SIGNATURE:
 T. TODD MARTIN RA
 L.E.C. #A0077090
 SHEET TITLE:
NORTH ELEVATION

SCALE:
 As indicated
A2-1.04

ELEVATION LEGEND AND NOTES		MATERIAL LEGEND	
UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D. ± 1.5M 1. 8'-0" ± 11'-0" N.G.V.D. 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MOUNTAIN VIEW. 3. REFER TO SHEET A-1.03 FOR WALL SECTION SPECIFICATIONS. 4. ALL CONSTRUCTION AND FINISH MATERIAL NOTATED BELOW SHALL BE FLOOD RESISTANT MATERIAL.		1 NORTH ELEVATION 3/22" = 1'-0"	
1	WHITE STUCCO (SMOOTH FINISH) (OR POLYMER CONCRETE)	5	LAMINATED GLASS
2	---	6	ALUMINUM FINISHING
3	WINDSOR CONCRETE BODY TILE (NOA No. 14-1006.03)	7	WOOD WORKING
4	---	8	BLACK METAL GLITTER



1 SECTION B
3/32" = 1'-0"

PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & MAIN BLVD (EAST)
 LAURENSVILLE, FL 32051
 HES
 3225 American Avenue, 8th Floor
 Orlando, FL 32819
ARCHITECT:

REP RTWAR
 7161 NE 4TH AVENUE, STE 102
 MIAMI, FL 33138
 305.872.2121 | REPRTWAR.COM
 R.A. 00000000

CONSULTING ENGINEERS:
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE: _____
 SHEET ISSUE DATE: _____
 PROJECT NO. 1014
 DRAWN BY: _____ APPROVED BY: _____

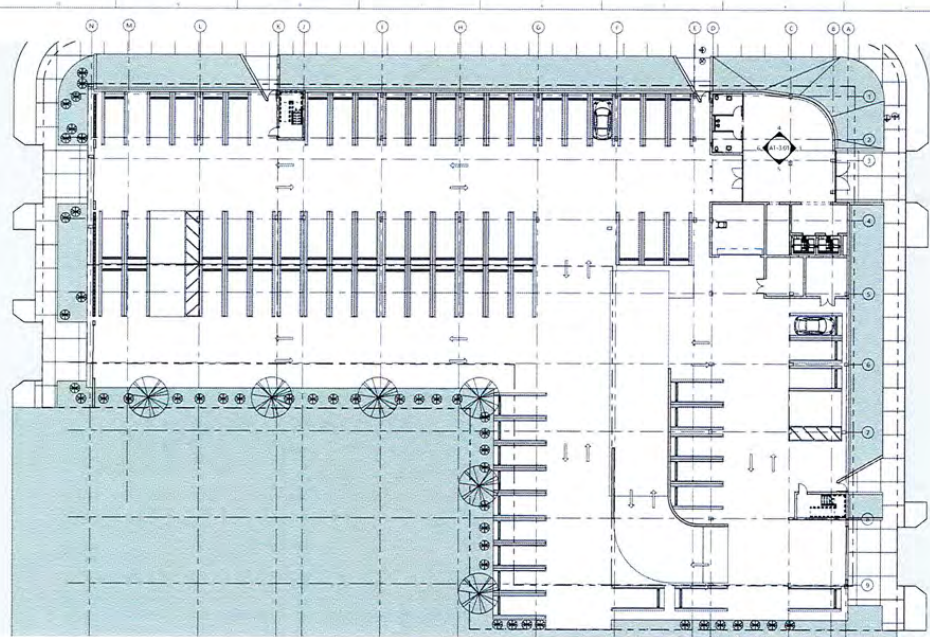
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT



SIGNATURE
 T. TODD MARTIN RA
 LIC# AR0017090
 SHEET TITLE
CROSS SECTIONS

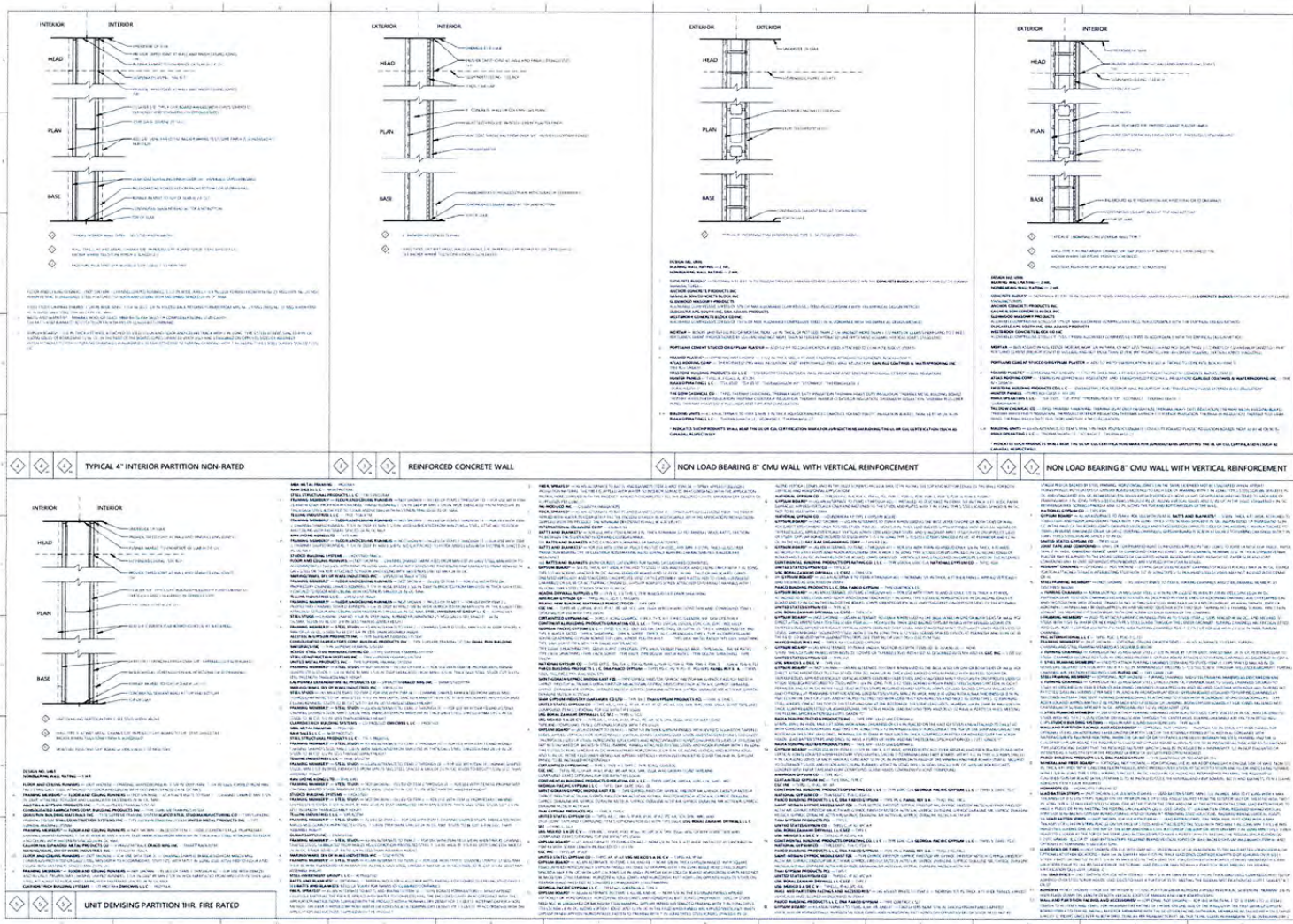
SCALE
 3/32" = 1'-0"

