

IMPROVEMENT COST PER PROGRAM APPLICATION

PROPERTY BUSINESS IMPROVEMENT PROGRAM (PBIP) ESTIMATE #2679		ESTIMATE
1	1300 DEMOLITION FAÇADE OF BUILDING	\$ 9,650
1	1300 DEMOLITION PHASE 1	\$ 26,040
1	1300 DEMOLITION PHASE 2	\$ 35,350
1	SHELL SUPPLY/CONSTRUCTION	\$ 276,322
6	DUMPSTER	\$ 4,500
1	MECHANICAL	\$ 113,362
1	PLUMBING	\$ 52,760
1	ELECTRICAL	\$ 142,400
1	6100 LANDSCAPE ALLOWANCE	\$ 35,000
1	4720 ROOF & CEILING INSULATION	\$ 48,962
1	3120 MATERIALS-WALL FRAMING	\$ 37,622
1	5010 DRY WALL MATERIALS	\$ 29,240
1	FINISH NEW DRY WALL	\$ 67,730
		\$ 878,938
	(CRA FUNDING LIMIT 90% or MAX \$225,000) CRA 25.6%	\$ 225,000
	DEVELOPER 74.4%	\$ 653,938

NON RESIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NFIP) ESTIMATE # 2678		ESTIMATE
1	WINDOWS	\$ 76,570.00
1	INSTALLATION	\$ 26,500
1	STUCCO	\$ 15,500
1	6300 EXTERIOR STRUCTURE	\$ 59,740
1	PAINT LABOR	\$ 3,500
1	4910 EXTERIOR PAINTING MATERIALS	\$ 4,760
1	SHELL SUPPLY/CONSTRUCTION	\$ 44,294
	FAÇADE TOTAL	\$ 230,864
	CRA FUNDING LIMIT 90% OR MAX \$125,000 CRA 54.1%	\$ 125,000
	DEVELOPER 45.9%	\$ 105,864

STREETSCAPE IMPROVEMENT PROGRAM (SEP) ESTIMATE #2680		ESTIMATE
1	1300 DEMOLITION	\$ 6,960
1	3400 CONCRETE FORMING	\$ 24,490
1	6100 LANDSCAPE REMOVAL	\$ 3,820
1	6100 LANDSCAPING	\$ 15,804
2	MISC: STREET LIGHTING POLES, SUPPLY AND INSTALL	\$ 6,550
4	DUMPSTER	\$ 3,000
	SEP TOTAL	\$ 60,624
	CRA FUNDING MAX 90% OR \$500,000 CRA 90%	\$ 54,562
	DEVELOPER 10%	\$ 6,062

OVERALL COST BREAKDOWN	
CRA FUNDING REQUEST	\$ 404,562
DEVELOPER CONTRIBUTION	\$ 765,864
CONTRACTOR QUOTE LESS OVERHEAD	\$ 1,170,426
DEVELOPER RESONSIBILTY OVERHEAD	\$ 234,085
DEVELOPER EXPENSES TO DATE	\$ 52,390

OVERALL PROJECT COST \$ **1,456,901**

Boundless Builders LLC
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 Pompano Beach, FL 33069 US
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 amasso@boundless-builders.com
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Estimate

ADDRESS	SHIP TO	ESTIMATE # 2709
Ross Parker	Ross Parker	DATE 01/27/2025
Call of Africa Realty Inc.	Call of Africa Realty Inc.	
920 NE 13 Street	920 NE 13 Street	
Fort Lauderdale, FL 33304 USA	Fort Lauderdale, FL 33304 USA	

QTY	ITEM	UNIT PRICE	AMOUNT
	PROPERTY AND BUSINESS IMPROVEMENT PROGRAM (PBIP)		
1	1300 Demolition and cutting of façade of building to be able to install new impact windows and new structural columns, beams and foundations.	9,650.00	9,650.00
1	1300 DEMOLITION of phase 1 of project which involves the rear part of the warehouse	26,040.00	26,040.00
1	1300 DEMOLITION of phase 2 of project which involves the front of the building including mezzanines and bathrooms	35,350.00	35,350.00
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, Structural lumber, rough carpentry, flatwork/hardscape as per plans (S1-S1.1-S1.2-S2-S2.1-S2.2-S3-S4-S5 except front side walk. The Shell work doesn't include the interior framing and drywall which are not part of the shell. This is assuming that ALL existing columns indicated on plans are EXISTING and that we will not have to redo the front walls of building due to difficulty to hold them after the concrete cuts.	276,322.00	276,322.00
6	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. ALLOWANCE	750.00	4,500.00
1	Mechanical Mechanical for warehouse as per plans (M-1.1, M-1.2, M-2, M-3, M-4 dated 11-12-22 Not including any demolition of existing equipment. These plans should have an updated date for construction. INCLUDES: MITSUBISHI MINI SPLIT 1 - MSZ-FS06NA-U1, 1 - MUZ-FS06NA-U1, 2 - MSZ-FS12NA-U1 1 - MXZ-3C24NA3-U1, 1 - MSZ-HM24NA-U1, 2 - MUZ-HM24NA-U2, 2 - MSZ-HM24NA-U1 MANUFACTURER WARRANTY TRANE SPLIT SYSTEMS: 2 - 4TTR6060N1000A, 2 - 4TTR6048N1000A, 1 - 4TTR6024N1000A, 2 - TEM8B0C60V51DA 2 - TEM8A0C48V41DC, 1 - TEM8A0B24V21DC 2 - BAYHTR1508BRKC, 2 - BAYHTR1505BRKC 1 - BAYHTR1504BRKC DUCTWORK: SINGLEWALL NO INSULATION METAL DUCT. CONNECTORS HANGERS, GRILLS, SEALER, ISOLATORS, RODS, STRAPS FAN SCHEDULE: EF-1 SP-B80, EF-2 AER-20-03-0605, EF-3 SP-B80 EF-4 AER-20-03-0605, EF-5 AER-20-03-0605, EF-6 SP-B80 PERMIT APPLICATIONS & INSPECTIONS ONE YEAR WARRANTY ON LABOR DURING NORMAL BUSINESS HOURS. OPENING, ROOF REPAIRS, WALL REPAIRS & TRASH DUMP BY OTHERS.	113,362.00	113,362.00
1	Plumbing Plumbing for warehouse as per plans (P-1.1, P-1.2, P-2, P-3, P-4 dated 11-12-22 Not including any relocation of exterior piping. These plans should have an updated date for construction. Not including any irrigation work. All work according to above plans inside the warehouse	52,760.00	52,760.00
1	Electrical Electrical for warehouse as per plans (E-1.1, E-1.2, E-2, E-3, E-4 dated 11-12-22 Not including any low voltage Lutron or other AV-Audio installations. These plans should have an updated date for construction.	142,400.00	142,400.00

QTY	ITEM	UNIT PRICE	AMOUNT
1	6100 LANDSCAPING ALLOWANCE. Landscaping must be discussed after all work is finish. there will be a lot of earth movement around the building and damage to existing (to remain) trees and shrubs.	35,000.00	35,000.00
1	4720 Roof and Ceiling Insulation with Icynene R19 coverage of approximately 11584 sf and batt insulation for walls between store fronts and some internal walls and ceilings below mezzanine.	48,962.00	48,962.00
1	3120 Materials - Wall Framing	37,622.00	37,622.00
1	5010 Drywall Material	29,240.00	29,240.00
1	Finish Finish new drywall and other existing walls/ceilings were repairs needs to be done. This doesn't include refinishing of the whole house, only the new areas and repairs. Probably will need whole house smooth finish. Will walk through when ready for finishing.	67,730.00	67,730.00
	STREETSCAPE ENHANCEMENT PROGRAM (SEP)		
1	1300 DEMOLITION of existing side walk	6,960.00	6,960.00
1	3400 CONCRETE Forming of front sidewalk and finish new side walk frontage according to plans.	24,490.00	24,490.00
1	6100 LANDSCAPING REMOVAL. removal of existing trees that broke the existing side walk. Stomp grinding of it and disposal at dumpsters	3,820.00	3,820.00
1	6100 LANDSCAPING for front of building and side walk trees (4) Silvester Palm Trees 15' H	15,804.00	15,804.00
2	Misc Street Lighting Poles. Supply and install lighting poles with lamps similar to the ones down the street	3,275.00	6,550.00
4	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. Allowance	750.00	3,000.00
	NON RESIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NRFIP)		
1	Windows Supply impact windows and doors for front façade manufactured in compliance with Miami Dade County Hurricane Codes with its approved NOA's and according to description on plan A9 Installation will be quoted separately (below)	76,570.00	76,570.00
1	Installation Installation of the above described hurricane impact windows and doors.	26,500.00	26,500.00
1	Stucco Apply stucco on whole front of warehouse, on two sides where new windows are located and where we covered previous openings. Can't guarantee perfect match between old and new stucco, will try the best possible match.	15,500.00	15,500.00
1	Services EXTERIOR STRUCTURES. Trellis in aluminum for all 4 store fronts, west and east sides of the store fronts, includes fabrication and installation	59,740.00	59,740.00
1	PAINT Labor to Apply 2 hands of professional primer and 2 hands of professional painting on the façade area	3,500.00	3,500.00
1	4910 Exterior Painting Material	4,760.00	4,760.00
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, rough carpentry, flatwork/hardscape for façade. Rebuild structural wall for all façade new 4 retail spaces with poured concrete columns and beams.	44,294.00	44,294.00
0.20	OVERHD-PROFIT Overhead and Profit from the purchasing, management and coordination of General Contractor 20% including estimates 2678-2679 & 2680 Totals	1,170,426.00	234,085.20
1	General:Unforeseen Conditions PLEASE NOTE: that in several projects what is called "Unforeseen Conditions" may happen and it's simply unanticipated or unexpected circumstance(s) or situation(s) that affects the final price and/or completion time of a contract or project. Everything will be discussed with client prior to addressing the issue unless it was determined urgency to solve. Services and materials will be charged accordingly.	0.00	0.00
TOTAL			\$1,404,511.20

