

## CASE INFORMATION

<b>CASE</b>	UDP-S24073
<b>PROJECT NAME</b>	315 NE 3 <sup>rd</sup> Street
<b>APPLICATION TYPE</b>	Site Plan Level II
<b>APPROVAL LEVEL</b>	City Commission Approval
<b>REQUEST</b>	Design Deviation Request to Increase Podium Height and Reduce Tower Separation for 607 Multifamily Units and 3,727 Square Feet of Commercial Use and Affordable Housing Density Incentive Requests in the Downtown Regional Activity Center
<b>APPLICANT</b>	Arosa Developers, LLC.
<b>AGENT</b>	Stephanie Toothaker, Esq.
<b>PROPERTY ADDRESS</b>	401 NE 2 <sup>nd</sup> Street
<b>ABBREVIATED LEGAL DESCRIPTION</b>	Geo M Phippens Subdivision B-146 D A Por Of Lots 13 Thru 16 Blk B
<b>ZONING DISTRICT</b>	Regional Activity Center – City Center (RAC-CC)
<b>LAND USE</b>	Downtown Regional Activity Center
<b>COMMISSION DISTRICT</b>	2 - Steven Glassman
<b>NEIGHBORHOOD ASSOCIATION</b>	Flagler Village Civic Association
<b>SUBMITTAL</b>	December 13, 2024
<b>COMPLETENESS ISSUED</b>	December 18, 2024
<b>EXPIRATION</b>	June 16, 2025 (180 Days)
<b>WAIVER</b>	Not Requested
<b>CASE PLANNER</b>	Yvonne Redding, Urban Planner III

## RESUBMITTAL INFORMATION

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.

**Applicant REV 1 responses are bolded and dated April 4, 2025**

**City Review Cycle 1 Comments**

**Applicant REV 2 responses are bolded and dated September 11, 2025**

**Stephanie J. Toothaker, Esq.**  
land use development political strategy procurement

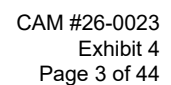
**Stephanie J. Toothaker, Esq., PA** 954.648.9376 stephanie@toothaker.org @stoothaker @toothakerdevelopment  
401 E Las Olas Blvd, Suite 130-154 Fort Lauderdale, FL 33301

Case Number: UDP-S24073

**BUILDING CASE COMMENTS:**

Please provide a response to the following:

1. Designate Fair Housing Provisions per the 2023 FBC Accessibility volume.  
REV 1 Response: See added "Code Data" section on Sheet AR-101.
2. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with FBC Accessibility Section 503.  
REV 1 Response: See Revised Sheet AR-111. Passenger loading zone has been added.
3. Accessible parking spaces must be located on an accessible route and so that users are not compelled to walk or wheel behind parked vehicles except behind his or her own vehicle.  
REV 1 Response: See accessible route on Sheets AR-111/112
4. Show that exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028.  
REV 1 Response: See exits stairways on Sheets AR-001/111
5. Interior exit stairways shall terminate at point where an exterior exit door is readily visible and identifiable per section 1028.1.1.1 of the 2023 FBC.  
REV 1 Response: See Revised Sheets AR-001 /AR-111
6. Show that the openings in the exterior walls adjacent to the east and west property lines meet the requirements of Table 705.8 of the 2023 FBC.  
REV 1 Response: See added Sheet AR-207
7. **NEW COMMENT:** The design is not complying with Section 1028 of the FBC. The code requires that half of the interior exit stairways discharge directly to the exterior of the building leading to the public way.  
**REV 2 Response:** The south stair transitions at Level 01 to discharge directly to the exterior of the building. Refer to the added sketch on Sheet AR-111.



## **GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.

**REV 1 Response: Acknowledged.**

2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.

**REV 1 Response: Acknowledged and will comply as applicable.**

3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**

**REV 1 Response: Acknowledged.**



Case Number: UDP-S24073

**ENGINEERING CASE COMMENTS:**

**DEDICATION OF RIGHTS-OF-WAY:** Per ULDR Section 47-25.2.M.5, property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards:

- a. Prior to issuance of Final Certificate of Occupancy (C.O.), record a permanent 5' permanent Right-of-Way Easement along north side of NE 2nd Street, to complete half of 50' Right-of-Way section. Show/label delineation in the plans prior to Final DRC sign-off.  
**REV 1 Response:** The requested 5' ROW easement line has been added to the civil sheets.  
**DSD-ENG Response 05/16/2025:** Defer to DSD-Traffic staff request to complete half of 60' Right-of-Way section for a minor collector, please show/label delineation in the plans for proposed 10' ROW Easement (instead of proposed 5' ROW Easement) that abuts the adjacent NE 2nd St R/W.  
**REV 2 Response:** The requested 10' ROW easement line has been added to Sheet AR-001/003 and the civil sheets.
- b. Prior to issuance of Final C.O., record a permanent Sidewalk Easement as appropriate along north side of the adjacent NE 2nd Street to accommodate portion of pedestrian clear path for public access sidewalk (coordinate minimum required width with UD&P Case Planner and DSD-Traffic staff) located beyond public Right-of-Way. Show/label delineation in the plans prior to Final DRC sign-off.  
**REV 1 Response:** There is an existing 9.92' UTILITY & SIDEWALK EASEMENT already in place in the north side of NE 2nd street per O.R.B. 38964 PAGE 26 as shown on the survey and civil plans.  
**DSD-ENG Response 05/16/2025:** Comment no longer applicable, if delineation of proposed 10' ROW Easement along north side of adjacent NE 2nd St accommodates full width of required pedestrian clear path for public access sidewalk.
  - i. **DSD-ENG New Comment 05/16/2025:** DSD-ENG Management staff to confirm if proposed 10'-0" ROW ESMT will require partial vacation of existing 9.92' Utility/SW ESMT (i.e. for the portion located within this DRC #UDP-S24073 property proposed to be developed).  
**REV 2 Response:** The requested 10' ROW easement line has been added to Sheet AR-001/003 and the civil sheets. If directed by DSD-ENG Management staff and CAO, Applicant accepts condition of approval to process partial vacation of existing 9.92' Utility/SW ESMT (i.e. for the portion located within this DRC #UDP-S24073 property proposed to be developed).
- c. Prior to issuance of Final C.O., record a permanent Sidewalk Easement as appropriate along south side of the adjacent NE 3rd Street to accommodate portion of pedestrian clear path for public access sidewalk (coordinate minimum required width with UD&P Case Planner and DSD-Traffic staff) located beyond public Right-of-Way. Show/label delineation in the plans prior to Final DRC sign-off.  
**REV 1 Response:** New 2' sidewalk easement line has been added to the civil sheets.  
**DSD-ENG Response 05/16/2025:** Since 2'-0" SW ESMT added/depicted on Sheet AR-001/Site Plan is not wide enough to accommodate the 7'-5" Clear Path labeled, please widen the Sidewalk Easement or reduce the Clear Path width dimension for consistency (but no less than width required by DSD-Traffic staff).  
**REV 2 Response:** The sidewalk easement along 3rd Street has been eliminated, as the revised sidewalk width and alignment ensure continuity with the existing sidewalks on the adjacent east and west properties. Refer to sheets AR-001 and AR-007.
- d. Prior to issuance of Final C.O., record a 10' x 15' (min.) permanent Water Easement for 6-Inch water meter located within the proposed development (for City Maintenance access), adjacent to NE 2nd Street Right-of-Way. Show/label delineation in the plans prior to Final DRC sign-off.  
**REV 1 Response:** NOTED and shown on sheet C3.  
**DSD-ENG Response 05/16/2025:** Please shift location of proposed 10' x 15' Water Easement (and 6" Water Meter if needed, keeping it centered within the easement) such that it does not overlap the proposed 10' R/W Easement to be recorded along north side of adjacent NE 2nd St.  
**REV 2 Response:** Please refer to revised location on sheet C3

## **CASE COMMENTS:**

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>  
**REV 1 Response: A Water/Wastewater Capacity Availability Request was submitted and will be provided upon receipt: ENG-CR-24120005.**  
**DSD-ENG Response 05/16/2025: Per LauderBuild, documents submitted under Record #ENG-CR-24120005 were accepted for Engineering review on 05/01/2025. Please be advised that if this becomes the only outstanding ENG comment to be addressed prior to Engineering's Final DRC #UDP-S24073 approval, an internal request to DSD**  
**REV 2 Response: Please refer to uploaded Water/Wastewater Capacity Availability letter dated June 10, 2025.**
2. ALTA/NSPS Land Title Survey: Confirm if existing 'Sanitary Manhole' (i.e. RIM EL. 5.11) and 'Sanitary Manhole' (i.e. RIM EL. 5.12) located just beyond west property boundary and northeast of existing 12- Story Building "Nola Lofts Condominium", are instead part of a drainage well that was constructed with and serves the adjacent Nola Lofts project. Please provide updated survey as appropriate.
  - a. If so, confirm if this existing drainage well structure encroaches within the Subject '315 NE 3rd Street' property, and conflicts with the proposed #UDP-S24073 development.  
**REV 1 Response: Additional survey is being requested to confirm**  
**DSD-ENG Response 05/16/2025: Comment not addressed, please provide updated survey when it becomes available.**  
**REV 2 Response: Please refer to updated survey confirming location of existing drainage well. Please also refer to revised building footprint for existing well to remain. Ownership has coordinated with the NOLA Lofts owner for the existing drainage system.**
3. Sheet AR-001 (Site Plan):
  - a. Since Site Plan Data Table includes additional 52 parking spaces provided for the adjacent 'Nola Lofts' residents (per the Declaration of Easement No. 107911989, recorded 05/22/2008 at Broward County records), label their location in the proposed parking garage.  
**REV 1 Response: See Revised Sheet AR-111 / AR-112. Nola Lofts parking spaces have been labeled.**  
**DSD-ENG Response 05/16/2025: Comment addressed, but please respond to the following resulting comment:**  
**i. DSD-ENG New Comment 05/16/2025: Please discuss the need for parking Spaces #204 thru #206 to be configured and labeled as 'Compact'; revise plan as appropriate with these as Standard parking spaces.**  
**REV 2 Response: Parking spaces #204 through #206 have been converted to standard parking spaces. Please see revised sheets AR-111.**
  - b. Discuss/demonstrate where the adjacent 'Nola Lofts' residents would temporarily park during construction of the Subject development.  
**REV 1 Response: Applicant will continue discussions with Nola Lofts' representatives and comply with the temporary relocation requirements of the Declaration of Easements between the two parties.**  
**DSD-ENG Response 05/16/2025: Comment closed (for Engineering), but please continue to coordinate with DSD Traffic staff to address their similar comment.**  
**REV 2 Response: Applicant is tentatively scheduled to discuss this matter further with Nola Lofts Nola Lofts Condominium Association Board on September 25, 2025. Applicant is in discussions with property owners along NE 2<sup>nd</sup> Street for a temporary parking arrangement in compliance with the Declaration of Easements between the Applicant and Nola.**

- c. Along the adjacent NE 2nd Street R/W (i.e. westbound side of street), label width of pedestrian clear path for public access sidewalk (coordinate minimum required width with UD&P Case Planner and DSD-Traffic staff) adjacent to each what appears to be proposed tree grates for Live Oak trees.

**REV 1 Response:** See updated information on Sheet AR-001

**DSD-ENG Response 05/16/2025:** Please also label width provided for public access concrete sidewalk (which shall be minimum 5'-0") at the 'Flexi-Pave' pinch points

**REV 2 Response:** See added dimension on sheet AR-001.

- d. Depict existing public access sidewalks/widths adjacent to proposed development along NE 2nd Street and NE 3rd Street, and how proposed sidewalk/pedestrian clear paths will transition with existing sidewalks.

**REV 1 Response:** New proposed sidewalks will dead end and transition to existing neighboring sidewalks.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed. Thanks for providing the photos shown below, but please also depict on Sheet AR-001 the location/configuration of existing public access sidewalks (perhaps superimposed from the 'ALTA/NSPS Land Title Survey') for the areas just beyond where the proposed sidewalks will harmonize with existing sidewalks.

**REV 2 Response:** The NE 3rd Street sidewalk has been updated for a better transition with the existing sidewalks. See added Sheet AR-007

#### NORTHEAST CORNER SIDEWALK ALONG NE 3RD ST



#### NORTHWEST CORNER SIDEWALK ALONG NE 3RD ST



**SOUTHWEST CORNER NE 2ND ST**



**SOUTHEAST CORNER SIDEWALK ALONG NE 2ND ST**



- e. Regarding proposed NE 3rd Street 'Garage Entrance' Driveway Access, confirm if Left Turn In/Left Turn Out vehicular movements will be prohibited, due to vehicular crossing of two sets of solid double yellow lines spaced 2' or more apart (i.e. within the existing striped median/lane shift taper area).