SHEET NO.
A3-1.02



PROJECT AND OWNER
MT. HERMON
 NEW 4TH STREET & NEW 9th AVE (PORT
 WASHINGTON) N.Y. 10571
 HIG
 3255 Madison Avenue, 8th Floor
 Corona, NY 11368
 ARCHITECT:
REP RTWAR
 7765 NE 4TH AVENUE, STE 105
 SUITE 105, PORTLAND, OR 97218
 (503) 252-1212 | REPRTWAR.COM
 CONSULTING ENGINEERS:
 MEP:
 STRUCTURAL ENGINEER:
 CIVIL ENGINEER:
 LANDSCAPE ARCHITECT:
 KEY PLAN:
 SCHEMATIC DESIGN
 PERIOD APPLICATION DATE: 11/18/19
 SHEET ISSUE DATE:
 PROJECT NO.: 1904
 DRAWN BY: YH APPROVED BY: JSA

GENERAL NOTES		SYMBOL DESCRIPTION		SYMBOL DESCRIPTION		POSTING OF OCCUPANT LOAD:		PLUMBING FIXTURE COUNT:	
<p>THE PROPOSED BUILDINGS TO BE TYPE I CONSTRUCTION WITH AN OCCUPANCY TYPE RESTAURANT AND OPEN PARKING GARAGE. THE PROPOSED BUILDINGS TO ACCOMMODATE A COMPLETE SPRINKLER SYSTEM. REFER TO FIRE PROTECTION SHEETS.</p> <p>QUICK RESPONSE OR LISTED RESIDENTIAL FIRE SPRINKLER HEADS ARE TO BE USED.</p> <p>MINIMUM IN-ELEVATION CHANGE BETWEEN AT ALL BUILDING ENTRANCE DOORS (INCLUDING THROUGH-GARAGE SHALES) TO BE LESS THAN 1/2" MINIMUM ON A 3% GRADE.</p> <p>MINIMUM ON A 3% GRADE. TOP FINISH ELEVATION FOR EACH LEVEL IS WITHIN 1/8" TOLERANCE TO FINISH. TOP FINISH ELEVATION NOT TO EXCEED 48" ABOVE FINISHED FLOOR.</p> <p>ELEVATION COMPONENTS: 1. FIRE RATED SHIELD (IF FIRE PROTECTIVE) AND ACCESSIBLE AS PER ASME A17.1 AND SMART CONTROL PROVIDED (IF AVAILABLE) AS PER 919.5.2.1.9.</p> <p>STAIRS FROM COMMON AREAS: 2. STAIRS FROM COMMON AREAS TO BE SEPARATED BY 1.5 HOUR FIRE RATED DOOR AND FRAME ASSEMBLY. MINIMUM 1.5 HOUR FIRE RATED PRESSURIZATION SYSTEM IN 2-HOUR SHAWTS IN ACCORDANCE WITH BOTH 919.5.2.1.9 AND 919.5.2.1.10.</p> <p>ASSEMBLY COMPONENTS: FULLY SPRINKLERED. DOORS AND FRAME ASSEMBLY SHALL BE 1.5 HOUR FIRE RATED. INSULATION PROVIDED AND APPROVED AUTOMATIC SPRINKLER SYSTEM THAT PROVIDES THE DETECTION AND PROTECTION. AUDIBLE ALARM AUTOMATIC.</p>		<p>SMOKE DETECTION: EVERY MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMER, TELEPHONE EQUIPMENT, ELEVATOR MACHINE OR SIMILAR ROOM (AND GENERALLY UNOCCUPIED AREAS THAT CAN PROVIDE AN ESCAPE ROUTE) EVERY ELEVATOR LOBBY. EACH FIRE ALARM RELEVANT AREAS SHALL BE EQUIPPED WITH ONE FIRE ALARM DEVICE ON EACH FLOOR. EACH FIRE ALARM RELEVANT AREAS SHALL BE EQUIPPED WITH ONE FIRE ALARM DEVICE ON EACH FLOOR.</p> <p>SINGLE STATION SMOKE DETECTION: STRIKE HEAD OUTSIDE EACH ENTRY OR GROUP OF ENTRY DOORS.