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Estimate

ADDRESS	SHIP TO	ESTIMATE # 2679
Ross Parker	Ross Parker	DATE 04/01/2024
Call of Africa Realty Inc.	Call of Africa Realty Inc.	
920 NE 13 Street	920 NE 13 Street	
Fort Lauderdale, FL 33304 USA	Fort Lauderdale, FL 33304 USA	

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TOTAL

\$878,938.00

Accepted By

Accepted Date

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Estimate

ADDRESS

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 920 NE 13 Street
 Fort Lauderdale, FL 33304 USA

SHIP TO

Ross Parker
 Call of Africa Realty Inc.
 920 NE 13 Street
 Fort Lauderdale, FL 33304
 USA

ESTIMATE # 2678

DATE 03/18/2024

QTY	ITEM	UNIT PRICE	AMOUNT
	NON RESIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NRFIP)		
1	Windows Supply impact windows and doors for front façade manufactured in compliance with Miami Dade County Hurricane Codes with its approved NOA's and according to description on plan A9 Installation will be quoted separately (below)	76,570.00	76,570.00
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TOTAL			\$230,864.00

Accepted By

Accepted Date

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 Pompano Beach, FL 33069 US
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 amasso@boundless-builders.com
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Estimate

ADDRESS

Ross Parker
 Call of Africa Realty Inc.
 920 NE 13 Street
 Fort Lauderdale, FL 33304 USA

SHIP TO

Ross Parker
 Call of Africa Realty Inc.
 920 NE 13 Street
 Fort Lauderdale, FL 33304
 USA

ESTIMATE # 2680

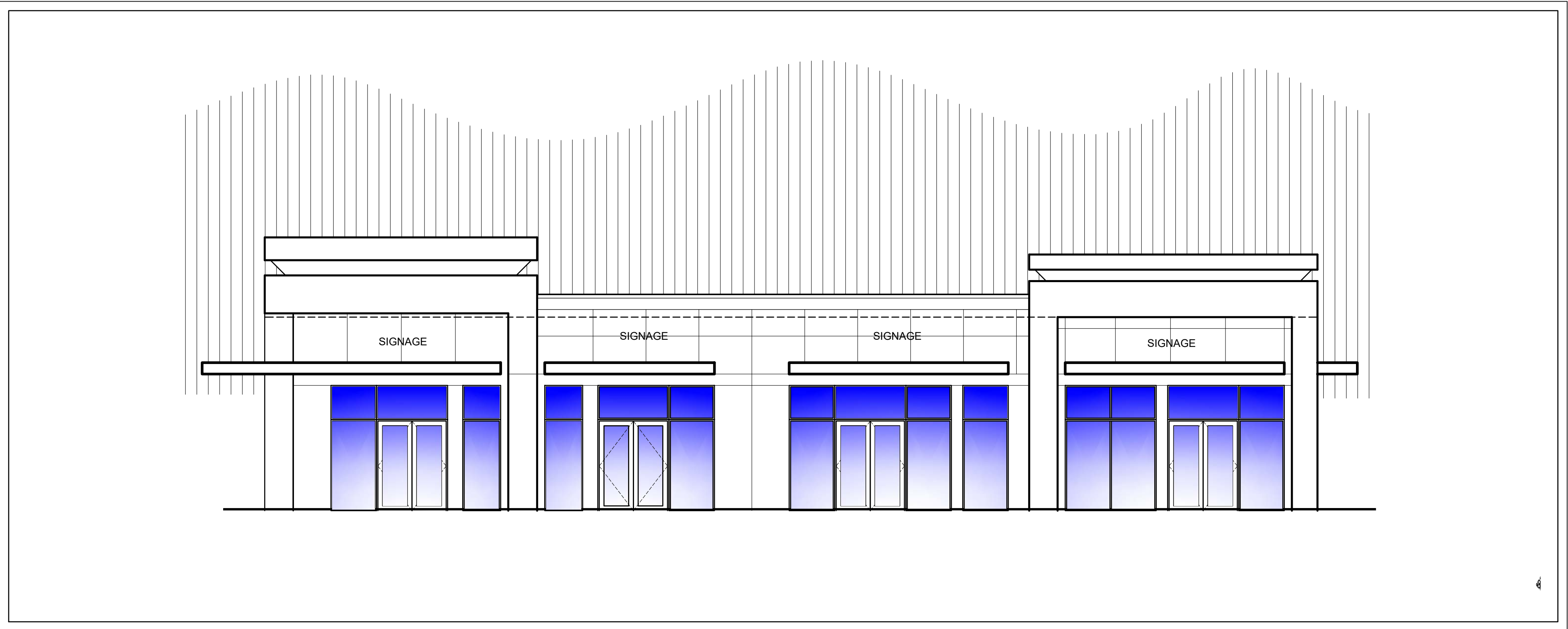
DATE 04/01/2024


QTY	ITEM	UNIT PRICE	AMOUNT
	STREETSCAPE ENHANCEMENT PROGRAM (SEP)		
1	1300 DEMOLITION of existing side walk	6,960.00	6,960.00
1	3400 CONCRETE Forming of front sidewalk and finish new side walk frontage according to plans.	24,490.00	24,490.00
1	6100 LANDSCAPING REMOVAL. removal of existing trees that broke the existing side walk. Stomp grinding of it and disposal at	3,820.00	3,820.00
1	6100 LANDSCAPING for front of building and side walk trees (4) Silvester Palm Trees 15' H	15,804.00	15,804.00
2	Misc Street Lighting Poles. Supply and install lighting poles with lamps similar to the ones down the street	3,275.00	6,550.00
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TOTAL			\$60,624.00