**REV 1 Response:** Vehicular crossing movements will follow those allowed at adjacent TAM building parking lot as this an identical condition.

The NE 3rd Street garage entrance driveway will operate as a full-access driveway. Left-turn movements into and out of driveways, across double yellow lines or painted medians is allowed (legal) in Florida. This can be confirmed in the Uniform Vehicle Code and Model Traffic Ordinance - Section 11-311. This is also found in the Florida Driver License Study Manual. The traffic study assumed full access and the projected level of service with the allowed left-turn movements is acceptable.



DSD-ENG Response 05/16/2025: Comment closed.

- f. Show/label existing curb & gutter along the adjacent NE 3rd Street eastbound travel lane and paved shoulder area (i.e. south side of street), as depicted on ALTA/NSPS Land Title Survey.  
**REV 1 Response:** Civil background have been updated on architectural site plan. See sheet AR-001 and Civil plans.  
**DSD-ENG Response 05/16/2025:** Comment not addressed, since depiction of existing curb & gutter in this area is pending additional survey information (per Civil response).  
**REV 2 Response:** Existing curb & gutter has been updated based on updated survey and coordinated with proposed improvements.
- g. Depict harmonization between existing curb & gutter and proposed curb & gutter along the adjacent NE 3rd Street, especially near northwest corner of proposed development.  
**REV 1 Response:** Civil background have been updated on architectural site plan. See sheet AR-001 and Civil plans.  
**DSD-ENG Response 05/16/2025:** Comment not addressed, since existing curb & gutter (along south side of adjacent NE 3rd St) is still missing, and thus proposed harmonization is not depicted. Per Civil response, additional survey of the adjacent driveway to the west has been requested.  
**REV 2 Response:** Existing curb & gutter has been updated based on updated survey and coordinated with proposed improvements.
- h. Show/label existing stormwater inlet (within curb & gutter), concrete power pole, concrete light pole, and pedestrian sidewalk access handrails located within adjacent NE 3rd Street R/W (i.e. near northeast corner of proposed development, if they are slated to remain), as depicted on ALTA/NSPS Land Title Survey.  
**REV 1 Response:** Civil background have been updated on architectural site plan. See sheet AR-001 and Civil plans.  
**DSD-ENG Response 05/16/2025:** Comment closed. Both existing pedestrian sidewalk access handrails to be depicted on Civil Plans, and called out to be removed.
- i. Along the adjacent NE 3rd Street R/W (i.e. eastbound side of street), label width of pedestrian clear path for public access sidewalk (coordinate minimum required width with UD&P Case Planner and DSD-Traffic staff) adjacent to existing concrete power pole and concrete light pole (if they are slated to remain), and adjacent to each 'Proposed Street Lamp Post'.  
**REV 1 Response:** See updated information on Sheet AR-001. Existing concrete light pole will be relocated. Overhead utilities will be buried underground.  
**DSD-ENG Response 05/16/2025:** Comment not fully addressed, since location of four (4) proposed pedestrian light poles (i.e. labeled 'Denotes Light Pole (Typ.)') depicted on Sheet AR-001 is not consistent with number and location of two (2) 'Proposed Street Lamp Post' shown on Sheet L.02/Planting Plan; please reconcile and update plans as appropriate.  
**REV 2 Response:** See updated sheet AR-001.
- i. **DSD-ENG New Comment 05/16/2025:** Regarding new Note 'Overhead Utilities to be Buried Underground' (i.e. within the adjacent NE 3rd St R/W), please coordinate proposed undergrounding of overhead lines with utility companies as required; provide conceptual routing layout (i.e. of proposed underground power lines) on Civil and Landscape plans.



**REV 2 Response:** According to the meeting held with FPL, the plan is to relocate the OH lines. Refer to sheet AR-007 and uploaded FPL/Street Light Letter for additional details

- ii. **DSD-ENG New Comment 05/16/2025:** Regarding new callout 'Existing...Light Pole to be Relocated', please show/label location of proposed (relocated) street light pole.

- A. **DSD-ENG New Comment 05/16/2025:** An advisory comment is to be included as an ENG Building Permit, that Applicant shall demonstrate the results of coordination with Florida Power & Light (FP&L) and City's Parks and Recreation department (i.e. City Facilities Manager via DSD-ENG staff) for proposed relocation of existing street light pole (fronting this development project within the adjacent NE 3rd St R/W).

**REV 2 Response:** According to the meeting held with FPL, the existing light pole will be removed, and the fixture will be relocated onto the new monopole across the street. See sheet AR-007 and uploaded FPL/Street Light Letter for additional details for more details.

4. Sheets AR-001 (Site Plan) and AR-111 (Level 01 Floor Plan): Elevation of driveway connection between NE 3rd Street public access sidewalk and 12% ramp (i.e. 3'-10" NAVD) is not consistent with Civil Sheet C2 (i.e. 4.10 NAVD to 4.50 NAVD); please reconcile and update plans as appropriate.

**REV 1 Response:** See updated information on sheets AR-001/AR-111. Elevations have been coordinated.

**DSD-ENG Response 05/16/2025:** Comment closed.

5. Sheets AR-111 (Level 01 and 02 Floor Plan) and AR-112 (Level 03 and 04 Floor Plan): Dimension length and width of each ADA parking stall, width of adjacent access aisle, and depict ADA accessible route between ADA parking stalls and nearest building entrance such that users will not be compelled to walk or wheel behind other parked vehicles.

**REV 1 Response:** See updated information on sheets AR-111/AR-112.

**DSD-ENG Response 05/16/2025:** Comment closed.

6. Sheets AR-111 (Level 01 and 02 Floor Plan) thru AR-115 (Level 09 and 10 Floor Plan):

- a. Dimension typical parking stall length and width in each row of parking stalls.

**REV 1 Response:** See updated information on sheets AR-111/AR-112/AR-113/AR-114/AR-115

**DSD-ENG Response 05/16/2025:** Comment closed.

- b. Label length of each vehicular drive aisle ramp slope.

**REV 1 Response:** See updated information on sheets AR-111/AR-112/AR-113/AR-114/AR-115

**DSD-ENG Response 05/16/2025:** Comment closed.

7. Sheet AR-115 (Level 09 and 10 Floor Plan):

- a. Since Detail 3/Triple Stacking depicts 19'-9" vertical clearance, confirm with DSD-Traffic staff if this minimum vertical clearance provided is sufficient.

**REV 1 Response:** The minimum vertical clearance on Level 09 and 10 above Triple Stacking has been updated to 21'-0". Please refer to Sheets AR-115 and AR-301 for details.

**DSD-ENG Response 05/16/2025:** Comment closed.

- b. Demonstrate that bottom of 'Pool' depicted on Floor 11 above (i.e. Sheet AR-116/Level 11 Floor Plan) does not conflict with 'Triple Stacking' depicted on Level 10 Floor Plan below.

**REV 1 Response:** Double Stacking has been considered below the pool to accommodate space for the pool. Refer to Sheet AR-115

**DSD-ENG Response 05/16/2025:** Comment closed.

- c. Label vehicle ramp length between Level 09 and Level 10, to demonstrate that ramp slopes depicted provide sufficient vertical rise between these floor levels.

**REV 1 Response:** See Updated information on Sheet AR-115.

**DSD-ENG Response 05/16/2025:** Comment closed.

8. Sheets AR-201 (Building Elevations), AR-202 (Building Elevations) & AR-301 (Streetscape Sections):

- a. Show/label proposed Sidewalk Easement adjacent to NE 2nd Street R/W, to accommodate portion of pedestrian clear path for public access sidewalk (coordinate required width with UD&P Case Planner and DSD-Traffic staff) located beyond public Right-of-Way and existing Utility & Sidewalk Easement.

**REV 1 Response:** See updated Sheet AR-201/AR-202

**DSD-ENG Response 05/16/2025:** Comment closed.

- b. Show/label proposed Sidewalk Easement adjacent to NE 3rd Street R/W, to accommodate portion of pedestrian clear path for public access sidewalk (coordinate required width with UD&P Case Planner and DSD-Traffic staff) located beyond public Right-of-Way.

**REV 1 Response:** See updated Sheet AR-201/AR-202

**DSD-ENG Response 05/16/2025:** Please label clear vertical height beneath building overhang within proposed "2'-0" SW ESMT." depicted on Sheet AR-301/North Façade – Section.

**REV 2 Response:** See updated Sheet AR-301

- c. For each Building Elevation and Streetscape Section, label the equivalent NAVD elevation for one of the floor elevations (such as 'Level 1').

**REV 1 Response:** See revised Sheets AR-201/AR-202/AR-301

**DSD-ENG Response 05/16/2025:** Comment closed.

- d. Confirm that proposed building does not encroach beyond existing east and west property boundaries as graphically depicted, and revise Sheet AR-201 (North – Exterior Elevation) and Sheet AR-202 (South – Exterior Elevation) as appropriate.

**REV 1 Response:** The building does not encroach beyond east and west property boundaries.

**DSD-ENG Response 05/16/2025:** Comment closed.

- e. **DSD-ENG New Comment 05/16/2025:** Per DSD-Traffic staff request to complete half of 60' Right-of-Way section for a minor collector, please show/label delineation in the plans for proposed 10' ROW Easement (i.e. instead of proposed 5' ROW Easement) that abuts the adjacent NE 2nd St R/W.

**REV 2 Response:** The requested 10' ROW easement line has been added to Sheet AR-001/003 and the civil sheets.

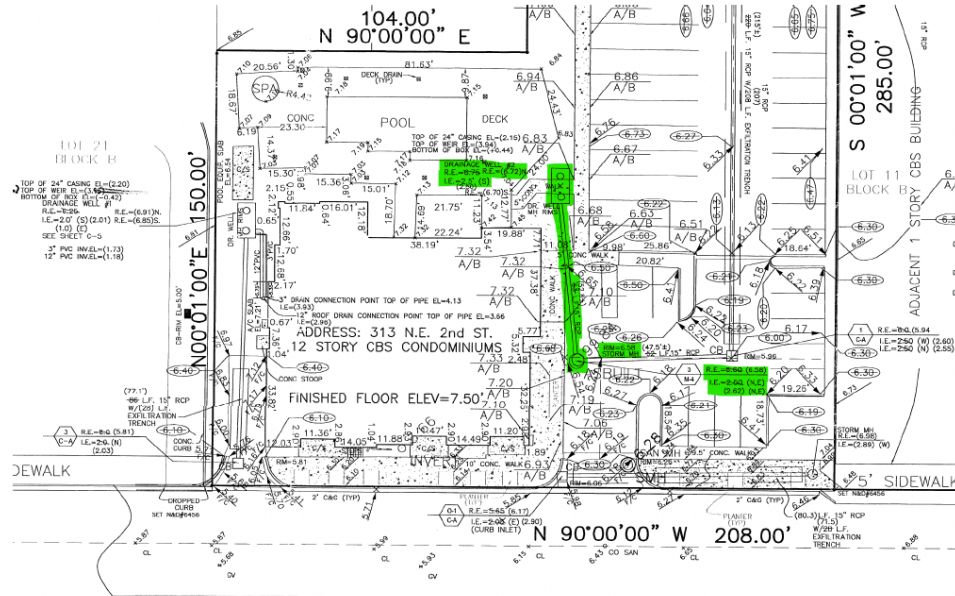
9. Sheet C2 (Conceptual Paving, Grading & Drainage Plan):

- a. Confirm if existing 'Sanitary Manhole' (i.e. RIM EL. 5.11) and 'Sanitary Manhole' (i.e. RIM EL. 5.12) located just beyond west property boundary and northeast of existing 12-Story Building "Nola Lofts Condominium", are instead part of a drainage well that was constructed with and serves the adjacent Nola Lofts project.

**REV 1 Response:** These are existing drainage manholes on top of a drainage well that is to remain, additional survey is being requested to confirm exact location of well.

**DSD-ENG Response 05/16/2025:** Per the existing stormwater infrastructure (i.e. Drainage Well #2 structure, connecting 15" RCP from the south, and Storm MH to the south) depicted within the abutting '313 N.E. 2nd St. 12 Story CBS Condominiums' property to the west (i.e. highlighted in green in the following image, snipped from 'Nola Lofts – Phase I' PG&D 'As-Built' plans per approved Broward County EPD\_SWM2003-058-0 License), please coordinate with the adjacent 'Nola Lofts' property owner to have their Surface Water Management License modified and their written consent to remove the connecting pipe (to their drainage well) that conflicts with this proposed DRC #UDP-S24073 development:

**REV 2 Response:** Owner is coordinating with NOLA Lofts for required modifications to existing County drainage license and associated drainage infrastructure. Applicant is tentatively scheduled to discuss this matter further with Nola Lofts Condominium Association Board on September 25, 2025.