</p> <p>DOORS: MINIMUM 5' X 5' THAT AREA OUTSIDE OF ALL DOORS LEADING TO EXTERIOR THAT IS DESIGNED TO ALLOW FOR A 100 LB FOOT CLOSER AWAY FROM BUILDING ENTRIES TO PREVENT ACCUMULATION OF WATER.</p> <p>DOORS: DOORS NOT TO BE EQUIPPED WITH A SPECIAL LOCKING MECHANISM AS FOLLOWS: 1. ALARM UPON ACTIVATION OF THE AUTOMATIC SPRINKLER SYSTEM OR UPON ACTIVATION OF ANY HEAT DETECTOR. 2. ALARM UPON LOSS OF POWER CONTROLLING THE LOCK OR LOCKING MECHANISM AND 3. CONTINUAL AND IRREVERSIBLE PROCESS THAT WILL RELEASE THE LOCK WITHIN 15 SECONDS UPON APPLICATION TO THE RELEASE DEVICE. REQUIRED OF A FORCE NOT TO EXCEED 15 LBS. NOW BE REQUIRED TO THE CONTINUOUSLY OPERATING MORE THAN 2 SECONDS. THE PRESSURE OF THE RELEASE DEVICE SHALL BE ACTIVATED A SIGNAL IN THE VICINITY OF THE DOOR TO TRANSMIT SIGNAL AUTOMATICALLY TO THE SYSTEM'S FUNCTIONAL. ONCE THE DOOR LOCK HAS BEEN RELEASED BY THE APPLICATION OF FORCE TO THE RELEASE DEVICE, RELAYING SHALL BE BY MANUAL MEANS ONLY. DOWN THE WALL ADJACENT TO THE RELEASE DEVICE A SIGN SHALL BE POSTED THAT READS "PUSH UPON ALARM SOUNDED DOOR CANNOT BE CLOSED IN 15 SECONDS".</p>		<p>EXIT SIGN: DIRECTION OF REQUIRED ESCAPE ROUTE. ONE HOUR FIRE RATING TWO HOUR FIRE RATING THREE HOUR FIRE RATING</p> <p>FR: FLOOR FINISH PS: PAINT 20: 20 MINUTE DOOR 30: 30 MINUTE DOOR 60: 60 MINUTE DOOR 90: 90 MINUTE DOOR 120: 120 MINUTE DOOR 180: 180 MINUTE DOOR 240: 240 MINUTE DOOR 300: 300 MINUTE DOOR 360: 360 MINUTE DOOR 480: 480 MINUTE DOOR 720: 720 MINUTE DOOR 960: 960 MINUTE DOOR 1440: 1440 MINUTE DOOR 1920: 1920 MINUTE DOOR 2880: 2880 MINUTE DOOR 3600: 3600 MINUTE DOOR 4320: 4320 MINUTE DOOR 5040: 5040 MINUTE DOOR 5760: 5760 MINUTE DOOR 6480: 6480 MINUTE DOOR 7200: 7200 MINUTE DOOR 7920: 7920 MINUTE DOOR 8640: 8640 MINUTE DOOR 9360: 9360 MINUTE DOOR 10080: 10080 MINUTE DOOR 10800: 10800 MINUTE DOOR 11520: 11520 MINUTE DOOR 12240: 12240 MINUTE DOOR 12960: 12960 MINUTE DOOR 13680: 13680 MINUTE DOOR 14400: 14400 MINUTE DOOR 15120: 15120 MINUTE DOOR 15840: 15840 MINUTE DOOR 16560: 16560 MINUTE DOOR 17280: 17280 MINUTE DOOR 18000: 18000 MINUTE DOOR 18720: 18720 MINUTE DOOR 19440: 19440 MINUTE DOOR 20160: 20160 MINUTE DOOR 20880: 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PROJECT AND OWNER
MT. HERMON
 1004 4TH STREET & NEW AVE (EAST)
 LAURELVIEW, TN 37051
 HTG
 3203 American Avenue, 5th Floor
 Columbia, SC 29204
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 1701 NE 4TH AVENUE, STE 303
 MIAMI, FL 33132
 305-773-2131 • WWW.REPRTWAR.COM