Accepted By

Accepted Date

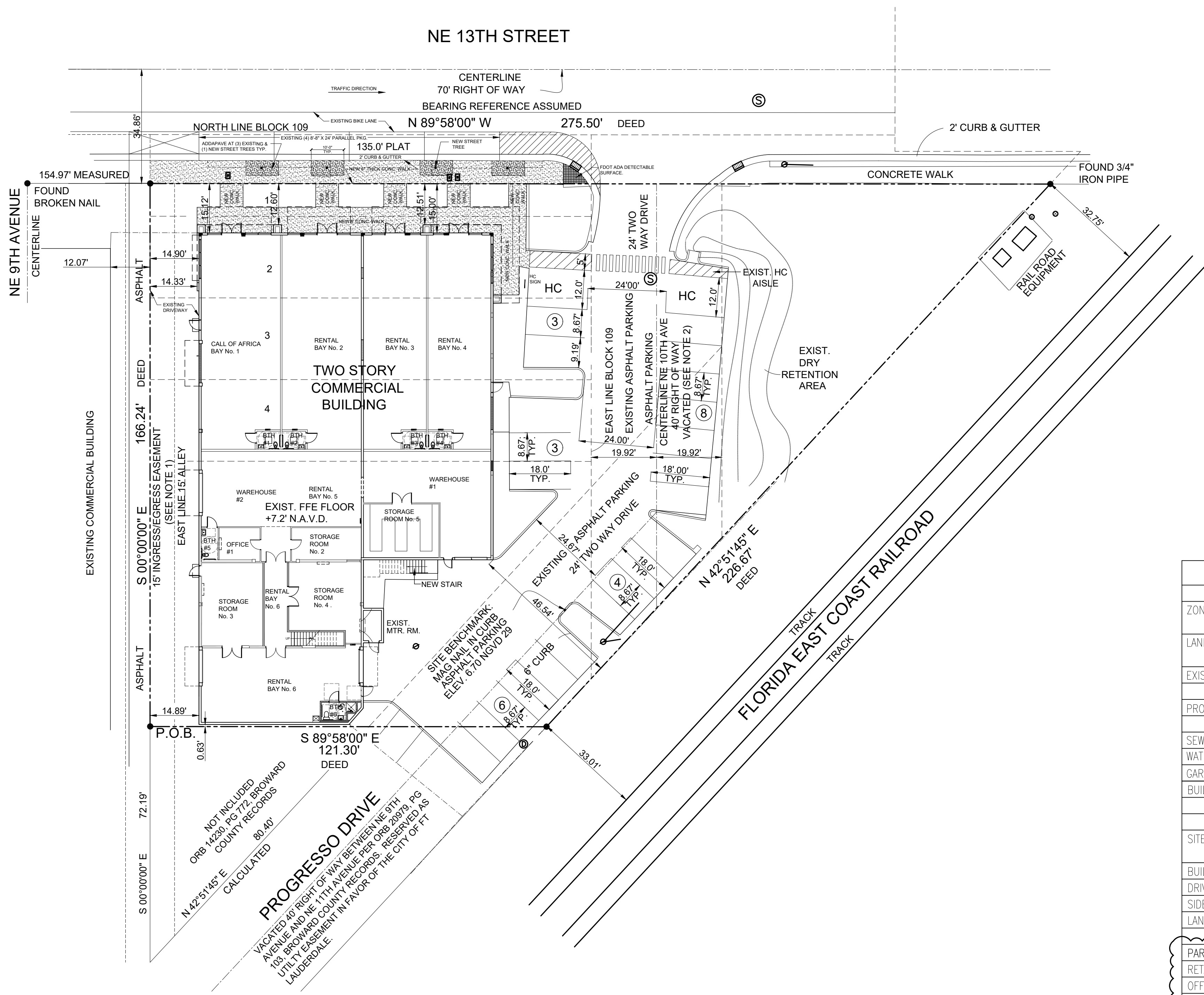
REMODELING FOR:
CALL OF AFRICA
920 N.E. 13th Street
FORT LAUDERDALE, FLORIDA



PROJECT TEAM				
ARCHITECT:	STRUCTURAL ENGINEER:	MECHANICAL ENGINEER:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
<div><p>GUSTAVO J. CARBONELL, P.A. Architect and Planner Member American Institute of Architects 1457 N.E. 4th AVE. Phone: (954) 462-6565 Ft. Lauderdale, Florida 33304 Fax: (954) 527-0857 E-Mail: gcarbonell@gjcarbonell.com AR 0007957</p></div>	<div><p>FARID PROJECT CLASSIC Structural Engineers 5968 N.W. 77 Terrace Phone: (954) 667-7803 Parkland, Florida 33067 PE 72471</p></div>	<div><p>BACH DESIGN ENGINEERS 5130 N. Federal Hwy Suite #1 Phone: (954) 533-5174 Fort Lauderdale, Florida 33308 bach@bachengineers.com PE 69753</p></div>	<div><p>JOHN B. SMITH ENGINEERS, INC. 1457 NE 4th Avenue FOT LAUDERDALE, FLORIDA 33304 PHONE: (954) 763-4177 PE 31177</p></div>	<div><p>KIM MOYER, R.L.A. LANDSCAPE ARCHITECTURE 4808 NE 16 AVENUE OAKLAND PARK, FLORIDA 33334 (954) 592-3695 Lic. No. #L0000952</p></div>

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LANDSCAPING L-1 LANDSCAPE PLAN, TYP. DETAILS & NOTES
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COV-1



LEGAL DESCRIPTION:

A PORTION OF BLOCK 109 AND ADJOINING LANDS LYING EAST OF BLOCK 109, "PROGRESSO", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

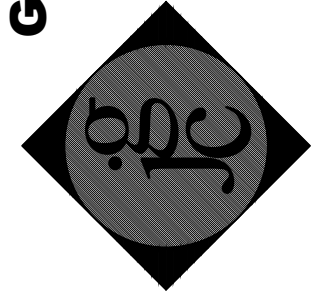
COMMENCE AT THE MOST SOUTHERLY CORNER OF SAID BLOCK 109, A DISTANCE OF 198.46 FEET TO A POINT ON THE CENTERLINE OF A 15 FOOT ALLEY AS SHOWN ON SAID PLAT, AND AS VACATED BY BROWARD COUNTY ORDINANCE NUMBER C-86101, THENCE NORTH ALONG SAID CENTERLINE A DISTANCE OF 72.19 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH ALONG SAID ALLEY CENTERLINE A DISTANCE OF 166.24 FEET TO A POINT 15 FEET SOUTH OF THE NORTH LINE OF SAID BLOCK 109; ALSO BEING THE SOUTH RIGHT OF WAY LINE OF NE 13TH STREET; THENCE S89°58'00"E ALONG A LINE 15 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID BLOCK 109 AND ALSO BEING THE SOUTH RIGHT OF WAY OF NE 13TH STREET, A DISTANCE OF 275.50 FEET TO A POINT ON THE NORTH WESTERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILROAD AS SHOWN ON SAID PLAT; THENCE S42°51'45"W ALONG SAID FLORIDA EAST COAST RAILROAD RIGHT OF WAY A DISTANCE OF 226.67 FEET TO A POINT 166.00 FEET SOUTH OF THE SOUTH RIGHT OF WAY LINE OF NE 13TH STREET; THENCE N89°58'00"W ALONG A LINE 166.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH RIGHT OF WAY LINE OF NE 13TH STREET, A DISTANCE OF 121.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA CONTAINING 32,982 SQUARE FEET, MORE OR LESS.

SITE DATA				
DESCRIPTION	ABBREVIATED LEGAL DESCRIPTION			
ZONING:	B-3 - HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS	PROGRESSO 2-18 D & PT 35-49-42 POR BLK 109 & ADJ LANDS LYING ELY OF BLK 109 DESC AS: COMM ATMOST SLY COR BLK 109, NE 198.46 TO C/L OF VAC ALLEY (PER OR 13946/98),N ALG C/L 72.19 TO POB CONT N 166.24, E 275.50 TO NWLY R/W/L FEC RR,SW 226.67, W 121.30 TO POB,TOG W/ VAC'D PORTIONS AS DESC IN OR 28463/468,ALSO PT OF VACA R/W DESC AS:COMM MOST SLY COR OF SAID BLK 109,NE 296.92 TO POB, E 54.67,SW 37.16,NW 40.10 TO POB		
LAND USE:	B-3 - HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS			
EXISTING USE:	HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS			
PROPOSED USE:	RETAIL, OFFICE, WAREHOUSE			
SEWER PROVIDER:	CITY OF FORT LAUDERDALE	TAX FOLIO NUMBER		
WATER PROVIDER:	CITY OF FORT LAUDERDALE	494234030570		
GARBAGE PROVIDER:	CITY OF FORT LAUDERDALE	PERMITTED	PROVIDED	
BUILDING HEIGHT		150'-0"	24'-0"	
DESCRIPTION	FACTOR	PERMITTED	PROVIDED	% OF SITE
SITE AREA	32,982 SF		32,982 S.F. OR .76 ACRES	100%
BUILDING FOOTPRINT	11,584 SF		11,584 S.F.	35.12%
DRIVEWAYS V.U.A.			9,798 S.F.	29.70%
SIDEWALKS			1,190 S.F.	3.61%
LANDSCAPED AREA			10,410 S.F.	38.23%
PARKING		REQUIRED	PROVIDED	
RETAIL	5,874 S.F. @ 1/250 S.F.	24 SPACES		
OFFICE	723 S.F. @ 1/250 S.F.	3 SPACES		
WAREHOUSE	6,465 S.F. @ 1/250 S.F.	26 SPACES		
TOTAL PARKING		53 SPACES	28 SPACES	
SETBACKS		PERMITTED	PROVIDED	
FRONT - NORTH		5.00 FT	15.0 FT	
SIDE - EAST		0 FT	46.54 FT	
SIDE - WEST		0 FT	14.32 FT	
REAR - SOUTH		0 FT.	0.63 FT.	