- i. If so, confirm if this existing drainage well structure encroaches within the Subject '315 NE 3rd Street' property, and conflicts with the proposed #UDP-S24073 development.

**REV 1 Response:** Additional survey is being requested to confirm exact location.

**DSD-ENG Response 05/16/2025:** Comment not addressed, pending additional survey information.

**REV 2 Response:** Please refer to updated survey confirming location of existing drainage well. Please also refer to revised building footprint for existing well to remain. Ownership has coordinated with the NOLA Lofts owner for the existing drainage system.

- b. Show/label proposed concrete flared driveways (i.e. instead of with curved radii) per FDOT Standard Plans Index 522-003, for driveway connections between proposed development and adjacent City R/W (i.e. NE 2nd Street and NE 3rd Street).

**REV 1 Response:** Flared drives have been shown on plans.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed, please also label the type of standard detail (i.e. City, FDOT, etc.) to be referenced for each proposed concrete flared driveway.

**REV 2 Response:** Drives have been labeled and referenced to FDOT 522-003.

- c. Continue concrete sidewalk (or other specialty hardscape sidewalk paving as shown) across proposed SE 2nd St and SE 3rd St driveway connections.

**REV 1 Response:** Continuous sidewalk has been shown on plans.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed, please also label proposed type of material (i.e. for public access sidewalks) on the requested typical roadway cross-sections.

**REV 2 Response:** Cross sections call out "proposed 6" concrete sidewalk".

- d. Label flowline Grate Elevation for each proposed drainage inlet, RIM Elevation for each proposed Drainage Well, and size/length of each stormwater pipe and exfiltration trench.

**REV 1 Response:** Additional drainage information has been added to plans.

**DSD-ENG Response 05/16/2025:** Comment closed.

- e. Provide and label typical roadway cross-sections for the proposed development side of NE 2nd Street and NE 3rd Street: at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate.

- i. Show/label on cross-sections the boundaries for existing R/W, existing "9.92' Utility & Sidewalk Easement", proposed R/W Easement, and proposed Sidewalk Easement(s).

**REV 1 Response:** Cross sections have been added.



**DSD-ENG Response 05/16/2025:** Comment not addressed, please advise where in these plans the requested typical roadway cross-sections have been provided.

**REV 2 Response:** Please refer to sheet C2.

- f. Any road cuts for utilities or curb cuts within City Right-of-Way shall be restored to full lane width for 50' minimum length (by contractor), per City Code of Ordinances Section 25-108; show and label in plans as appropriate.

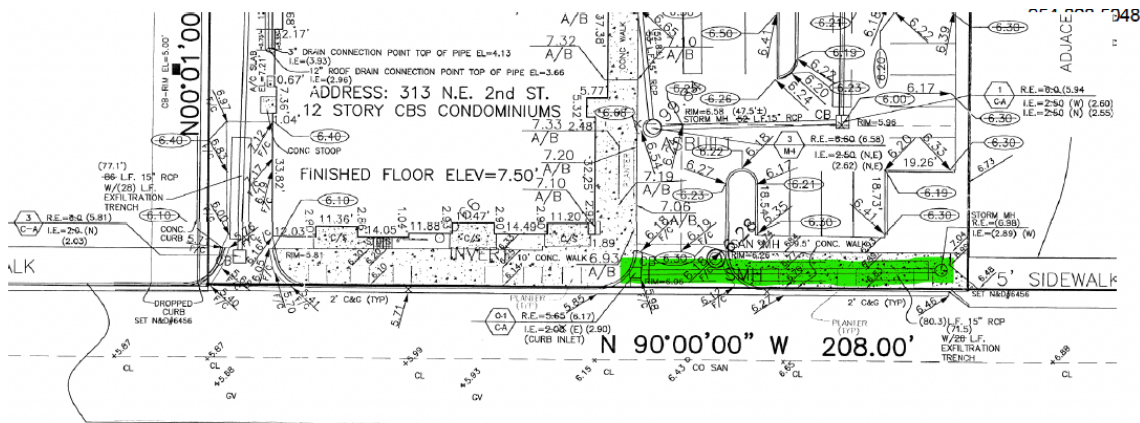
**REV 1 Response:** Noted and shown on plans.

**DSD-ENG Response 05/16/2025:** Comment not addressed, please advise where in these plans this comment has been addressed.

**REV 2 Response:** Please refer to sheet C2 for mill and resurface limits.

10. Sheet C2 (Conceptual Paving, Grading & Drainage Plan) – Fronting adjacent NE 2nd Street R/W:

- a. Show/label proposed 'Service Drive' intersecting NE 2nd Street at the outer edge of westbound travel lane, instead of at the back edge of westbound parallel parking lane.
- i. As a result, shift proposed 2' Valley Gutter/Drop Curb (that crosses 'Service Drive') towards NE 2nd Street centerline, such that it's aligned with existing 2' Valley Gutter fronting 'The Rise' project to the east, which should leave an approximate 10' width asphalt travel lane (westbound) along the adjacent NE 2nd Street
- REV 1 Response:** Drive has been revised as per comment.  
**DSD-ENG Response 05/16/2025:** Comment closed.
- ii. Along the shifted location of proposed Drop Curb (that crosses 'Service Drive') which is adjacent to NE 2nd Street westbound travel lane, transition to Type F Curb & Gutter through flare (on each side of the concrete flared driveway), and then angle Type F Curb & Gutter at 45 degrees to connect with Type F Curb & Gutter at back edge of westbound parallel parking lane.
- REV 1 Response:** Drive has been revised as per comment.  
**DSD-ENG Response 05/16/2025:** Comment closed.
- iii. Show/label proposed spot elevations (and existing spot elevations as appropriate) to demonstrate how street drainage (along this NE 2nd Street frontage) will be conveyed to 'New Curb Inlet'.
- REV 1 Response:** Elevations have been added.  
**DSD-ENG Response 05/16/2025:** Since spot elevations provided for proposed 2' concrete valley gutter appear to raise the existing NE 2nd St street grade, an advisory comment is to be included as an ENG condition of Final DRC #UDP-S24073 approval (i.e. to be addressed prior to issuance of Building Permit), for Applicant to revise Civil Plans as appropriate to demonstrate an acceptable range of proposed street cross-slopes (as close to 2% as possible) adjacent to the proposed concrete curb & gutter and valley gutters along NE 2nd St.  
**REV 2 Response:** Noted, additional elevations are forthcoming to confirm at building permit.
- b. Elevations of driveway connection between NE 2nd Street public access sidewalk and 'Service Drive' (i.e. 4.70 NAVD to 5.00 NAVD) are not consistent with Architectural Sheets AR- 001 and AR-111 (i.e. 3'-10" NAVD); please reconcile and update plans as appropriate.
- REV 1 Response:** The architectural drawings have been updated. See Sheets AR-001 and AR-111.  
**DSD-ENG Response 05/16/2025:** Comment closed.
- c. Elevations of building access to/from NE 2nd Street public access sidewalk (i.e. 5.50 NAVD) are not consistent with Architectural Sheets AR-001 and AR-111 (i.e. 3'-10" NAVD); please reconcile and update plans as appropriate.
- REV 1 Response:** The architectural drawings have been updated. See Sheets AR-001 and AR-111.  
**DSD-ENG Response 05/16/2025:** Comment closed.
- d. Between existing 'Catch Basin Grate EL. 4.48' and existing 'Storm Manhole RIM EL. 5.37', show/label existing connecting stormwater pipe and exfiltration trench.
- REV 1 Response:** Existing drainage noted will be removed with new drainage in the ROW.  
**DSD-ENG Response 05/16/2025:** Comment not fully addressed. Since there is no conceptual Demolition Plan included with this DRC #UDP-S24073 submittal, please graphically depict the approximate location/layout of this existing stormwater infrastructure (i.e. manhole, inlet, connecting pipe, exfiltration trench, etc.) located within the existing "9.92' Utility & Sidewalk Easement" (i.e. highlighted in green in the following image, snipped from 'Nola Lofts – Phase I' PG&D 'As-Built' plans per approved Broward County EPD\_SWM2003-058-0 License):  
**REV 2 Response:** Please refer to revised sheet C2 for existing stormwater to be demolished.



**i. DSD-ENG New Comment 05/16/2025:** Since it appears that this existing stormwater infrastructure (proposed to be removed and reconstructed) was previously approved for the existing adjacent 'Nola Lofts – Phase I' development project per approved Broward County EPD\_SWM2003-058-0 License, please coordinate with the adjacent 'Nola Lofts' property owner to have their Surface Water Management License modified as appropriate.  
**REV 2 Response:** Owner is coordinating with NOLA Lofts for required modifications to existing County drainage license and associated drainage infrastructure. Applicant is tentatively scheduled to discuss this matter further with Nola Lofts Condominium Association Board on September 25, 2025.

**11. Sheet C2 (Conceptual Paving, Grading & Drainage Plan) – Fronting adjacent NE 3rd Street R/W:**

- a. Regarding proposed 'Garage Entrance' Driveway Access, confirm if Left Turn In/Left Turn Out vehicular movements will be prohibited, due to vehicular crossing of two sets of solid double yellow lines spaced 2' or more apart (i.e. within the existing striped median/lane shift taper area).

**REV 1 Response:** Vehicular crossing movements will follow those allowed at adjacent TAM building parking lot as this an identical condition.



**DSD-ENG Response 05/16/2025:** Comment closed.

- b. Show/label existing curb & gutter along the adjacent NE 3rd Street eastbound travel lane and paved shoulder area (i.e. south side of street), as depicted on ALTA/NSPS Land Title Survey.

**REV 1 Response:** This paved shoulder area is being replaced by landscape in the proposed design.

**DSD-ENG Response 05/16/2025:** Comment not addressed, since depiction of existing curb & gutter in this area is pending additional survey information.

**REV 2 Response:** Existing curb & gutter has been updated based on updated survey and coordinated with proposed improvements.

- c. Depict harmonization between existing curb & gutter and proposed curb & gutter along the adjacent NE 3rd Street, especially near northwest corner of proposed development.

**REV 1 Response:** This is depicted on sheet C2, additional survey of the adjacent driveway to the west has been requested.

**DSD-ENG Response 05/16/2025:** Comment not addressed, since depiction of proposed harmonization is pending additional survey information.

**REV 2 Response:** Existing curb & gutter has been updated based on updated survey and coordinated with proposed improvements.

- d. Show/label existing stormwater inlet (within curb & gutter), concrete power pole, concrete light pole, and pedestrian sidewalk access handrails located within adjacent NE 3rd Street R/W (i.e. near northeast corner of proposed development), as depicted on ALTA/NSPS Land Title Survey.

**REV 1 Response:** These have been addressed on sheet C2.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed, please show both existing pedestrian sidewalk access handrails (to be removed), per the 'ALTA/NSPS Land Title Survey'.

**REV 2 Response:** Existing sidewalk has been updated based on updated survey and coordinated with proposed improvements. Grading is provided showing the handrails are no longer needed.

- e. Label disposition of existing stormwater inlet (i.e. within curb & gutter), concrete power pole, concrete light pole, and pedestrian sidewalk access handrails located within adjacent NE 3rd Street R/W.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed, please clarify that 'Existing Power Pole to be Removed, Light Pole to be Relocated' (i.e. for consistency with callouts on Sheet AR-001/Site Plan), and show/label both existing pedestrian access handrails to be removed.

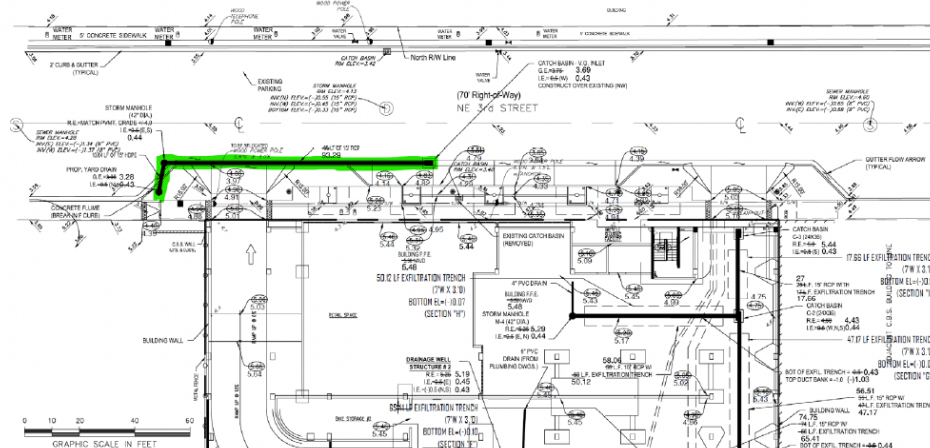
**REV 2 Response:** See updated sheet AR-001

- i. Confirm with DSD-PW staff if this inlet and connecting pipe (with Storm Manole RIM EL. 3.95) should remain and the inlet adjusted to grade.