CONSULTING ENGINEERS:
 MEP
 STRUCTURAL ENGINEER
 CIVIL ENGINEER
 LANDSCAPE ARCHITECT

KEY PLAN:

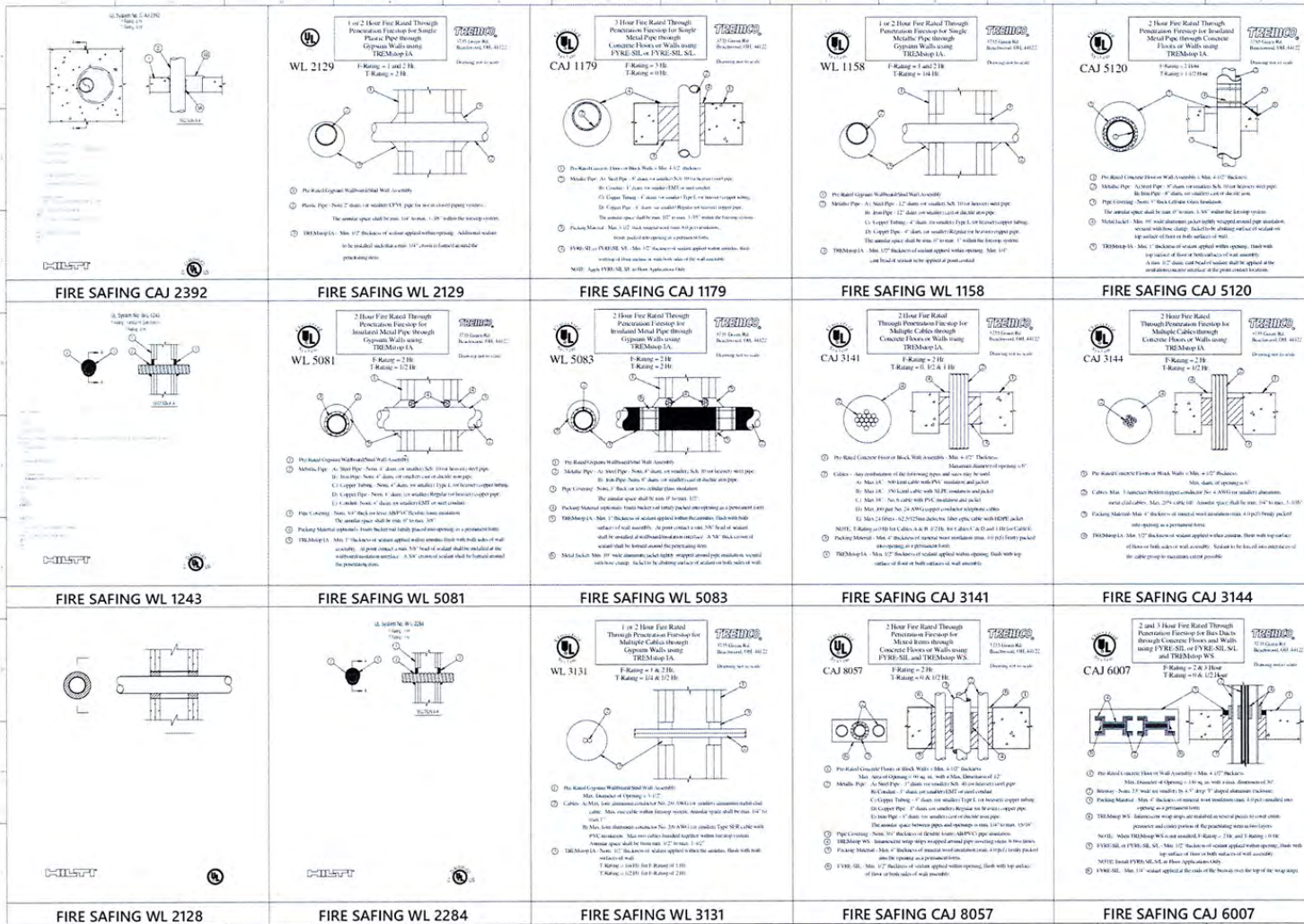
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 PERMIT APPLICATION DATE:
 SHEET DATE:
 PROJECT NO.: 1904
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 APPROVED BY:

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SIGNATURE:
T. TODD MARTIN RA
 LIC# A00017090
 SHEET TITLE:
WALL TYPES

SCALE:
1 1/2" = 1'-0"
A7-1.02



PROJECT AND OWNER
MT. HERMON
 100 4TH STREET & NEW HWY AVE (FORD LANDMARK) 10, 1071
 HTG
 3225 Anderson Avenue, San Francisco, CA 94133

RE P R T W A R
 1700 NE 4TH AVENUE, STE 100
 SUITE 100, FORT LAUDERDALE, FL 33304
 305.873.2122 | REPT@RTWAR.COM

CONSULTING ENGINEERS:
 MEP

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE:
 SHEET NO. 1194
 DRAWN BY: []
 APPROVED BY: []

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SCALE: []

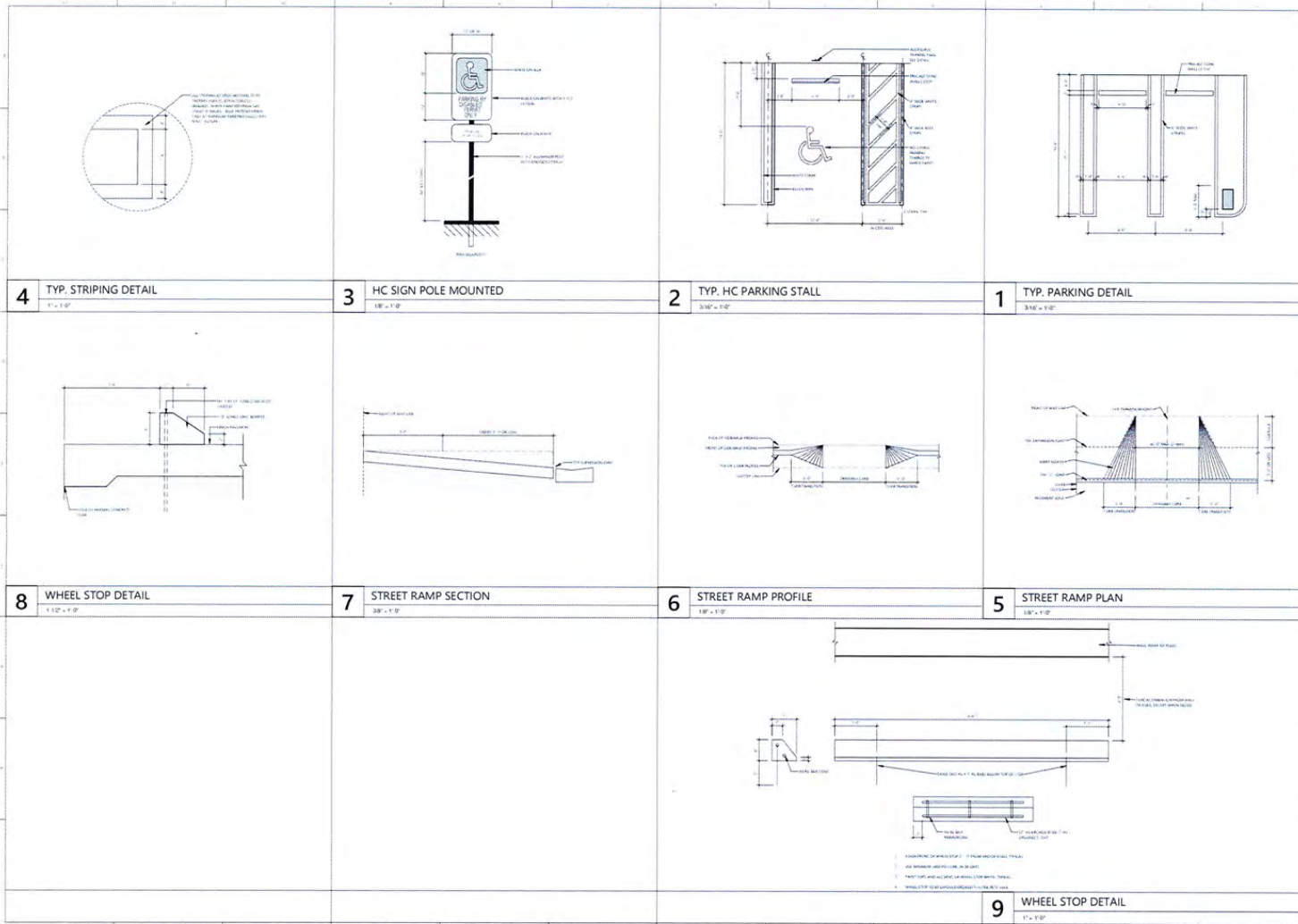
SIGNATURE:
 T. TODD MARTIN RA,
 LECA A607030