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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

AA26001131

DRAWN **DBK**
CHECKED **G.J.C.**
DATE **11-12-22**
SCALE
JOB. NO. **22-053**
SHEET

SP-1

OF SHEETS

CAM #25-0081
Exhibit 3
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ABBREVIATIONS:

& L @ ⊙ ⊕ # (E)	AND ANGLE AT CENTER LINE DIAMETER OR ROUND POUND OR NUMBER EXISTING	A	L
ACOUST. A.D. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	B	
BD. BITUM. BLDG. BLK. BM. BOTT.	BOARD BITUMINOUS BUILDING BLOCK BEAM BOTTOM	C	
CAB. C.B. CEM. CER. C.I. CLNG. CLKG. CLO. CLR. C.O. COL. CONC. CONN. CONSTR. CNT. CORR. CTS.K. CNTR. CTR.	CABINET CATCH BASIN CEMENT CERAMIC CAST IRON CEILING CALKING CLOSET CLEAR CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER		N O P D
D. DBL. DEPT. D.F. DET. DIA. DIM. DISP. DWN. D.O. DR. DRW. DS. D.S.P. DWG.	DEEP DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWNSPOUT DRY STANDPIPE DRAWING		Q R E
E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.W.C. EXIST. EXPO. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL EQUAL EQUIPMENT ELECTRICAL WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR		S F
F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FFRF. F.S. FT. FTG. FLURR. FUT.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE		T G
GA. CALV. G.B. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GLASS GROUND GRADE GYPSUM GYPSUM WALL BOARD		U H
H. H.B. H.C. HDWD. HDWRE. H.M. HORIZ. HVR. HT.	HIGH HOSE BIBB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT		V W I
I.D. INSUL. INT.	INSIDE DIAMETER INSULATION INTERIOR		J
JAN. JT.	JANITOR JOINT		K
KIT.	KITCHEN		

1 ABBREVIATIONS

SCALE:

- THE WORK OF THIS PROJECT WILL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR AND IS TO BE PERFORMED BY SEVERAL VARIOUS CONTRACTORS TO WHOM THE GENERAL CONTRACTOR MAY ALLOCATE THE VARIOUS PARTS AS WILL BEST SUIT HIS INTERESTS AND AS WILL BE SET FORTH IN THE AGREEMENTS TO BE MADE BETWEEN THE GENERAL CONTRACTOR AND PARTIES DESIGNATED BY HIM.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR THE SUPERVISION OR THE ADMINISTRATION OF THE EXECUTION OF WORK OF THIS PROJECT.
- THE DRAWINGS AND THE NOTATIONS THEREON SHALL APPLY TO THE WORK OF THIS PROJECT AND SHALL BE CAREFULLY REVIEWED BY EACH CONTRACTOR AND EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OF OTHER CONTRACTORS. THE GENERAL NOTES SHALL APPLY TO EACH CONTRACTOR.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR SAFETY PRECAUTIONS AND SHALL COMPLY WITH THE REQUIREMENTS OF O.S.H.A. ALL APPLICABLE BUILDING CODES AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION INsofar AS APPLICABLE TO HIS PORTION OF THE WORK.
- ALL MATERIALS SHALL BE NEW AS CALLED FOR IN THE NOTES AND DRAWINGS AND THE BEST OF THEIR RESPECTIVE KINDS. NO SUBSTITUTIONS SHALL BE MADE BY CONTRACTORS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE GENERAL CONTRACTOR. SUBSTITUTIONS OR "APPROVED EQUAL" PRODUCTS SHALL BE LISTED AND APPROVED BY THE ARCHITECT PRIOR TO CONTRACT SIGNING. ALL MATERIALS SHALL BE ORDERED IN A TIMELY FASHION AND WILL NOT CONSTITUTE REASON FOR SUBSTITUTION. DELAYS FOR MATERIALS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL, BUT WHICH ARE SHOWN GENERALLY OR ARE REASONABLY INFERRABLE AS BEING REQUIRED FOR A PROPER AND COMPLETE INSTALLATION. THE MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM AS A MINIMUM TO THE TYPICAL OR REPRESENTATIVE DETAIL THROUGHOUT CORRESPONDING PARTS OF THE BUILDING.
- THE GENERAL CONTRACTOR WILL FURNISH TO THE JOB SITE CERTAIN PLUMBING FIXTURES AND FITTINGS, BATHROOM ACCESSORIES. THESE SHALL BE INSTALLED BY THE CONTRACTOR SO DESIGNATED AND BE INCORPORATED INTO THE VARIOUS SYSTEMS IN ACCORDANCE WITH THE REQUIREMENTS OF THE BEST TRADE PRACTICES, AND RELEVANT CODE REQUIREMENTS.
- EACH CONTRACTOR OR PARTY ENGAGED ON THE PROJECT SHALL CARRY WORKER'S COMPENSATION INSURANCE IN STATUTORY AMOUNTS, LIABILITY, BODILY INJURY, AUTOMOBILE, AND OTHER INSURANCES IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. CERTIFICATIONS OF INSURANCE SHALL BE SUBMITTED BEFORE COMMENCING WORK. FIRE INSURANCE WILL BE CARRIED BY THE GENERAL CONTRACTOR, TO THE FULLEST EXTENT PERMITTED BY LAW. CONTRACTORS, SUBCONTRACTORS, AND ALL PARTIES ENGAGED IN PORTIONS OF THE WORK SHALL INDEMNIFY AND HOLD HARMLESS THE GENERAL CONTRACTOR AND ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, INCLUDING DEATH, AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- EACH CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED FOR HIS PORTION OF WORK.
- ARRANGEMENTS AND PAYMENT FOR TEMPORARY ELECTRICITY WATER TOILET FACILITIES, FENCING, BARRICADES, SECURITY AND CLEANUP WILL BE AS AGREED UPON IN THE AGREEMENTS BETWEEN GENERAL CONTRACTOR AND CONTRACTOR.
- EQUIPMENT AND DEVICES OF A TEMPORARY NATURE REQUIRED FOR THE CONSTRUCTION PROCESS AND FOR THE PROTECTION OF THE WORKERS ENGAGED ON THE PROJECT AND FOR THE PUBLIC, (SCAFFOLDS, STAGING, PLATFORMS, RUNWAYS, HOISTS, GUARDS, RAILINGS, OPENING PROTECTIVE, ETC.) SHALL BE PROVIDED, ERECTED, AND MAINTAINED BY THE VARIOUS CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTORS SHALL OBTAIN AND PAY FOR THE REQUISITE PERMITS, INSPECTIONS, AND APPROVALS THEREOF. ALL SUCH ITEMS SHALL BE REMOVED BY CONTRACTORS WHEN ITEMS HAVE SERVED THEIR PURPOSE AND WHEN DIRECTED BY THE GENERAL CONTRACTOR.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTORS, AND SHALL NOT DO SO WITHOUT THE PRIOR WRITTEN CONSENT OF THE GENERAL CONTRACTOR ANY COSTS CAUSED BY DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFOR.
- SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH AS WILL PREVENT HIM FROM COMPLETING HIS WORK IN A FIRST-CLASS MANNER HE SHALL NOTIFY THE GENERAL CONTRACTOR OF SUCH BEFORE PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE.
- CONTRACTORS SHALL SUBMIT SAMPLES, MATERIAL LISTS, EQUIPMENT LISTS, AND SHOP DRAWINGS AS CALLED FOR IN THE DRAWINGS AND INCLUDING BUT NOT LIMITED TO: CONCRETE REINFORCEMENT, FORMWORK, POST-TENSIONED WORK, WOOD TRUSSES, STAIRS, STAIR ANCHORAGES, RAILINGS, WOOD FENCES, WINDOWS, ALUMINUM AND GLASS SLIDING DOORS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, APPLIANCES, STAINS AND PAINTS AND CABINETRY. THESE ITEMS SHALL BE SUBMITTED SUFFICIENTLY IN ADVANCE TO THE GENERAL CONTRACTOR FOR APPROVAL TO ALLOW FOR REVIEW AND POSSIBLE CORRECTION. FABRICATION SHALL NOT START UNTIL SHOP DRAWINGS ARE APPROVED. COMPLETED WORK SHALL BE IN ACCORDANCE WITH THE APPROVED DOCUMENTS. WHERE REVIEWED AND APPROVED BY THE ARCHITECT AND OR ENGINEER IN BEHALF OF THE GENERAL CONTRACTOR SUCH REVIEW AND APPROVAL WILL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR QUANTITY, FIT, DIMENSIONS, MEANS, SEQUENCES, METHODS, AND PROCEDURES, NOR FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE DRAWINGS AND AGREEMENTS.
- PLUMBING, AIR-CONDITIONING, AND ELECTRICAL WORK SHALL BE INSTALLED IN BEST TRADE PRACTICES, IN ACCORDANCE WITH APPLICABLE CODES, AND AS SHOWN ON RELEVANT DRAWINGS, AND THE ARCHITECTURAL DRAWINGS.
- DRYWALL WORK SHALL INCLUDE THE FURNISHINGS & INSTALLING OF GALVANIZED STEEL RUNNERS, STUDS, ACOUSTICAL SEALANT, PRODUCTS OF U.S. GYPSUM OR EQUAL AND THE SURFACING OF INTERIORS OF EXTERIOR MASONRY WALLS ON WOOD FURRING. THE INTERIOR OF WOOD EXTERIOR WALLS, AND INTERIOR PARTITIONS AND CEILINGS. DRYWALL SHALL BE U.S. GYPSUM OR EQUAL (STANDARD, FIRE-CODE OR MOISTURE RESISTANT AS REQ'D. BY CONDITIONS SHOWN), OF THICKNESSES SHOWN, HAVING TAPERED EDGES, APPLIED WITH LENGTHS VERTICAL WHERE REQUIRED FOR FIRE RATING. PROVIDE BLOCKING FOR WALL-MOUNT CABINETS PRIOR TO INSTALLING WALLBOARD JOINTS SHALL BE TAPED AND SPARKLED USING TECHNIQUES & MATERIALS RECOMMENDED AND PRODUCED BY U.S. GYPSUM AFTER COMPLETION OF SPARKLING. APPLY BY SPRAY OR ROLLER TO ALL WALLBOARD SURFACES A COAT OF JOINT COMPOUND ORANGE PEAL COAT, SMOOTH OR KNOCK DOWN TEXTURED AS INDICATED ON PLANS.
- ALL FINISHES SHALL BE SELECTED BY OWNER AND/OR ARCHITECT, UNLESS OTHERWISE PROVIDED IN AGREEMENT.
- CAULKING SHALL BE BY TREMCO OR EQUAL SILICON-TYPE PRODUCT AND SHALL BE APPLIED AT ALL JUNCTIONS OF WALL AND WINDOW AND DOOR FRAMES WITH ABUTTING WALL SURFACES TO PROVIDE A WEATHERTIGHT WATER-RESISTANT INSTALLATION.
- INTERIOR PAINTED GYP. WALL BD. SURFACES SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS OF WALL PAINT AS SELECTED AND APPROVED BY OWNER. INTERIOR WOOD TRIM AND DOORS SHALL RECEIVE ONE COAT ENAMEL UNDERCOAT AND FINISH COAT OF SEMI-GLOSS ENAMEL. INTERIOR AND EXTERIOR FERROUS METAL EXPOSED TO VIEW SHALL RECEIVE TWO COATS RUST-INHIBITIVE PAINT. ALL PAINT TO BE PRODUCTS OF SHERWIN WILLIAMS, BENJAMIN MOORE OR EQUAL. EXTERIOR STUCCO SHALL RECEIVE TWO COATS PAINT. COLOR AS SELECTED BY OWNER OR ARCHITECT.