**REV 1 Response:** These have been addressed on sheet C2

**DSD-ENG Response 05/16/2025:** Comment not fully addressed. Since there is no conceptual Demolition Plan included with this DRC #UDP-S24073 submittal, please graphically depict the approximate location/layout of this existing stormwater infrastructure (i.e. highlighted in green in the following image, snipped from the adjacent 'The Rise at Flagler Village' PG&D 'As-Built' plans per approved Broward County EPD\_SWM2016-076-0 License), and label it accordingly the portions to be removed:

**REV 2 Response:** Please refer to revised sheet C2 for existing stormwater to be demolished.



- ii. Please be advised that any proposed relocation of existing City street lights needs to be agreed upon by the City's Parks and Recreation department (DSD-ENG staff is typically the liaison to coordinate with the City's Facilities Manager)

**REV 1 Response:** Comment has been taken under advisement

**DSD-ENG Response 05/16/2025:** Advisory comment is to be included as an ENG condition of Final DRC #UDP-S24073 approval (i.e. to be addressed prior to issuance of Building Permit), that Applicant shall demonstrate the results of coordination with Florida Power & Light (FPL) and City's Parks and Recreation department (i.e. City Facilities Manager via DSD-ENG staff) for proposed relocation of existing street light pole (fronting this development project within the adjacent NE 3rd St R/W).

**REV 2 Response:** According to the meeting held with FPL, the existing light pole will be removed, and the fixture will be relocated onto the new monopole across the street. See sheet AR-007 and uploaded

**FPL/Street Light Letter for additional details for more details.**

- iii. Please be advised that if any existing City street lights will be out of service for more than 15 days, then temporary street lights will typically be required.

**REV 1 Response: Comment has been taken under advisement**

**DSD-ENG Response 05/16/2025: Advisory comment, to be addressed during permitting (if necessary).**

**REV 2 Response: Acknowledged.**

- a. Elevations of driveway connection between NE 3rd Street public access sidewalk and 'Garage Entrance' (i.e. 4.10 NAVD to 4.50 NAVD) are not consistent with Architectural Sheets AR-001 and AR-111 (i.e. 3'-10" NAVD); please reconcile and update plans as appropriate.

**REV 1 Response: The architectural drawings have been updated. See Sheets AR-001 and AR-111**

**DSD-ENG Response 05/16/2025: Comment closed.**

12. Sheet C3 (Conceptual Water & Sewer Plan):

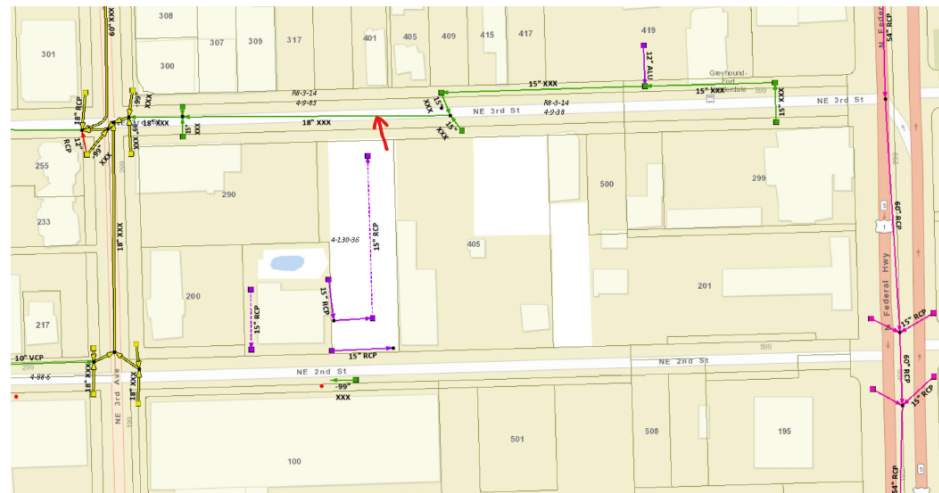
- a. Label size/material of existing City water mains and sewer mains located within the adjacent NE 2nd Street R/W and NE 3rd Street R/W.
  - i. In order to properly design the proposed connections to the City's water and sewer infrastructure, please email [PLAN@FORTLAUDERDALE.GOV](mailto:PLAN@FORTLAUDERDALE.GOV) to obtain copies of the City utility atlas maps and as-built plans adjacent to the proposed development.

**REV 1 Response: Comment has been taken under advisement**

**DSD-ENG Response 05/16/2025: Comment not fully addressed, please also show/label existing City utilities located within the adjacent NE 3rd St R/W: 8" gravity sewer main (near R/W centerline); 6" water main (highlighted with blue arrow in 1st following image, snipped from City's Utility Atlas Maps); and 18" stormwater pipe (highlighted with red arrow in 2nd following image), snipped from City's Stormwater GIS Viewer:**

**REV 2 Response: Please refer to civil plans for added utilities on 3<sup>rd</sup> St.**





- REV 2 Response: Please refer to revised civil plans.**

- DSD-ENG Response 05/16/2025: Comment closed.**

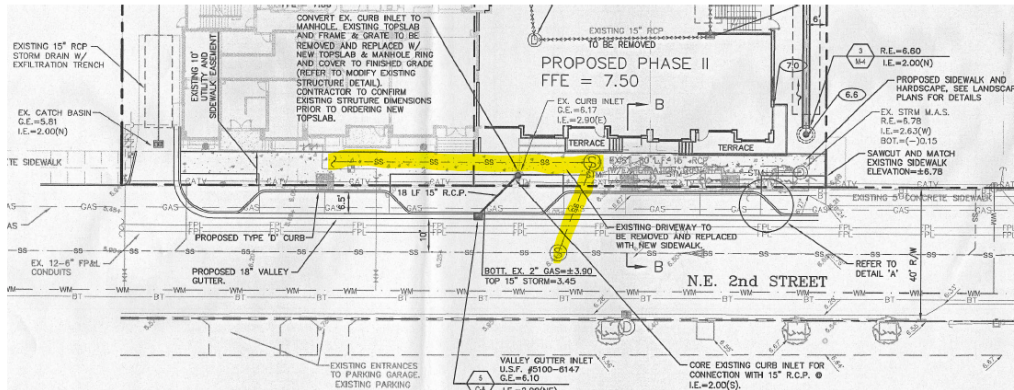
- REV 2 Response: Please refer to revised sheet C3.**

- d. **DSD-ENG New Comment 05/16/2025:** Please label size of proposed 'PVC Sewer Lateral @ 1.0% (Min.) Slope' and the existing sewer service lateral that this is DRC #UDP-S24073 development project is proposing to connect to (i.e. adjacent to NE 2nd St R/W).

**REV 2 Response:** Please refer to revised sheet C3.

- e. **DSD-ENG New Comment 05/16/2025:** Please graphically depict the approximate location/layout of this existing sewer service lateral (i.e. highlighted in yellow in the following image, snipped from 'Nola Lofts – Phase 2' plans approved per Broward County EPD\_SWM2003-058-2 License):

**REV 2 Response:** Please refer to revised sheet C3.



- f. **DSD-ENG New Comment 05/16/2025:** Please confirm if the adjacent 'Nola Lofts' development is currently served by this existing sewer service lateral (i.e. highlighted above in yellow). If so, DSD-PW staff to determine if this proposed DRC #UDP-S24073 development project is also allowed to connect to it.

**REV 2 Response:** Existing inverts have been updated based on updated survey and coordinated with proposed improvements. Refer to uploaded W&WW capacity letter which required DSD-PW review of the proposed connection.

### 13. Sheet L.02 (Planting Plan):

- a. Show/label all existing and proposed City utility infrastructure located within the adjacent City Right-of-Way (as depicted in the Civil plans) to help identify potential conflicts. Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances per City guidelines to/from City's public infrastructure (i.e. minimum 5 feet and 10 feet horizontal clearance separation is required between city utilities infrastructure and proposed small and medium/large trees, respectively), to allow for continued Public Works maintenance without obstruction. Ensure separation is provided and include a note regarding horizontal clearance requirements on the landscape plans.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed. Please depict existing City utilities per the Civil Plans to be updated (i.e. resulting from Civil addressing ENG Comments #10d, #11e.i, #12a.i, and #12e above), and confirm that horizontal offset dimensions are shown as appropriate between proposed trees and existing City utilities (to remain), between proposed trees and proposed stormwater infrastructure (including inlets, pipes, and exfiltration trenches), and between proposed trees and proposed water service laterals.

**REV 2 Response:** See sheet L.02 for updated utility backgrounds showing horizontal offset dimensions.

- i. Along adjacent NE 2nd Street frontage, show/label existing 'Catch Basin Grate EL. 4.48' and existing 'Storm Manhole RIM EL. 5.37', show/label existing connecting stormwater pipe and exfiltration trench, and mitigate any conflicts between existing drainage infrastructure and proposed landscaping.

**REV 1 Response:** See sheet L.02 for dimensions placed on trees near city utilities. 'catch basin grate el' has been labeled

**DSD-ENG Response 05/16/2025:** Comment closed, since this existing stormwater infrastructure is proposed to be removed (per Civil response to ENG Comment #10d above).

**REV 2 Response:** Acknowledged.

- ii. Along adjacent NE 3rd Street frontage, show/label existing stormwater inlet (i.e. within curb & gutter), stormwater pipe connecting to 'Storm Manhole RIM EL. 3.95' (per the Civil Plans), concrete power pole, concrete light pole, and mitigate any conflicts between existing drainage infrastructure and proposed

landscaping.

**REV 1 Response:** See sheet L.02 for labeled storm manholes.

**DSD-ENG Response 05/16/2025:** Comment not fully addressed, please show/label the following:

A. Existing power pole to be removed and existing light pole to be relocated (per Sheet AR-001/Site Plan).

**REV 2 Response:** (Landscape). See updated sheet L.02

B. Conceptual routing layout of proposed underground power lines (i.e. resulting from existing power pole to be removed).

**REV 2 Response:** According to the meeting held with FPL, the plan is to relocate the OH lines. Refer to sheet AR-007 and uploaded FPL/Street Light Letter for additional details for more details.

C. Location of proposed (relocated) street light pole (within the adjacent NE 3rd St R/W).

**REV 2 Response:** According to the meeting held with FPL, the existing light pole will be removed, and the fixture will be relocated onto the new monopole across the street. See sheet AR-007 and uploaded FPL/Street Light Letter for additional details for more details.

D. Portion of existing stormwater pipe (i.e. highlighted in green in the image provided for ENG Comment #11e.i above) to remain.

**REV 2 Response:** Please refer to revised sheet C2.

iii. Dimension clear horizontal offsets between proposed trees and existing City utility infrastructure.

**REV 1 Response:** Dimensioned trees with city utilities

**DSD-ENG Response 05/16/2025:** Comment not fully addressed. Please depict existing City utilities per the Civil Plans to be updated, and confirm that horizontal offset dimensions are shown as appropriate between proposed trees and existing City utilities (to remain), between proposed trees and proposed stormwater infrastructure (including inlets, pipes, and exfiltration trenches), and between proposed trees and proposed water service laterals.

**REV 2 Response:** See sheet L.02 for updated backgrounds and dimensions for trees and existing and proposed utilities.

iv. Please be advised that proposed trees located within the existing "9.92' Utility & Sidewalk Easement, O.R.B. 38964 Page 26" along the adjacent NE 2nd Street R/W, may require 'No Objection' letter from the City's Public Works Department.

**REV 1 Response:** Acknowledged

**DSD-ENG Response 05/16/2025:** Comment closed, since this existing Utility Easement will be replaced or overlapped with 10'-0" ROW ESMT to be recorded.

v. Please be advised that existing concrete light pole is missing on Sheet AR-401 (Level 01 Floor Plan – Photometrics).

**REV 1 Response:** The existing concrete light pole has been added to Sheet AR-401. To include the light pole in the photometric calculations, the necessary information must be provided. We have sent the request to Kevin Kochersperger and are still awaiting a response. Please confirm who can provide the required details.

**DSD-ENG Response 05/16/2025:** Please also be advised that this existing concrete street light pole is to be relocated (per Sheet AR-001/Site Plan) within the adjacent NE 3rd St R/W.