FIRE PENETRATION DETAILS

SCALE: []

A7-1.03

DATE: []



PROJECT AND OWNER
MT. HERMON
 405 4TH STREET & MAWBAH AVE (COR)
 GARDNERMA FL 32131
 HTG:
 3225 American Avenue, 18th Floor
 Coral Gables, FL 33134
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REPIRTWAR
 4
 7701 NE 4TH AVENUE, STE 102
 MIAMI FL 33138
 305 672 2221 REPIRTWAR.COM
 24.01 (REV. 07/2011)

CONSULTING ENGINEERS:
 MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

SCHEMATIC DESIGN
 PERMIT APPLICATION DATE:
 SHEET ISSUE DATE:
 PROJECT NO.: 1194
 DRAWN BY: APPROVED BY:

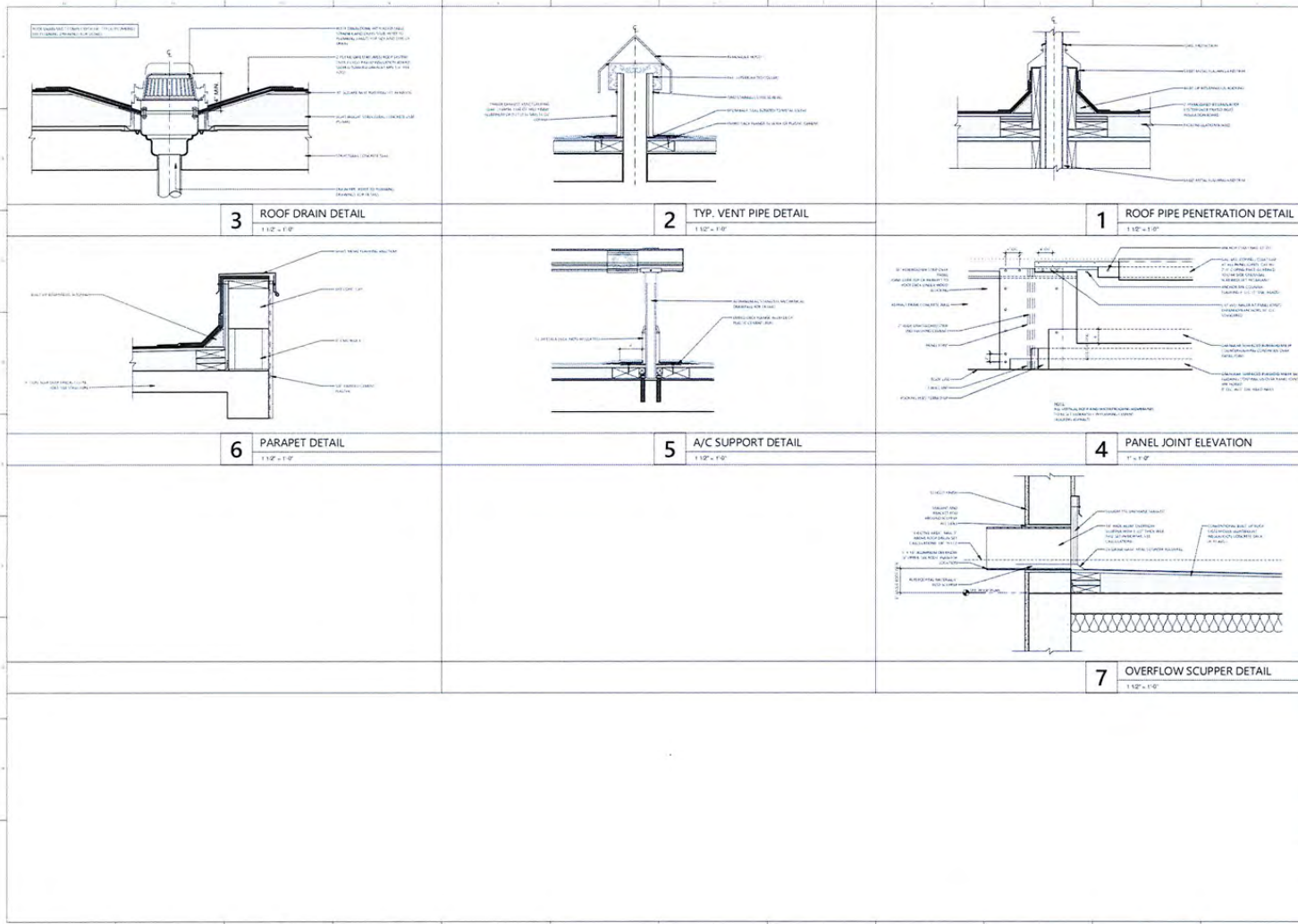
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SIGNATURE
 T. TODD MARTIN RA
 LIC# A-00017090
 SHEET TITLE
PARKING DETAILS

SCALE
 As indicated

SHEET NO.
A7-1.04
 4/16/2011



PROJECT AND OWNER
MT. HERMON
 10045N STREET & NW 8th AVE (100)
 LANDSCAPE 16, 1611
 HFC
 3225 Arroyo Avenue, 8th Floor
 Corona, CA 92623
 ARCHITECT:

REP RTWAR
 7781 NE 4th Avenue, Ste 101
 Miami, FL 33154
 305.873.2222 | REPRTWAR.COM

CONSULTING ENGINEERS
 MEP:

STRUCTURAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

KEY PLAN:

SCHEMATIC DESIGN
 PROJECT APPLICATION DATE: 05/21/17
 SHEET ISSUE DATE:
 PROJECT NO.: 1194
 DRAWN BY: APPROVED BY:

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SIGNATURE
 T. TODD MARTIN RA
 LCF A8007090
 SHEET TITLE
 ROOF DETAILS

SCALE
 As indicated
 SHEET NO.
A7-1.05
 10/27/2016