2 GENERAL JOB NOTES

SCALE:

- DIMENSIONING RULES:
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD, AND DOES NOT INCLUDE FINISH MATERIALS, UNLESS OTHERWISE NOTED.
 - DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE PRECISELY MAINTAINED. THOSE NOTED "HOLD" SHALL NOT VARY FROM STATED DIMENSION.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED ±.
 - DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF THE EXTERIOR WINDOW FRAMES, UNLESS OTHERWISE NOTED.
 - VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS. IF ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CONSENT OF THE ARCHITECT.
 - DIMENSIONS MARKED V.I.F. SHALL BE "VERIFIED" IN FIELD BY THE CONTRACTOR.
- IN THE CASE OF CONFLICT BETWEEN WRITTEN NOTES/SPECIFICATIONS AND THE DRAWINGS, THE NOTES/SPECIFICATIONS GOVERN. DETAILS SHALL GOVERN GENERAL DRAWINGS. DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE. ANY WORK AND MATERIALS SHOWN ON EITHER SHALL BE EXECUTED BY THE CONTRACTOR. ANY UNRESOLVED CONFLICT BETWEEN DOCUMENTS SHALL BE RESOLVED BY THE ARCHITECT AS TO INTENT AND EXECUTION.
- THE WORK TO BE PERFORMED CONSIST OF FURNISHING ALL SUPERVISION, PLANT LABOR, MATERIALS, TRANSPORTATION AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN, AND EQUIPMENT REQUIRED FOR THE BUILD OUT OF THE TENANT IMPROVEMENTS DEPICTED HEREIN. IN ADDITION, THIS INCLUDES THE CONCEALED REROUTING OF ANY PIPING, WIRING, DUCTING, ETC., IN THE WALLS, CEILING OR FLOORS BEING WORKED IN OR REMOVED AND WORK NOT SHOWN HEREIN WHICH IS REQUIRED BY THE CITY AUTHORITIES TO OBTAIN FINAL INSPECTION AND APPROVAL BY THE CITY, ALSO INCLUDING PATCHING, REPAINTING, ETC., OF ALL SURFACES BROKEN INTO OR MARRED BY THESE INSTALLATIONS, ETC.
- WHEN PORTIONS OF THIS PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR, RATHER THAN THE ARCHITECT, IS SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS WHO SHALL BE ENGINEERS OF RECORD FOR SUCH SYSTEMS.
- DRAWINGS INDICATE GENERAL DETAILS OF CONSTRUCTION. WHERE FIELD CONDITIONS ARE NOT IDENTICAL TO THE CONTRACT DOCUMENTS, BUT ARE OF SIMILAR CHARACTER TO THE DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY ARCHITECT PRIOR TO CONSTRUCTION. WHERE CONSTRUCTION DETAILS ARE SHOWN FOR SPREAD LOCATIONS, THEY SHALL ALSO APPLY TO SIMILAR CONDITIONS THROUGHOUT, WHETHER SPECIFICALLY MENTIONED IN THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL EXAMINE, READ, AND BE THOROUGHLY FAMILIAR WITH THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, OR SHOULD BE IN DOUBT AS TO THEIR INTENT OR MEANING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR AND EVALUATE EXISTING CONDITIONS RELATING TO THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO FURNISH EQUIPMENT, MATERIALS, LABOR, AND SERVICES AS NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT.
- INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- MAINTAIN STRICT CONTROL OF DUST AND DEBRIS EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA BROOM CLEAN AND CLEAR OF DEBRIS DAILY. AT ALL TIMES CONDUCT OPERATIONS AS TO DISRUPT THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC. COMPLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY. SCHEDULE AND PERFORM THE WORK SO THAT OTHER TENANTS IN THE BUILDING WILL NOT BE DISTURBED, DAMAGE TO EXISTING WORK OUTSIDE OF THE PROJECT AREA WILL NOT OCCUR, AND TO COMPLY WITH THE BUILDING OWNER'S REQUIREMENTS.
- PROTECT AND KEEP SAFE ALL PRODUCTS UNDER THIS CONTRACT THAT ARE STORED ON THE SITE.
- COORDINATE ACCESS TO BUILDING WITH AND PROVIDE FOR BUILDING SECURITY AS REQUIRED. PROVIDE ADEQUATE PROTECTION OF EXISTING AREAS; UTILIZE TEMPORARY ENCLOSURES AS NECESSARY.
- SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS, UNLESS OTHERWISE APPROVED BY THE BUILDING OWNER/LANDLORD.
- COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED.
- OBTAIN FIELD MEASUREMENTS REQUIRED FOR THE ACCURATE FABRICATION AND INSTALLATION OF THE WORK INCLUDED IN THIS CONTRACT. VERIFY IN THE FIELD DIMENSIONS INDICATED IN THE CONTRACT DOCUMENTS. EXACT MEASUREMENTS ARE THE CONTRACTOR'S RESPONSIBILITY. NO ADDITIONAL COSTS WILL BE PAID TO THE CONTRACTOR DUE TO REASONABLE MODIFICATIONS CAUSED BY DISCREPANCIES.
- THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE, AND SHALL DIRECT AND SCHEDULE THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, CODE COMPLIANCE, INTERFACE, AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.
- PERFORM CUTTING AND PATCHING AS REQUIRED TO CONSTRUCT AND COMPLETE WORK OF THIS PROJECT. CUTTING OF STRUCTURAL MEMBERS REQUIRES PRIOR APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- ITEMS OF EQUIPMENT, FIXTURES, AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR COMPLETION OF THE WORK, SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE BUILDING.
- CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS FOR WINDOWS AND DOORS PRIOR TO ORDERING PRODUCTS TO ENSURE PROPER SIZE AND FIT.
- AT END OF JOB CLEAN ALL SURFACES EXPOSED TO VIEW. REMOVE TEMPORARY LABELS, STAINS AND FOREIGN MATERIALS. POLISH TRANSPARENT AND GLOSSY SURFACES. VACUUM CARPETED AND SOFT SURFACES.
- PRIOR TO APPLICATION FOR FINAL PAYMENT SUBMIT TO ARCHITECT COPIES OF AS-BUILTS FOR ALL TRADES, ALL WARRANTIES (1 YEAR MIN.), OPERATIONS MANUALS, MAINTENANCE INSTRUCTIONS, CERTIFICATE OF OCCUPANCY (OR EQUIVALENT DOCUMENT ISSUED BY GOVERNING AGENCY) COPIES OF ALL SIGNED-OFF PERMITS AND INSPECTIONS, ETC.
- PRIOR TO MOVE-IN CONTRACTOR TO HOLD COMMISSIONING MEETING WITH TENANT AND OWNER'S REPRESENTATIVES TO REVIEW OPERATION PROCEDURES FOR ALL BUILDING SYSTEMS INSTALLED.
- NEW WALLS, CEILINGS, AND FLOORS INTERSECTING EXISTING WALLS, CEILINGS, AND FLOORS SHALL BE FLUSH, CLEAN AND LEVEL. ALL TIE-INS SHALL BE ADEQUATELY SECURE FOR STRUCTURAL INTEGRITY AND SAFETY.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	INTERIOR ELEVATION MARK (SINGLE VIEW)		NORTH ARROW
	INTERIOR ELEVATION MARK (MULTIPLE VIEWS)		CEILING HEIGHT
	BUILDING / WALL SECTION MARK		KEYED NOTE
	COLUMN GRID LINE		ELEVATION DATUM
	DETAIL OR ENLARGED AREA INDICATOR		REVISION IDENTIFICATION
	DOOR TAG WINDOW TAG		CONTRACT LIMIT LINE FINISH TAG
	ROOM TAG		
	WALL / PARTITION TYPE		