**REV 2 Response:** According to the meeting held with FPL, the existing light pole will be removed, and the fixture will be relocated onto the new monopole across the street. See sheet AR-007 and uploaded FPL/Street Light Letter for additional details for more details.

a. Dimension proposed trees to be installed a minimum 4 feet (clear horizontal offset) beyond curbs when adjacent to travel lanes along the adjacent NE 2nd Street and NE 3rd Street.

**REV 1 Response:** See sheet L.02 for tree dimensions and note for trees to be a min. Of 4' off edge of curb

**DSD-ENG Response 05/16/2025:** Comment closed.

14. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/be relocated/removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants,

manholes, etc.

**REV 1 Response:** Comment has been taken under advisement.

**DSD-ENG Response 05/16/2025:** Comment closed, since disposition of existing utilities provided in plans as appropriate.

15. Provide reasonable assurances that the drainage system (including exfiltration trench and catch basin manhole structures) located beneath the parking garage structure will be able to be effectively operated and maintained. Please provide at a minimum:

- a. A detailed plan demonstrating that the structures are accessible by equipment required to maintain the system, and how the system will be replaced in the event of failure.

**REV 1 Response:** Maintenance procedure plan attached.

**DSD-ENG Response 05/16/2025:** Comment not addressed, since 'Maintenance procedure plan' not provided.

**REV 2 Response:** Refer to attached maintenance procedure plan.

16. Please be advised that proposed pedestrian lighting along the adjacent City Right-of-Way requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the City. Please contact the Case Planner for details to match the area.

**REV 1 Response:** Comment has been taken under advisement.

**DSD-ENG Response 05/16/2025:** To be included as an ENG condition of Final DRC #UDP-S24073 approval (i.e. to be addressed prior to issuance of Final C.O.), for Applicant to coordinate Maintenance Agreement with the City for property frontage along the adjacent NE 2nd St and NE 3rd St (i.e. to include proposed pedestrian lighting).

**REV 2 Response:** Acknowledged and accepted as condition of approval.

17. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb & gutter etc. that will be maintained by the Applicant throughout the life of the improvements.

- a. Please be advised that Applicant shall be responsible for maintenance of proposed storm drain infrastructure improvements located within City Right-of-Way during a 1-year warranty period, until accepted by the City's Public Works Department.

**REV 1 Response:** Comment has been taken under advisement.

**DSD-ENG Response 05/16/2025:** Comment not addressed, please provide Maintenance Agreement Area Exhibit for property frontage within the adjacent NE 2nd St R/W and NE 3rd St R/W.

**REV 2 Response:** Please refer to new maintenance area exhibit sheet X3.

18. Proposed public and private improvements shall consider the construction limitation per Code of Ordinance Section 25-7 on all streets, alleys and sidewalks which are under the jurisdiction of the city, as these may be closed for construction for a period not to exceed seventy-two (72) hours.

**REV 1 Response:** Acknowledged.

**DSD-ENG Response 05/16/2025:** Comment closed.

19. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way, and any loaded Jib Crane radius shall not extend beyond private property boundaries. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee (DRC) and approved by the City's Commission, prior to Right-of-Way permit issuance by the Development Services Development for Maintenance of Traffic.

Please provide a statement describing potential impacts to public right-of-way during construction of the development. This statement shall describe, but not limited to:

- ☐ Potential roadway and sidewalk closures, including phasing and duration.
- ☐ Use of pedestrian overhead canopy to maintain pedestrian travel.
- ☐ Impacts to public parking areas and parking arrangements for construction personnel.
- ☐ Crane operations
- ☐ Describe the construction impacts of the proposed design on the adjacent areas (right-of- way, properties, etc.) and the unique limitations of the site such as proximity to major roadways and waterways.

**REV 1 Response:** Acknowledged.

**DSD-ENG Response 05/16/2025:** Comment closed.

20. For Engineering General Advisory DRC Information, please visit our website at



<https://www.fortlauderdale.gov/home/showdocument?id=30249>

**REV 1 Response: Acknowledged.**

**DSD-ENG Response 05/16/2025: Comment closed.**

21. Additional comments may be forthcoming at the DRC meeting and once additional/revised information is provided on plans.

**REV 1 Response: Acknowledged.**

**DSD-ENG Response 05/16/2025: Comment closed.**

**Advisory Comment:**

1. Advisory: If dewatering activities are anticipated, a notarized City dewatering affidavit shall be filed at City's building department when submitting a demolition or foundation permit along with any applicable dewatering permit form regulatory agencies such as the South Florida Water Management District or Broward County Department of Environmental Protection.

**REV 1 Response: Acknowledged.**

**DSD-ENG Response 05/16/2025: Comment closed.**

Case Number: UDP-S24073

**FLOODPLAIN CASE COMMENTS:**

Please provide a response to the following:

1. 2024 FEMA FIRM-Structure is located in a Special Flood Hazard Area, AE 6, The minimum elevation is 7.4 ft NAVD. This includes all ancillary areas servicing the residential area. Residential area of mixed use buildings may not be floodproofed.

REV 1 Response: See Sheets AR-001 and AR-111 with FFE as 7.4'

GENERAL COMMENTS

The following comments are for informational purposes.

1. Refer to FEMA Technical Bulletin 3: Requirements for the Design and Certification of Dry Floodproofed Non-Residential and Mixed-Use Buildings.
2. Refer to FEMA P-2037: Flood Mitigation Measures for Multi-Family Buildings.
3. Additional comments may follow pending submission of the complete plan set.

CASE COMMENTS:

Please provide a response to the following:

1. P-2037: "The residential areas include all residential dwelling units, building systems (including electrical, heating, ventilation, plumbing, air conditioning, and other service equipment), and other finished ancillary areas (including laundry rooms, offices, mail rooms, meeting rooms, and exercise rooms) that support the residential units in the building."

TB-3: Fire pump room, electric vault, generator. Are required to be elevated.

Only storage, entry and parking may be below 7.4 ft NAVD. Show what areas will be floodproofed. (More elaborate details for flood proofing will be required at time of complete plan submittal.)

REV 2 Response: See updated sheet AR—001/AR-111

GENERAL COMMENTS

The following comments are for informational purposes.

1. Refer to FEMA Technical Bulletin 3: Requirements for the Design and Certification of Dry Floodproofed Non-Residential and Mixed-Use Buildings.
2. Refer to FEMA P-2037: Flood Mitigation Measures for Multi-Family Buildings.
3. FEMA-P-348: Protecting Building Utilities
4. FBC 322 Flood-Resistant Construction
5. ASCE 24-14: Flood Resistant Design and Construction
6. Additional comments may follow pending submission of the complete plan set.

REV 2 Response: Acknowledged.

Case Number: UDP-S24073

**LANDSCAPE CASE COMMENTS:**

Please provide a response to the following.

1. Existing *Ligustrum japonicum* (#14-17) are Small specimen-sized trees as per recent update to the City's Tree Preservation Ordinance. ULDR 47-21.15.G.10: Proposed specimen tree removal requires submittal of an equivalent value evaluation report determined by an ISA Board Certified Master Arborist, ASCA Registered Consulting Arborist or Registered Landscape Architect using a method outlined the Council of Tree & Landscape Appraisers "Guide for Plant Appraisal, 10<sup>th</sup> edition".

**REV 1 Response:** See tree disposition sheet L.01 for tree disposition plan & attached arborist report.  
**COFL 05/05:** Comment addressed.

2. Within the Downtown RAC district and as per Chapter 4 of the Downtown Master Plan Design Guidelines newly planted shade tree street trees are suggested to be a minimum of 20-22 feet tall; 10-12 feet spread with 7 feet canopy clearance provided at a ratio of one street tree per thirty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. Please verify that specifications meet minimum requirements on Plant Legend, Sheet L.02 Planting Plan, and revise if necessary.

**REV 1 Response:** See planting legend for updated specifications and plan for street tree layout at 30' o.c or greater fraction thereof not subtracting ingress or egress dimensions. Species have been switched to medjool date, live oak & ligustrum.

**COFL 05/05:** Comment addressed.

3. A minimum separation of 6 feet is required between the tree trunk and travel lane when curb and gutter DO NOT exist, and a minimum separation of 4 feet is required between the tree trunk and travel lane when curb and gutter DO exist. Illustrate this clearance on landscape plans.

**REV 1 Response:** See the planting plan for street tree layout (30' o.c.) and (4') dimension off of edge of pavement.

**COFL 05/05:** Comment addressed.

4. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans. This requirement shall apply to SW 5<sup>th</sup> Street and SW 2<sup>nd</sup> Avenue tree plantings as well as SW 3<sup>rd</sup> Avenue.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a. Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.

- b. Provide Structural Soil Detail and composition.

**REV 1 Response:** See landscape plans for structural soil detail.

**COFL 05/05:** Comment addressed.

5. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.

**REV 1 Response:** See landscape plans for structural soil detail.

**COFL 05/05:** Comment addressed.

6. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities. Please note and illustrate this on landscape plans.

**REV 1 Response:** See planting plan Sheet L.02 for utility overlay showing no conflicts.

**COFL 05/05:** Not accepted. See comments #7 & 8 below. Please coordinate proposed locations of streetlamp posts with required shade canopy tree locations.

**REV 2 Response:** See sheet L.02 for streetlamp posts 15'+ from shade street trees.

7. Shade trees must be located a minimum of fifteen feet away from structures, as per ULDR Section 47-21.9.F.1. Please illustrate this clearance on landscape plans, and revise where in conflict.

**REV 1 Response:** Shade trees proposed along the south property line have been switched to palm trees to allow for light fixtures and 15' minimum clearance of structure. Shade trees along northern property line switched to ligustrum trees for structural clearance.

**COFL 05/05:** Not accepted. 50% of required street trees shall be large canopy shade species. In the Downtown RAC the minimum 15' clearance requirement may be reduced to 12' in order to allow for planting of larger canopy shade species. Please provide.

**REV 2 Response:** See sheet L.02 for 50%+ shade street trees 15'+ from structure.

8. Light fixtures with an overall height of more than ten feet shall be located a minimum of 15 feet away from shade trees, as per ULDR Section 47-21.12. Please specifically note and illustrate this on landscape plans.

**REV 1 Response:** Shade trees proposed along the south property line have been switched to palm trees to allow for light fixtures and 15' minimum clearance of structure.

**COFL 05/05:** Not accepted. 50% of required street trees shall be large canopy shade species. In the Downtown RAC the minimum 15' clearance requirement may be reduced to 12' in order to allow for planting of larger canopy shade species. Please provide.

**REV 2 Response:** See sheet L.02 for 50%+ shade street trees 16' from lamp post

9. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. Please revise if in conflict.

**REV 1 Response:** All trees are shown a minimum of 6'4" from any utility underground lines.

**COFL 05/05:** Comment addressed.

10. Additional comments may be forthcoming after next review of new plans and written comment responses.

**REV 1 Response:** Acknowledged.

**COFL 05/05:** Comment addressed.

#### **GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. Note that effective as of November 1, 2024, the City's Tree Preservation Ordinance (ULDR 47-21.15) has been amended by approval of the City Commission. A copy of the amended ordinance shall be made available for use by request in the interim while the City's ULDR found on MuniCode awaits revision publication.

**REV 1 Response:** Acknowledged.

**COFL 05/05:** Acknowledged.

2. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.

**REV 1 Response:** Acknowledged.

**COFL 05/05:** Acknowledged. .

3. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.

**REV 1 Response:** Acknowledged.

**COFL 05/05:** Acknowledged.

4. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.

**REV 1 Response: Acknowledged.**

**COFL 05/05: Acknowledged.**

5. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6, A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.

**REV 1 Response: Acknowledged.**

**COFL 05/05: Acknowledged.**

**Case Number: UDP-24073**

**POLICE CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180 degree view peephole.  
REV 1 Response: Acknowledged and will comply.
- 2.
3. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.  
REV 1 Response: Acknowledged and will comply.
4. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.  
REV 1 Response: Acknowledged and will comply.
5. All glazing should be impact resistant.  
REV 1 Response: Acknowledged and will comply.
6. Units should be pre-wired for an alarm system.  
REV 1 Response: Acknowledged and will comply.
7. Lighting and landscaping should follow CPTED guidelines.  
REV 1 Response: Acknowledged and will comply.
8. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.  
REV 1 Response: Acknowledged and will comply.
9. Pool areas should be equipped with a child proof access control feature to prevent unsupervised children access to the pool.  
REV 1 Response: Acknowledged and will comply.
10. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, elevators, parking garage, hallways and common areas. It should be capable of retrieving an identifiable image of a person.  
REV 1 Response: Acknowledged and will comply.
11. Emergency communication devices should be placed in the parking garage, pool and common areas. These should be easily identifiable and accessible.  
REV 1 Response: Acknowledged and will comply.
12. Light reflecting paint should be used in parking garage to increase visibility and safety.  
REV 1 Response: Acknowledged and will comply.
13. All restricted areas and resident only areas should be access controlled and labelled as such.  
REV 1 Response: Acknowledged and will comply.
14. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.  
REV 1 Response: Acknowledged and will comply.
15. Parking garage should have access control separating private residential parking from public access parking.  
REV 1 Response: Acknowledged and will comply.
16. There should be a secured valet key management system for the vehicles on site.  
REV 1 Response: Acknowledged and will comply.