3 SYMBOL LEGEND

SCALE:

BUILDING DATA

TYPE OF CONSTRUCTION: _____ TYPE III-B NON-SPRINKLERED
OCCUPANCY GROUP: _____ GROUP B/M/S-1/F-1
No. OF STORIES: _____ 2
PROPOSED USE: _____ STORAGE WAREHOUSE, OFFICES AND RETAIL ENCLOSURES AS NECESSARY.

DESIGN PER:
2020 F.B.C. - BUILDING AND RESIDENTIAL - 7TH EDITION
ASCE 7-10 170 MPH WIND
2020 F.F.P.C. - 7TH EDITION
BUILDING AREA:
TOTAL BUILDING AREA (AFTER REMODELING) = 12,612 SQ. FT. (GROSS)

ALLOWABLE BUILDING HEIGHT & AREA:

GROUP B WITH A TYPE III-B CONSTRUCTION, NON-SPRINKLERED
B = 55' HIGH, 3 STORIES, 19,000 SQ. FT. MAX. FLOOR AREA AS PER TABLES 504.3, 504.4 AND 506.2 OF THE 2020 F.B.C.-BUILDING.

TYPE III-A FIRE-RESISTANCE RATING REQUIREMENTS:

AS PER TABLE 601 OF THE 2020 F.B.C.-BUILDING

	REQ'D FIRE RATING/HR.	PROVIDED FIRE RATING/HR.
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	0	0
BEARING WALLS		
EXTERIOR	2	2
INTERIOR	0	0
NON BEARING WALLS AND PARTITIONS EXTERIOR	0	0
NON BEARING WALLS AND PARTITIONS INTERIOR	0	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	1

FIRE STOPPING: PROVIDE FIRE STOPS AT 10'-0" O.C. VERTICALLY AND HORIZONTALLY WHERE CONCEALED COMBUSTIBLE STUDS OR FURRING STRIPS ARE INSTALLED AND AT CEILING HEIGHT. TYPICAL.

4 PROJECT INFO. & CODE DATA

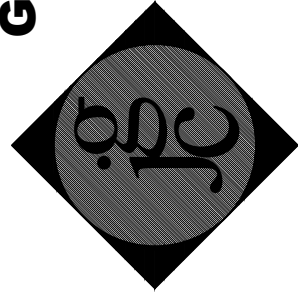
SCALE:

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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

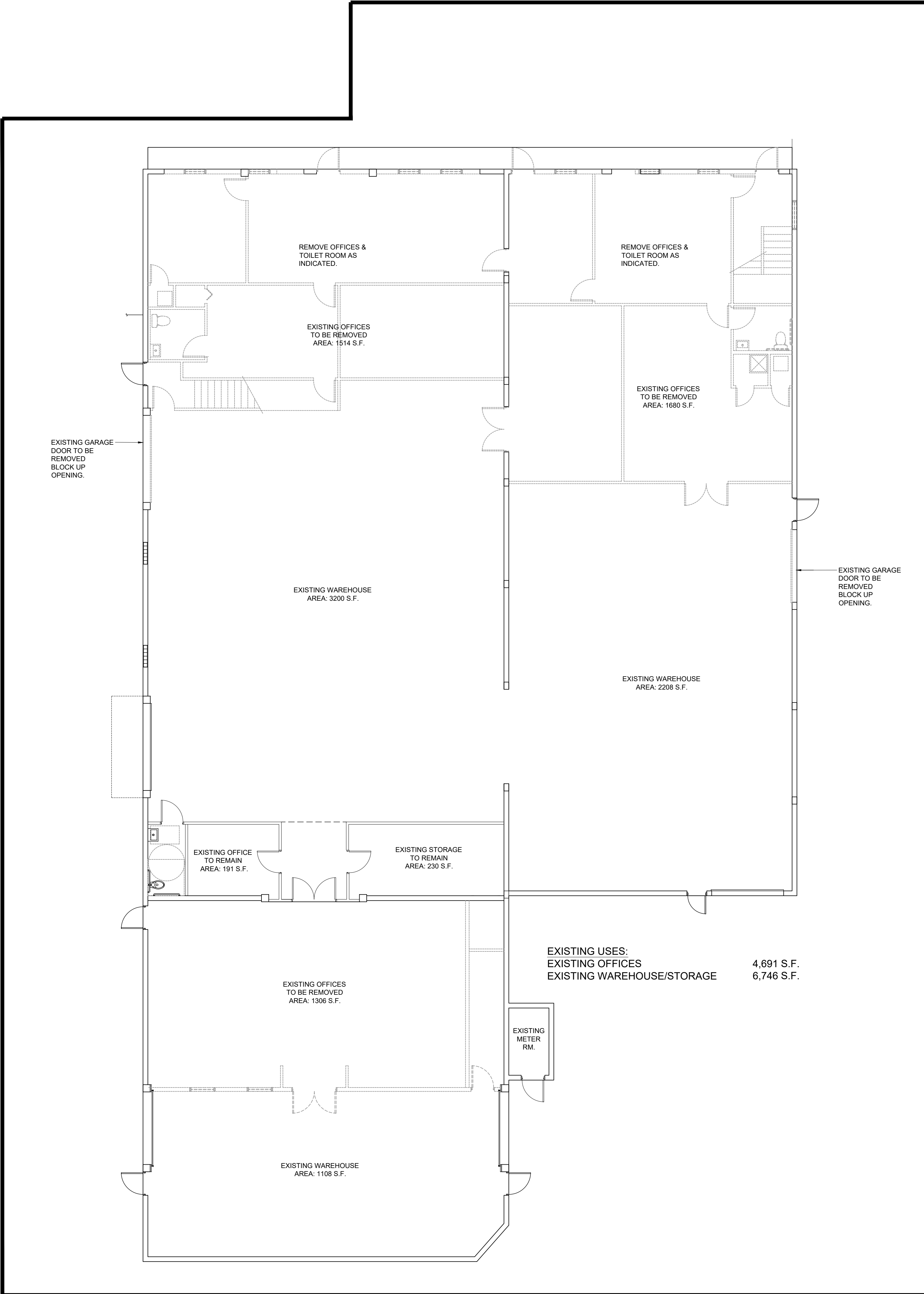
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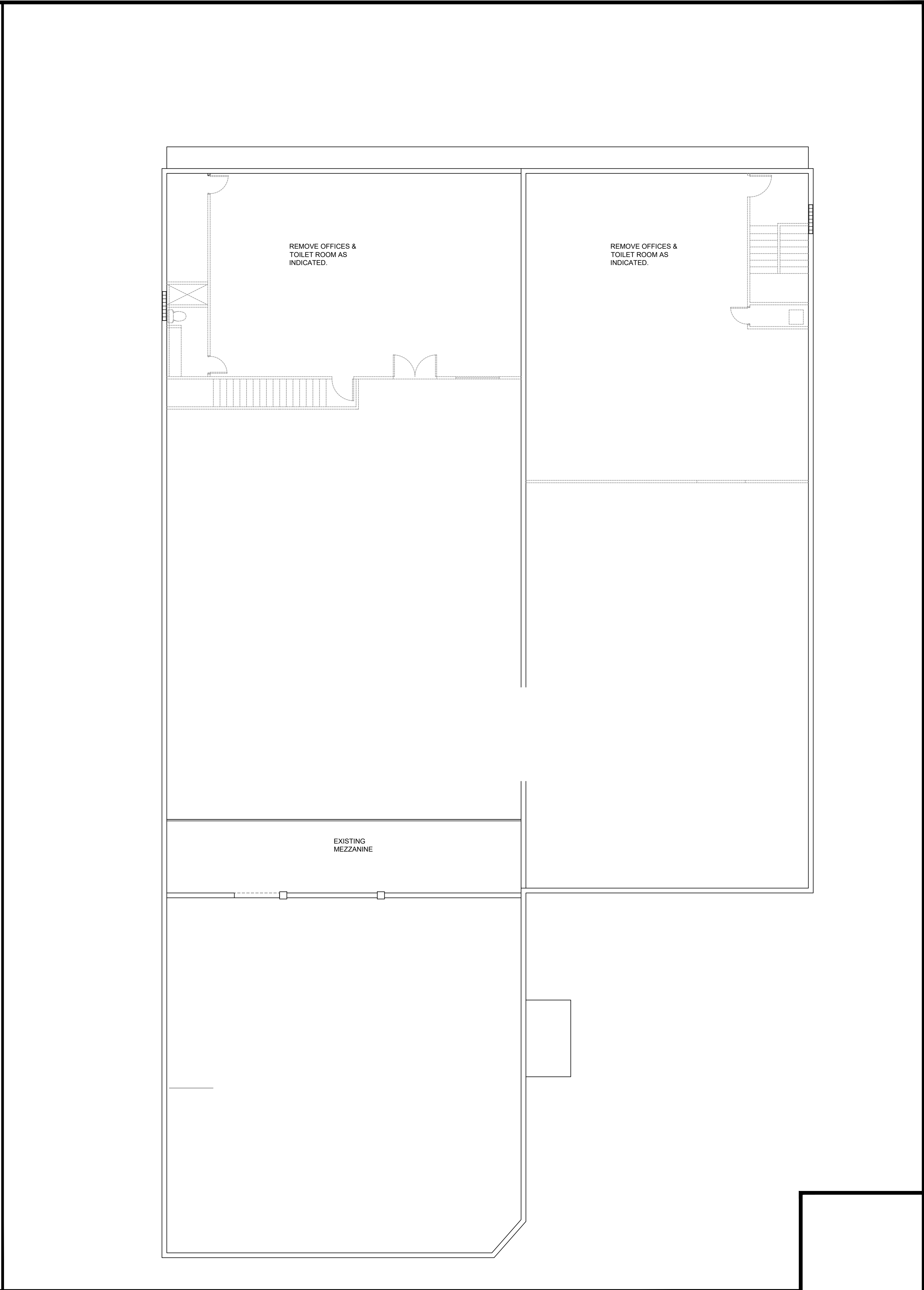
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SHEET	