17. Office and storefront doors and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.

REV 1 Response: Acknowledged and will comply.

18. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders

REV 1 Response: Acknowledged and will comply.

19. Due to the size and scope of the development, full-time security should be employed.

REV 1 Response: Full-time security will be provided.

#### GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

REV 1 Response: Acknowledged and taken under advisement.

Please submit responses in writing prior to DRC sign off.

REV 1 Response: Refer to responses above.

**Case Number: UDP-S24072**

**SOLID WASTE CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.  
REV 1 Response: See attached solid waste management letter dated 02/21/2025
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.  
REV 1 Response: Acknowledged. Recycling will be provided.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.  
REV 1 Response: Acknowledged.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).  
REV 1 Response: Acknowledged and taken into consideration.
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.  
REV 1 Response: Acknowledged.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).  
REV 1 Response: The solid waste will be performed within the loading area.
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.  
REV 1 Response: See Sheets AR-001/AR-111
8. Solid waste collection shall be from a private loading dock.  
REV 1 Response: The solid waste will be performed within the loading area.
9. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).  
REV 1 Response: Transport will be performed inside the building using the service corridor.
10. Containers: must comply with 47-19.4  
REV 1 Response: Acknowledged. See Code Data on Sheet AR-001
11. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.  
REV 1 Response: Acknowledged.
12. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building. If you have a trash shoot please answer 12,13,14.  
REV 1 Response: See attached solid waste management letter dated 02/21/2025
13. Recommend trash chute accommodate recycling.  
REV 1 Response: Recycling chute is being provided as per the solid waste management letter.
14. Draw equipment on the plan to show it will fit in trash room.  
REV 1 Response: See trash room on sheets AR-001/AR-111
15. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.  
REV 1 Response: Trash room services will be handled by private collector.



16. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.

- *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [Gwoolweaver@fortlauderdale.gov](mailto:Gwoolweaver@fortlauderdale.gov) . The letter*
- *should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
- *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**REV 1 Response: See attached solid waste management letter dated 02/21/2025**

#### **GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building

**REV 1 Response: See attached solid waste management letter dated 02/21/2025**

Case Number: UDP-S24072

**TRAFFIC ENGINEERING CASE COMMENTS:**

1. Traffic Study is under review and comments are forthcoming.  
**REV 1 Response:** Comments for the Traffic Study submitted on December 13, 2024 have not been provided as of the date of this REV 1 submittal after following up with Traffic Engineering. Should there be any comments, Applicant will review and address in a subsequent submittal.  
**City Response:** Traffic study comments will be sent separately.  
**REV 2 Response:** Refer to uploaded (and emailed) Traffic Study comment responses.
2. NE 2<sup>nd</sup> Street is classified as a minor collector and requires a total right of way width of 60 feet. This proposed development shall dedicate of 10 feet along NE 2<sup>nd</sup> Street to the public right of way to complete the half section of 60 feet right of way.  
**REV 1 Response:** According to Engineering comment, a total ROW of 50' should be considered and 5' ROW easement should be provided.  
**City Response:** Comment not addressed, 10 feet right of way dedication is required to meet the minimum 60 feet right of way width for a collector road.  
**REV 2 Response:** The requested 10' ROW easement line has been added to Sheet AR-001/003 and the civil sheets.
3. 52 parking spaces shall be provided for "Nola Lofts" per the Declaration of Easement No. 107911989, recorded 05/22/2008 at Broward County records.  
**REV 1 Response:** The 52 parking spaces for "Nola Lofts" have been included in the total parking space count.  
**City Response:** Comment addressed
4. Identify where on the plans the "Nola Lofts" 52 parking spaces are to be located.  
**REV 1 Response:** See revised Sheets AR-111/AR-112  
**City Response:** Comment addressed
5. Demonstrate where the 'Nola Lofts' residents would temporarily park during construction of the Subject development.  
**REV 1 Response:** Applicant will continue discussions with Nola Lofts' representatives and comply with the temporary relocation requirements of the Declaration of Easements between the two parties.  
**City Response:** Comment not addressed  
**REV 2 Response:** Applicant is tentatively scheduled to discuss this matter further with Nola Lofts Nola Lofts Condominium Association Board on September 25, 2025. Applicant is in discussions with property owners along NE 2<sup>nd</sup> Street for a temporary parking arrangement in compliance with the Declaration of Easements between the Applicant and Nola.
6. This proposed development is proposing to remove three (3) metered parking stalls from NE 2<sup>nd</sup> Street. This proposal shall be required to pay a mitigation fee for the permanent displacement of these three (3) metered parking stalls to the city of Fort Lauderdale's Transportation and Mobility Department. Please provide confirmation from Morgan Dunn [mdunn@fortlauderdale.gov](mailto:mdunn@fortlauderdale.gov) from the Transportation and Mobility department that a fee was agreed to.  
**REV 1 Response:** Existing metered parking spaces stall have been relocated. See updated site plan Sheet AR-001.  
**City Response:** Comment not addressed, the proposed parking stall west of the driveway on NE 2<sup>nd</sup> Street is within the truck turning movement to access the driveway. Parking stalk needs to be outside of the turning path and sight triangle.  
**REV 2 Response:** See revised sheets AR-001/AR-111
7. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, vertical stacked, tandem, bicycle, loading, etc.).

ULDR Sec. 47-20.2. - Parking and loading zone requirements.

**REV 1 Response:** See site data on Sheet AR-001

**City Response:** Comment addressed

8. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets.

**REV 1 Response:** See parking space labels, typical stall dimensions, and floor slopes on Sheets AR-111/AR-112/AR-113/AR-114/AR-115

**City Response:** Comment addressed

9. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. The minimum inbound stacking requirement is five stacking spaces, the minimum outbound stacking requirement is one stacking space.

**REV 1 Response:** Level 01 and 02 have been updated to show 6 inbound stacking spaces and 1 outbound stacking space, See revised Sheets AR-111 (Level 01 and Level 02)

**City Response:** Comment addressed

10. For reference one stacking space measurement is 12 feet in width and 22 feet in length.

**REV 1 Response:** Understood.

**City Response:** Comment addressed

11. Mechanical lift parking or Tandem parking spaces (one car behind another, so that one car must be moved before the other can be accessed) may be allowed for condominium and multi-family residential uses only under the following conditions, which must be included as a note on the site plan:

- a. The spaces must be reserved and assigned to dwelling units which are required to have two or more parking spaces per unit (i.e., units with two or more bedrooms).
- b. Both of the spaces must be standard size; no compact or handicapped accessible tandem spaces are permitted.
- c. If the above conditions cannot be met, then a valet parking must be provided.

**REV 1 Response:** Levels 09 and 10, with mechanical lift parking, will be operated by valet.

**City Response:** Comment addressed

12. Vertical tandem parking spaces are prohibited to be placed on parking ramps or any grade that is greater than 2%.

**REV 1 Response:** See sheet AR-115. Vertical tandem parking are placed on 1.97% ramps

**City Response:** Comment addressed

13. Vertical tandem for two vehicles shall have the following dimension 18 feet stall length 8 feet 8 inches stall width with minimum of 14 feet in clear height above the parking space entrance level.

**REV 1 Response:** See revised sheet AR-115. The sketch has been updated.

**City Response:** Comment addressed

14. Vertical tandem for three vehicles shall have the following dimension 18 feet stall length 8 feet 8 inches stall width with minimum of 21 feet in clear height above the parking space entrance level.

**REV 1 Response:** See revised sheet AR-115. The sketch has been updated. Level 08 and 09 clearance have been updated. See Sheet AR-301

**City Response:** Comment addressed

15. Include a schematic of the vehicular lift system meeting the above listed criteria that will be used with the plan set.

**REV 1 Response:** See sheet AR-115. The sketch has been updated.

**City Response:** Comment addressed

16. A valet parking agreement shall be required for the proposed parking layout since the parking stalls are not assigned to a specific unit requiring 2 or more parking spaces.

REV 1 Response: Applicant is respectfully requesting to record the valet parking agreement as a condition of CO issuance.

City Response: Comment addressed

17. Identify where on the plans the valet operation will take place and where the vehicles will be picked up and dropped off.

REV 1 Response: See revised sheet AR-115.

City Response: Comment not addressed, Valet operation can not take place on a slope that is greater than 2% to meet minimum ADA requirements, valet operation cannot conflict with site circulation, the proposed location for this operation conflicts with site circulation.

REV 2 Response: The valet operation has been relocated to a flat area. Site circulation ends at Level 08, where a turnaround space has been provided. Levels 09 and 10 are designated as valet- only. There is no conflict between the valet operation and site circulation. See updated sheets AR-114 and AR-115.

18. Identify on the plans which parking floors are valet parking only floors.

REV 1 Response: See sheet AR-115. Levels 09 and 10 are labeled as Valet Parking.

City Response: Comment addressed

19. For information on the required vehicular reservoir requirement for valet parking, please look at the section in our city code listed below:

- a. Sec. 47-20.17. - Vehicular reservoir spaces for drive-thru facilities. Valet parking, 50 spaces or more, are required to have a minimum 6 vehicular reservoir spaces.
- b. A vehicular reservoir space ("VRS") is a space within a vehicular use area for the temporary stopping of a vehicle awaiting service as provided in this section. A VRS shall be twenty (20) feet long by ten (10) feet wide. A VRS shall be located in an area within a parking facility which is not used for any other vehicular use such as access, parking, site circulation or loading.
- c. Each VRS shall be clearly defined on the site plan and shall be in a location that does not conflict or interfere with other traffic entering, using or leaving the site. Design configuration shall be such that there shall be no backing into the street permitted.
- d. Reservoir spaces shall be measured from the front of the service position to the rear of the VRS.

REV 1 Response: See sheet AR-115. VRS spaces have been added.

City Response: Comment not addressed, Valet operation cannot take place on a slope that is greater than 2%, valet operation cannot conflict with sight circulation, the proposed location for this operation conflicts with site circulation.

REV 2 Response: The valet operation has been relocated to a flat area. Site circulation ends at Level 08, where a turnaround space has been provided. Levels 09 and 10 are designated as valet-only. There is no conflict between the valet operation and site circulation. See updated sheets AR-114 and AR-115.

20. Per section 47-20.16.3 of the city of Fort Lauderdale ULDR Parking spaces need not be immediately accessible provided spaces are arranged so that no more than two (2) parking spaces would be crossed in parking any vehicle.

REV 1 Response: Acknowledged.

City Response: Comment addressed

21. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to

review by the City Engineer on a case-by-case basis. Per ULDR Section 47- 19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.

**REV 1 Response:** Sight triangles are showing on sheet AR-001/L.02

**City Response:** Comment addressed

22. Provide a 10' X 10' sight triangle at the proposed driveways starting at the back of sidewalk and driveway through lanes intersection points, no structures or obstructions shall be placed in this sight triangle. This sight triangle is required to provide clear visibility of the drivers exiting the driveway being able to see the pedestrians walking on the sidewalk against the building.

**REV 1 Response:** Sight triangles are showing on sheet AR-001/L.02

**City Response:** Comment not addressed, the 10 X 10 sight triangle should be measured from the back of sidewalk closest to the property not closest from the edge of pavement. This is needed to allow clear visibility for drivers to see pedestrians on the sidewalk when crossing the driveway.

**REV 2 Response:** See revised sheets AR-001 /L.02. Decorative column has been removed to provide the pedestrian sight triangle on 3<sup>rd</sup> street.

23. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. The auto turns vehicular paths to depict the vehicle colliding with a proposed elevator and mounting a non-vehicular use area. Revise the ground floor to prevent these conflicts.

**REV 1 Response:** See revised sheets AR-001/AR-111 to AR-115 for added car and truck maneuvering graphics.

**City Response:** Comment not fully addressed, the proposed parking stall west of the driveway on NE 2<sup>nd</sup> Street is within the truck turning movement to access the driveway. Parking stalk needs to be outside of the turning path and sight triangle.

**REV 2 Response:** See revised sheets AR-001/AR-111

24. Per Section 47-20.5.C.4 of the City of Fort Lauderdale Unified Land Development Code Dead-end parking areas shall be prohibited, except where the number of parking spaces in the dead end area is less than twenty-one (21) and a turnaround area is provided which will accommodate a two (2) point turn around by a standard passenger car or where the number of parking spaces in the dead end is ten (10) or less (AASHTO "P" Design Vehicle).

**REV 1 Response:** Levels 09 and 10 are valet parking levels. A dedicated turnaround area has been added in Level 10. Please refer to sheet AR-115.

**City Response:** Comment not addressed, the proposed valet operation conflicts with access to the proposed turnaround location.

**REV 2 Response:** The site circulation ends at Level 08, where a turnaround space has been provided. Levels 09 and 10 are designated as valet-only. There is no conflict between the valet operation and site circulation. See updated sheets AR-114 and AR-115.

25. Depict where the garage ends on the top floor and how vehicles are to exit once reaching the top.

**REV 1 Response:** Levels 09 and 10 are valet parking levels. A dedicated turnaround area has been added in Level 10. Please refer to sheet AR-115.

**City Response:** Comment not addressed, the proposed valet operation conflicts with access to the proposed turnaround location.

**REV 2 Response:** The site circulation ends at Level 08, where a turnaround space has been provided. Levels 09 and 10 are designated as valet-only. There is no conflict between the valet operation and site circulation. See updated sheets AR-114 and AR-115.

26. Provide a minimum of 7 feet wide sidewalk on NE 3<sup>rd</sup> Street and NE 2<sup>nd</sup> Street. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. The back of sidewalk shall be placed on the right-of-way dedication/easement line. The sidewalk shall continue through the driveways and to the edge of the property line.

**REV 1 Response:** See Sheet L.02 planting plan for 7' min. Unobstructed pathway sidewalk

**City Response:** Comment addressed

27. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.

**REV 1 Response:** Comment has been taken under advisement

**City Response:** Comment addressed

28. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.

**REV 1 Response:** All access points, sidewalks, walkways are unobstructed and ADA accessible, see sheets AR-001/AR-111.

**City Response:** Comment addressed

29. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.

**REV 1 Response:** Bike parking has been added on NE 3rd Street sidewalk. See sheet AR-001.

**City Response:** Comment addressed

30. Additional comments may be provided upon further review.

#### **GENERAL COMMENTS**

1. Please address comments below where applicable.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.

**REV 1 Response:** Electric car charging stations will be considered in the project

**City Response:** Comment addressed

3. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

**REV 1 Response:** Acknowledged and will comply.

**City Response:** Comment addressed

Case Number: UDP-S24073

**URBAN DESIGN & PLANNING CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before *June 16, 2025*, unless a mutually agreed upon time extension is established between the City and the applicant. Please provide a statement requesting and agreeing to a waiver of these timeframes, or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.  
**REV 1 Response: Acknowledged. Applicant will submit a 180-day extension request should the application not go before City Commission prior to June 16, 2025.**
2. Pursuant to ULDR, Section 47-27, Notice Procedures, a Site Plan Level II applications in Downtown RAC are subject to public notice prior to the DRC meeting and conduct a public participation meeting minimum 30 days prior to preliminary staff approval for application to proceed to City Commission.  
**REV 1 Response: Acknowledged and will comply. A summary of the public participation meeting efforts will be provided prior to Planning Pre-CC signoff.**
3. The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in these designations. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.  
**REV 1 Response: Acknowledged.**
4. This application is subject to approval by the City Commission for proposed deviations to the Downtown Master Plan (DMP) for building height, podium height, tower separation, and encroachment into the tower separation. The applicant will be required to submit a separate application fee if the project is placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information.  
**REV 1 Response: Acknowledged and will comply.**
5. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application.  
**REV 1 Response: A Platting Determination request has been submitted and will be provided upon receipt. Per prior determinations, replatting is not required.**
6. Provide additional information in the plan set for: (1) a sheet that depicts how the project transitions to the adjacent sites and will be consistent with the street design, (2) a sheet that graphically identifies the DMP design elements located on the project design, (3) context sheet that includes proposed projects, (4) update design detail sheet that includes all architectural elements. Ensure the entire site plan package is updated with current information and renderings are accurate.  
**REV 1 Response: See new sheets AR-004/AR-005/AR-006**
7. Be advised that development applications requesting residential dwelling units in the Downtown Regional Activity Center (RAC) are subject to RAC or flex unit availability at the time of site plan approval on a first come, first served basis. The applicant is proposing to utilize affordable housing density bonus pursuant to ULDR, Section 47-23.16 and provide a payment in lieu of constructing affordable housing units. Applicants providing a payment in-lieu shall provide a calculation breakdown of the payment in-lieu fee and narrative explaining which affordable housing policies the payment in-lieu option is forgoing. An in-lieu payment is equal to \$10,900 per unit for the total number of units within the development with an annual increase of three percent per year, which for 607 units is



\$6,616,300 (2025). In-lieu payments shall be equally split between the Broward County Affordable Housing Trust Fund and the City of Fort Lauderdale Affordable Housing Trust Fund. One hundred percent of the payment in-lieu shall be paid to the City of Fort Lauderdale at the time of building permit issuance. In addition, the applicant should provide an analysis in table format that compares number of units permitted without any deviations to the number of units proposed by this application.

**REV 1 Response: Acknowledged. Applicant is requesting to provide a payment in lieu per the total number of units within the development.**

8. As proposed, the building is significantly larger in size and scale than the immediate surroundings. The overall development program is excessive given the size of the parcel, which is only exacerbated with the requested deviations, and results in a project that is not compatible with the surrounding built environment including recent developments. Furthermore, the applicant has not demonstrated that the proposed deviations meet the design intent for the applicable design element. The applicant should address the following: (1) ground level design, (2) architectural podium design, and (3) adjust tower placement. Below is a summary of each item above along with examples images. More detailed information is also provided throughout the planning comments.

- 1) *Ground level design.* It is the intent of the DMP to provide higher floor to ceiling heights, especially on the ground floor, to enhance the overall public realm experience. The portions of the building facing primary and secondary streets should have taller ceiling heights to create dramatic and elegant building forms with a compelling street presence and sense of arrival. In addition, the DMP encourages richer material palettes, more intensive details and lighting for the street level, and high-quality durable exterior materials. A rich layering of architectural elements throughout the building, with special attention to the ground floor and podium façade need to be provided. See images.



**REV 1 Response:** A higher floor-to-ceiling height has been provided at the 3rd Street main entrance, creating a more impactful access. Additionally, high-quality materials have been considered for the podium façade (see sheets AR-203/AR-204). A new 3D aluminum cladding design has been incorporated for the podium façade, adding texture that changes the perception of the façade depending on shadows and sunlight conditions. See updated renderings AR-801 to AR-806

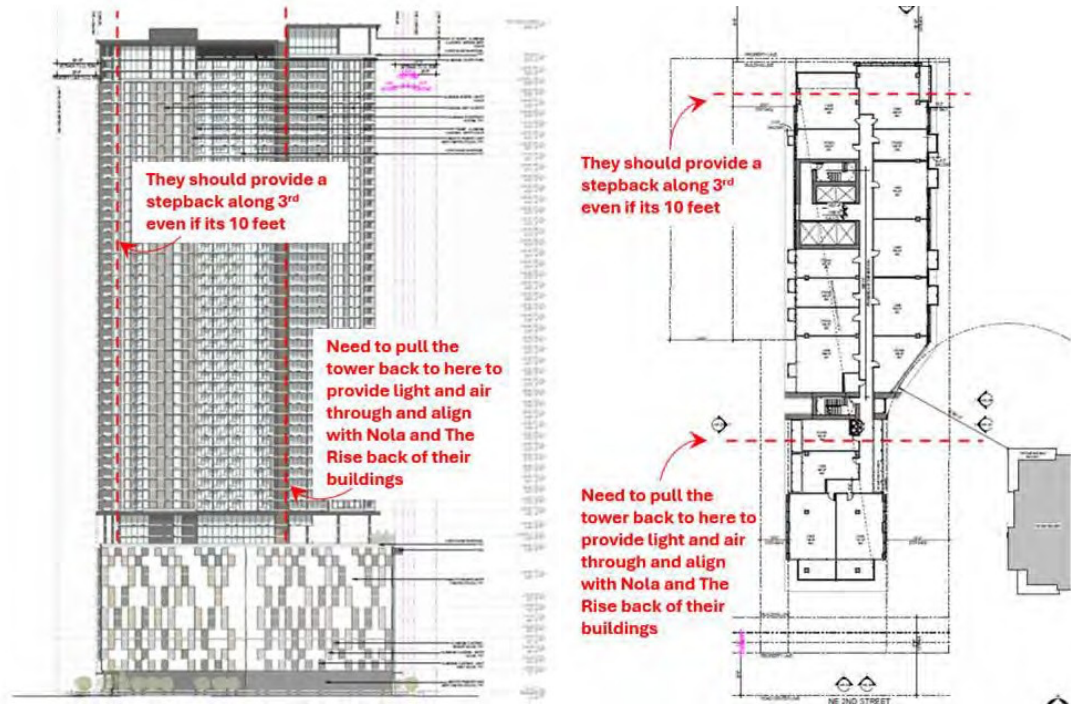


- 2) *Architectural podium design.* The additional podium height to accommodate stacked parking or storage of equipment exceed the maximum number of floors for the podium, which factors into the overall building height, and lacks mitigation for the additional podium height. Higher floor to ceiling heights, especially on the ground floor, enhance the overall public realm experience and use of mezzanines mitigate the impact. *Note:* Stacking or additional floor area such as mezzanine levels will require Florida Building Code review and approval as well as a backup mechanical repair plan if stacked equipment fails. See images below.



**REV 1 Response:** A higher floor-to-ceiling height has been provided at the 3rd Street main entrance, creating a more impactful access. Additionally, a portion of the west side of the building has been lowered to improve the relationship with the Nola Loft building. See sheets AR-201/AR-202/AR-203/AR-24/AR.

- 3) *Adjust tower placement.* The tower separation measurement should be shown to the closest building wall perpendicular to the new building. The tower does not meet the 30 feet separation requirement to adjacent properties on either side of the site; however, given there is existing development (Nola Lofts and The Rise), the tower should be shifted north to allow for light and air to the residential balconies at The Rise as well as articulate the design along NE 2<sup>nd</sup> Street. Furthermore, the tower should be setback a few feet along NE 3<sup>rd</sup> Street as well. See below.



**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and Rise PRECEDED such character area redesignation. According to the Character Areas Guidelines, Area 1 Downtown Core, Section 1A, a tower setback is NOT required. While a setback is not required, it should be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006

9. Provide detailed narrative addressing the criteria regarding the proposal to provide an Affordable Housing Payment in Lieu Fee in accordance with Section 47-23.16.B.2.c., Broward County Land Use Plan (BCLUP) Permitted Density Bonus for Affordable Housing. Include the total number of units being requested through the in Lieu Fee request.

**REV 1 Response:** As detailed in the previously uploaded narrative providing a point-by-point analysis of Section 47-23.16.B.2.c, a Payment in Lieu is proposed.

10. The project does not meet certain Downtown Master Plan (DMP) design intents as outlined in ULDR, Section 47-13.20 and Section 47-13.21, respectively. Staff has commented below under the applicable category and has provided images to assist the applicant.

#### Principles of Street Design

- a. S-12, Eliminate curb cut on primary street (3<sup>rd</sup>).  
**REV 1 Response:** The curb cut on NE 3<sup>rd</sup> Street is the garage entrance driveway. Previously approved or constructed projects along NE 3<sup>rd</sup> Street, including Ombelle, The Rise, Dalmar, The Viceroy (fka 201 N. Federal Hwy) similarly provide parking garage ingress/egress from NE 3<sup>rd</sup> Street. Also refer to ENG Comment #3e response above.
- b. S-8, Provide cross sections to show horizontal clearance is being met.  
**REV 1 Response:** See Sheet L.05 site details for horizontal clearance section
- c. S-7, Provide measurements to show street tree spacing  
**REV 1 Response:** See planting plan Sheet L.02 for street tree spacing note, minimum and provided street trees.
- d. Provide adequate setback above podium along ROWs.  
**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and The Rise PRECEDED such character area redesignation. According to the Character Areas Guidelines, Area 1 Downtown Core, Section 1A, a tower setback is NOT required. However, it should be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006
- e. S-16, Existing overhead powerlines along NE 3<sup>rd</sup> Street shall be placed underground. Provide information on street cross sections how this will be accommodated and note the plans accordingly.  
**REV 1 Response:** An FPL Consultant will be hired to provide the information requested.