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OF 1 SHEETS



1 | EXISTING GROUND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"  **NORTH**



2 | EXISTING SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"  **NORTH**

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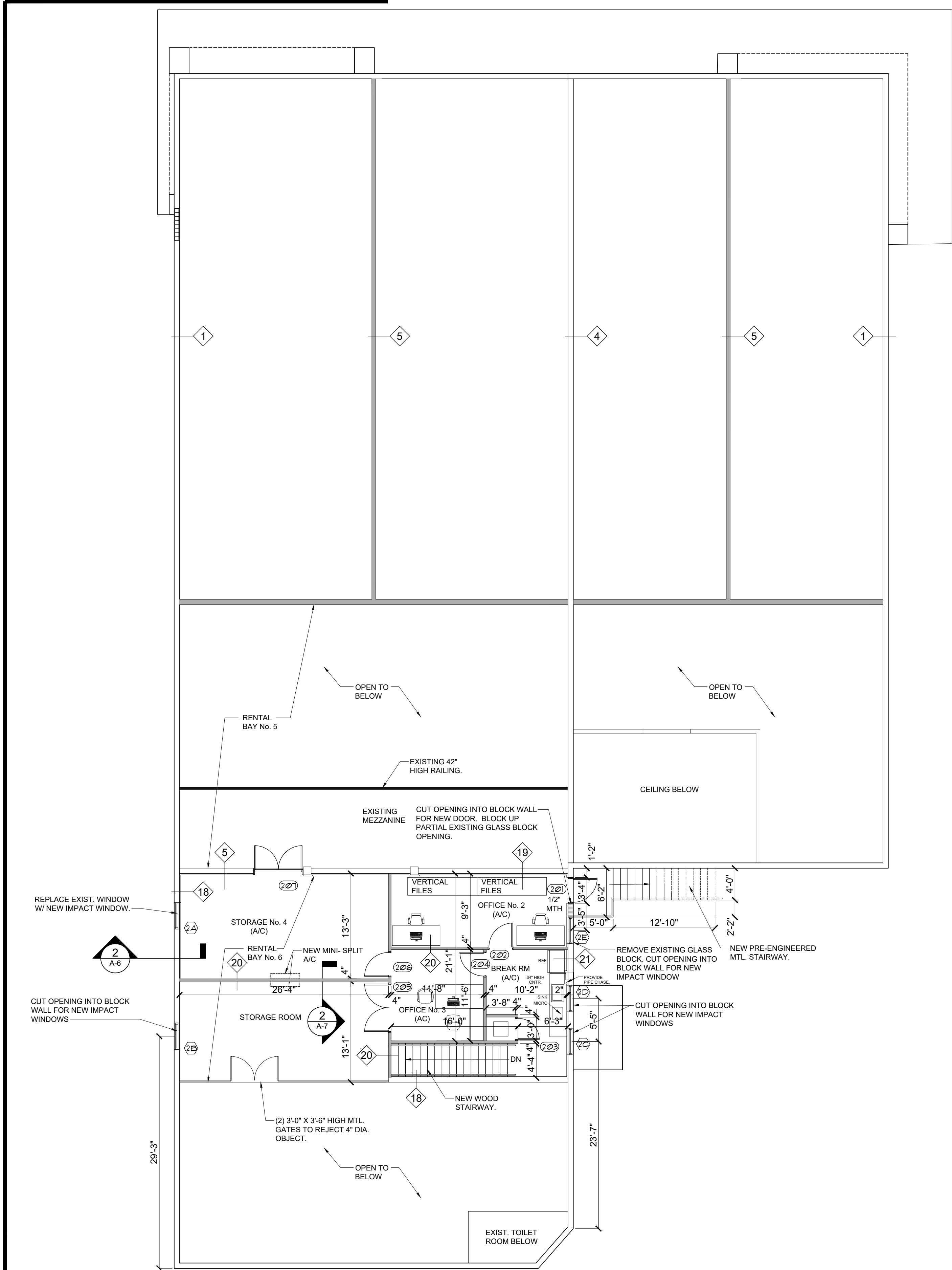
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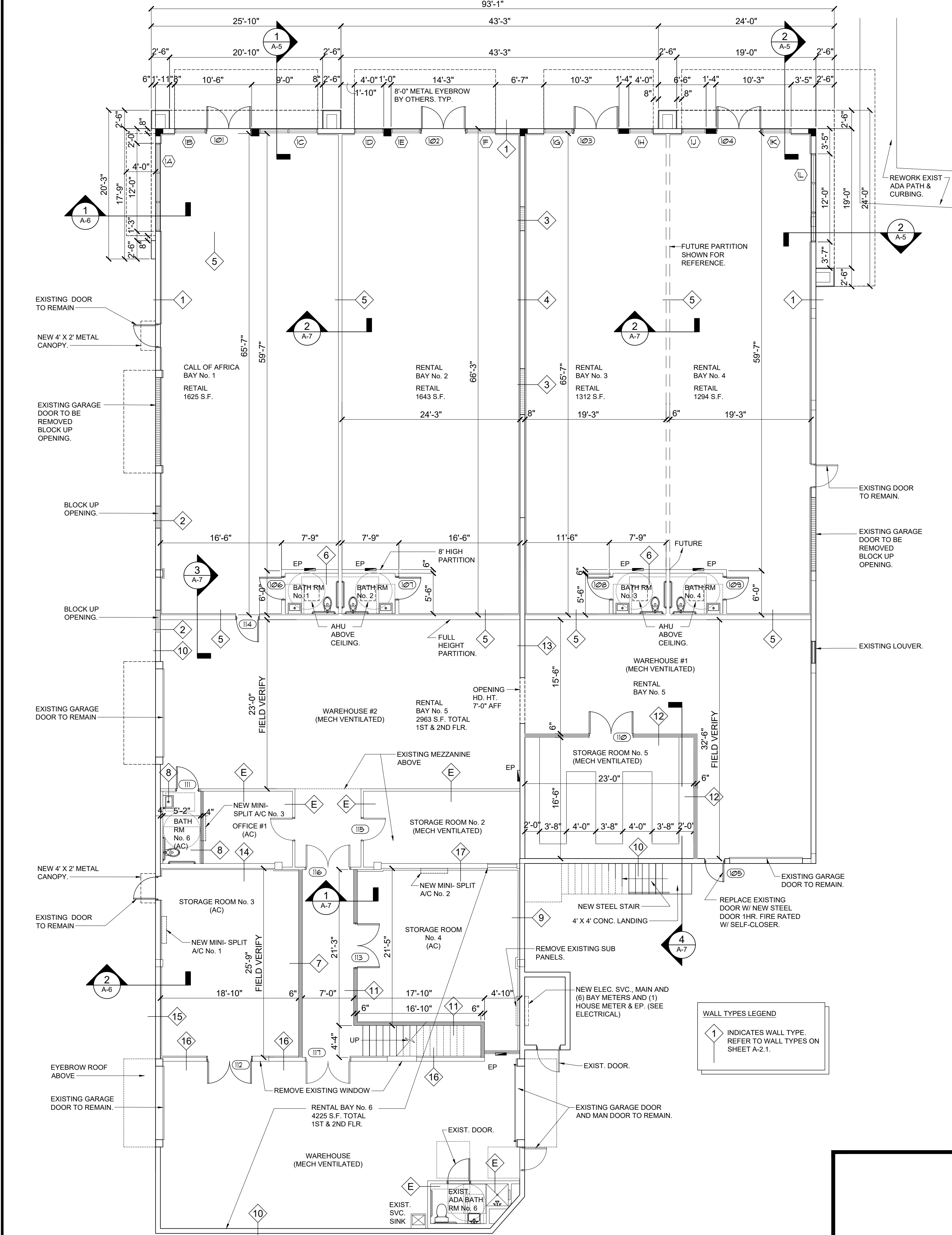
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2 NEW SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 NEW GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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OF SHEETS