#### Principles of Building Design and Storefronts

- a. B-1, building does not maintain a consistent streetwall with adjacent buildings.  
**REV 1 Response:** Refer to Sheet AR-001 which shows the proposed building meets the required setback line. Both the Nola Lofts and The Rise preceded the codification of the DMP street section and minimum at-grade open space requirements which this project complies with.
- b. B-3, the podium exceeds the maximum streetwall height. Applicant has not provided justification or demonstrated that the requested deviation meets design intent.  
**REV 1 Response:** Due to the lot size constraints and to meet the minimum parking requirements for both the subject project and the adjacent Nola Lofts, Applicant is requesting an alternative design to permit a 10-story (130'-2") podium where a maximum of 9 stories is permitted. While an additional story is requested, the total height in feet remains comparable to a 9-story configuration that relies on double-stacking to achieve the same parking capacity (each level of double-stacked parking requiring a minimum clear height of 14'). By providing 10-stories, a more efficient parking layout is permitted. Moreover, providing a 17'-10" clear height at the ground level, paired with a dramatic 30'-2" entrance on NE 3<sup>rd</sup> Street, helps break up the streetwall, mitigating the podium's visual massing. Additionally, the proposed podium height remains compatible with the surrounding context, including with the adjacent 144'-0" Nola Lofts building and 114'-0" The Rise parking garage. Refer to the diagrams on Sheet AR-004.
- c. B-9, Upper levels of the parking podium need to be screened with exceptional architectural solutions especially given the deviation request for higher podium.  
**REV 1 Response:** The podium is now screened with a new 3D aluminum cladding design, incorporating various color effects, textures, and different levels of translucency. The intention behind this solution is to introduce a texture that alters the perception of the façade based on

shadows and sunlight conditions, providing an enhanced experience for pedestrians throughout the day. See updated renderings AR-801 to AR-806.

- d. B-20, Provide tower separation to the north and east properties. Applicant has not provided justification or demonstrated that the requested deviation meets design intent.

**REV 1 Response:** The project maintains a 30'-0" tower setback from the west property line adjacent to the City's TAM property and a 31'-4" separation from the property line abutting The Rise's property where The Rise tower is separated by an additional 28'-8" from the common property line. In instances where the proposed separation is less than 30', including a minimum 13'-3" at the west property line adjacent to the Nola Lofts' property and 10'-2" at the east property line adjacent to The Rise parking garage, the existing buildings are lower in height than the proposed 315 NE 3<sup>rd</sup> Street tower. It should also be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006

- e. B-22, Increase ground floor ceiling height in relation to overall building height. A minimum of 28 feet along NE 3<sup>rd</sup> Street should be provided.

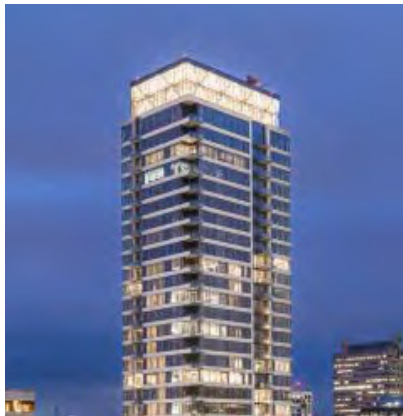
**REV 1 Response:** See updated sheet AR-203. A 30 feet ceiling height is provided.

#### Quality of Architecture

- a. Q-1, Provide skyline drama above last habitable floor. See images below.

**REV 1 Response:** The tower is shaped by two large "C"-shaped frames, within which the penthouse units and a rooftop bar with a surrounding terrace are located on the upper levels. These spaces, with their gold-toned materials, glass elements, elevated ceiling heights, and dynamic lighting effects, lend the tower an elegant character. This distinctive design creates a striking focal point, adding a dramatic presence to the skyline.

- b. Q-2, Provide expressive tower top design that adds to the overall skyline. In addition, the roof top screening of equipment should be enhanced and incorporated into the tower top design. See images below.



**REV 1 Response:** All the mechanical equipment are properly screened and integrated to the building design. See sheet AR-311.

11. Provide the following changes on site plan/floor plans:

- a. Indicate location of dedicated parking as required for Nola Lofts. This parking should be easily accessible and cannot be valet or stacked. Include the details in the site data table.

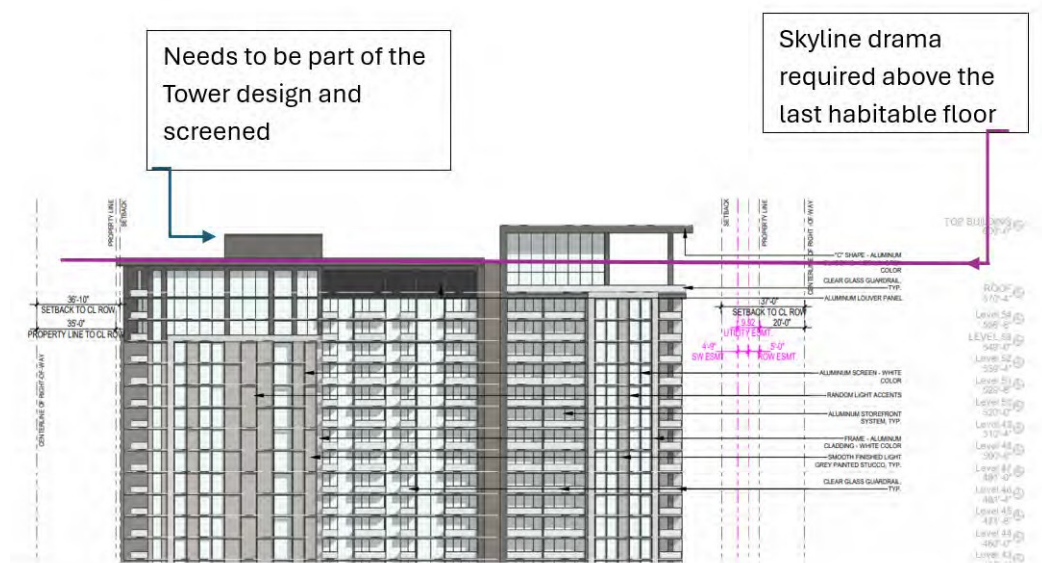
**REV 1 Response:** See on sheets AR-111 and AR-112 dedicated parking for Nola Lofts.

- b. The proposed tower floorplate should be reduced and shifted to align with adjacent existing buildings.

**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and Rise PRECEDED such character area



- c. Provide a minimum of 10-foot stepback along NW 3<sup>rd</sup> Street.  
**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and Rise PRECEDED such character area redesignation. According to the Character Areas Guidelines, Area 1 Downtown Core, Section 1A, a tower stepback is NOT required. It should also be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006
- d. The ramp access along NE 3<sup>rd</sup> Street should be reoriented to run perpendicular to the building.  
**REV 1 Response:** Considering the available space and the required height for the ramp, positioning it perpendicular to the building is not feasible
- e. Clarify the roof floorplan, habitable height is measured above the proposed units. The roof plan (AR-119) includes units. The roof plan should be shown above the habitable units.  
**REV 1 Response:** See added floor plan on sheet AR-119
- f. On sheet AR-116, clarify level 11.5 of the amenity deck.  
**REV 1 Response:** See the added double-height spaces on the 11.5 Mezzanine level.
- g. Habitable height should be measured to the top of the "roof top bar".



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## 12. Provide the following changes on elevations:

- a. Provide stepback along 3<sup>rd</sup>, minimum 10 feet from should of podium  
**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and Rise PRECEDED such character area redesignation. According to the Character Areas Guidelines, Area 1 Downtown Core, Section 1A, a tower stepback is NOT required. However, it should also be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006
- b. Tower along 2<sup>nd</sup> should be stepback to align with Nola Lofts and the Rise.  
**REV 1 Response:** On November 5, 2020, the City Commission approved the redesignation of the blocks north of NE 2<sup>nd</sup> Street up to NE 4<sup>th</sup> Street, which included the subject property, from Near Downtown to Downtown Core, finding that the redesignation was consistent with the emerging development patterns in Downtown. Both the Nola Lofts and Rise PRECEDED such character area redesignation. According to the Character Areas Guidelines, Area 1 Downtown Core, Section 1A, a tower stepback is NOT required. However, it should also be noted that Level 11 (amenity level) provides a break in massing by reducing the tower enclosure and providing a 32'-2" floor-to-floor height, creating a "void" that allows light and air to permeate through all sides and breaks up the tower massing. See new sheets AR-004/AR-005/AR-006
- c. Confirm the number of floors proposed, including the amenity level and parking podium.  
**REV 1 Response:** The project is proposing a total of 55 levels.
- d. The roof height should be shown above the habitable units.  
**REV 1 Response:** Roof Level has been updated. See sheet AR-116.
- e. Ensure spandrel glass needs to be frosted or including other glazing.  
**REV 1 Response:** Understood. Will take into consideration.

13. The ground level design and podium facing NE 3<sup>rd</sup> Street, as the primary street, should be enhanced and provide for a significant focal/arrival entry design with high-quality building material and have a relation to the tower design above. As previously stated, due to the size and scale of the overall project, the ground floor height should be increased to a minimum of 28 feet. This would result in a stronger building presence along the primary street. The following images are being provided as examples.

**REV 1 Response:** A higher floor-to-ceiling height has been provided at the 3rd Street main entrance, creating a more impactful access. Additionally, high-quality materials have been considered for the podium façade (see sheets AR-203/AR-204).

14. Provide a detailed roof plan depicting the proposed location of rooftop equipment with spot elevations of the equipment, parapet, and screening material. Provide a detailed, close-up elevation of the tower top design and include screening material product information to ensure adequate screening and ensure that the screening is an integral part of the tower top design.

**REV 1 Response:** See added sheet AR-311.

15. If a temporary construction is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative. If the temporary construction staging area will be proposed at another location, you will need to apply under section 47-19.2.GG, which is subject to City Commission call-up.

**REV 1 Response:** See new Sheet AR-501 – Preliminary Construction Staging Plan.

16. Pursuant to Section 47-13.20. E, Open Space, provide detailed information on open space in the site data consistent with ULDR requirements and provide a separate sheet in the site plan set for open space that depicts the various open space requirements. Staff recommends color coding the open space information to clearly identify what areas are being counted as open space.

**REV 1 Response:** See added sheet AR-002. The open space calculation has been detailed on a separate sheet.

17. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.

**REV 1 Response:** See added sheet AR-501

18. Park impact fees are assessed and collected at time of building permit application per each hotel room and each residential unit. Please provide total park impact fee amount due. For reference, an impact fee calculator can be found at:

<http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits/park-impact-fee-calculator>

**REV 1 Response:** The estimated Park Impact Fee is \$1,103,175.00, and will be calculated for final determination at time of building permit application.

19. Coordinate with the representative for Transportation and Mobility (TAM) Department regarding plans for addressing mobility within the area, necessary project mitigation, design coordination or NE 3<sup>rd</sup> Street, and whether the project is located along a planned bike network.

**DRC REV 1 Response:** Comments for the Traffic Study submitted on December 13, 2024 have not been provided as of the date of this REV 1 submittal after following up with City Traffic Engineering. Should there be any comments related to project mitigation matters, Applicant will review and address in a subsequent submittal.

20. In regard to physical, communication, and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained **prior to City Commission review**.

**REV 1 Response:** Refer to FAA Determination of No Hazard included with this REV 1 submission.

21. This project is subject to the requirements of the Downtown RAC Education Mitigation Agreement. The applicant will notify the School Board Superintendent or designee of the proposed project and provide the City with a written response from the School Board prior to final DRC approval. Provide a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements will be satisfied.

**REV 1 Response:** A Preliminary SCAD letter has been requested from the Broward County School Board and will be included with this a future resubmission upon receipt.

22. Staff reserves the right to provide additional comments based on applicant's revised plans and responses.

**REV 1 Response: Acknowledged.**

23. An additional follow-up coordination meeting may be needed to review project changes necessitated by the DRC comments.

**REV 1 Response: Acknowledged.**

#### **GENERAL COMMENTS**

The following comments are for informational purposes.

1. Please consider the following prior to submittal for Final Development Review Committee (DRC):

2. Provide a written response to all DRC comments within 120 days.

**REV 1 Response: Refer to responses above.**

3. Please be advised that pursuant to State Statute, Section 166.033, development permits which require a quasi-judicial or public hearing decision, must be completed within 180 days, unless an extension of time is mutually agreed upon between the City and the applicant.

**REV 1 Response: Acknowledged. Applicant will request an extension or waiver of time for the City's consideration should one be required.**

4. All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.

**REV 1 Response: Acknowledged.**

5. Additional comments may be forthcoming at the DRC meeting. Please provide a written response to all DRC comments.

**REV 1 Response: Acknowledged.**