GROUND FLOOR

SECOND FLOOR

SYMBOL

DESCRIPTION

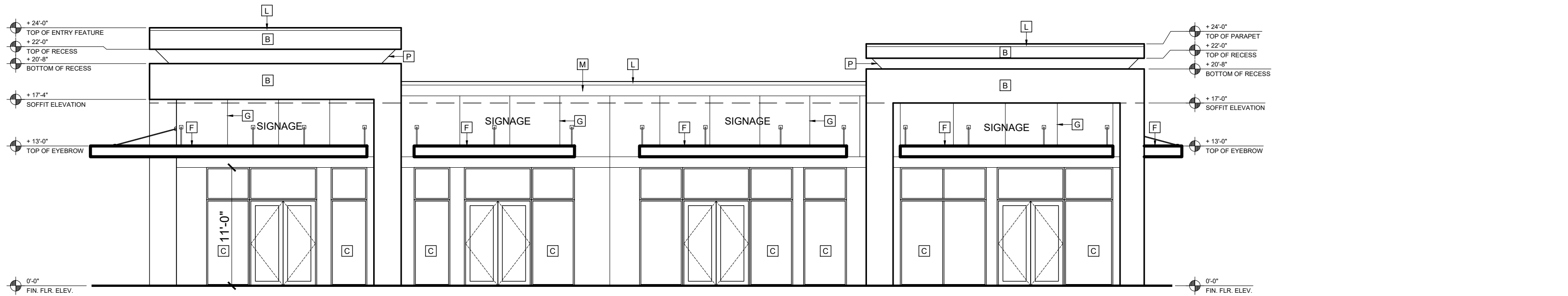
E EXISTING INTERIORS WALLS OR PARTITIONS TO REMAIN. NO WORK UNLESS NOTED OTHERWISE.

- 16 EXISTING MASONRY WALL, ADD P.T. 1 X2 FURRING AND 5/8" TYPE X GYPSUM WALLBOARD WITH R-4.1 FOIL INSULATION TO THE UNDERSIDE OF THE SECOND FLOOR ON STORAGE ROOM NO. 3 SIDE.

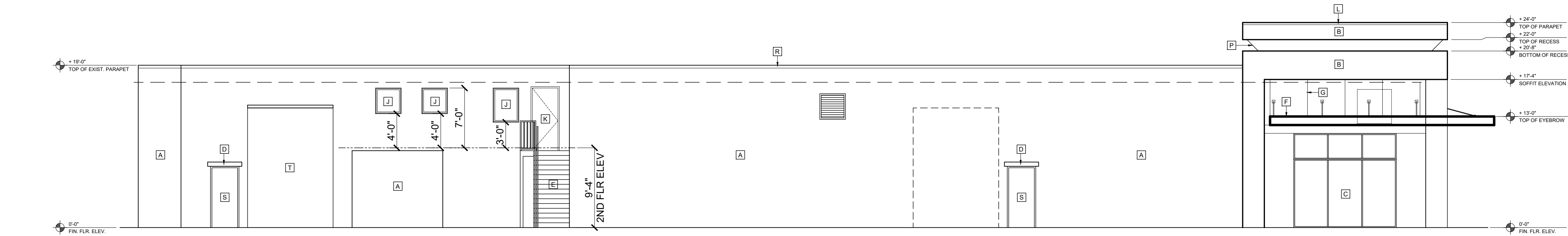
SECOND FLOOR

- CAM #25-0081
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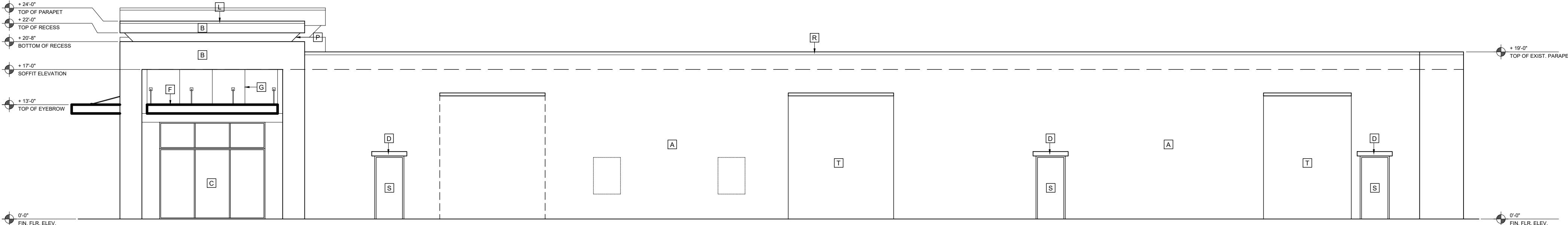
MATERIAL AND COLOR KEY NOTE LEGEND					
MARK	DESCRIPTION	COLOR	SHERWIN WILLIAMS PAINT OR EQUAL	MARK	DESCRIPTION
A	WALLS - SMOOTH STUCCO			L	GALV. MTL DRIP
B	WALLS - TEXTURED STUCCO			M	16" X 2" STUCCO BANDING
C	IMPACT GLAZING & DOORS			N	U/L LIGHT FIXTURE
D	METAL AWNING			P	RECESS - SMOOTH STUCCO
E	METAL STAIR			R	COPING CAP
F	METAL EYEBROW ROOF			S	EXISTING DOOR
G	STUCCO REVEAL			T	EXISTING ROLL UP DOOR
H	METAL TRIM				
J	WINDOWS - ALUM. IMPACT RATED				
K	HOL. MTL. DOOR IMPACT RATED				



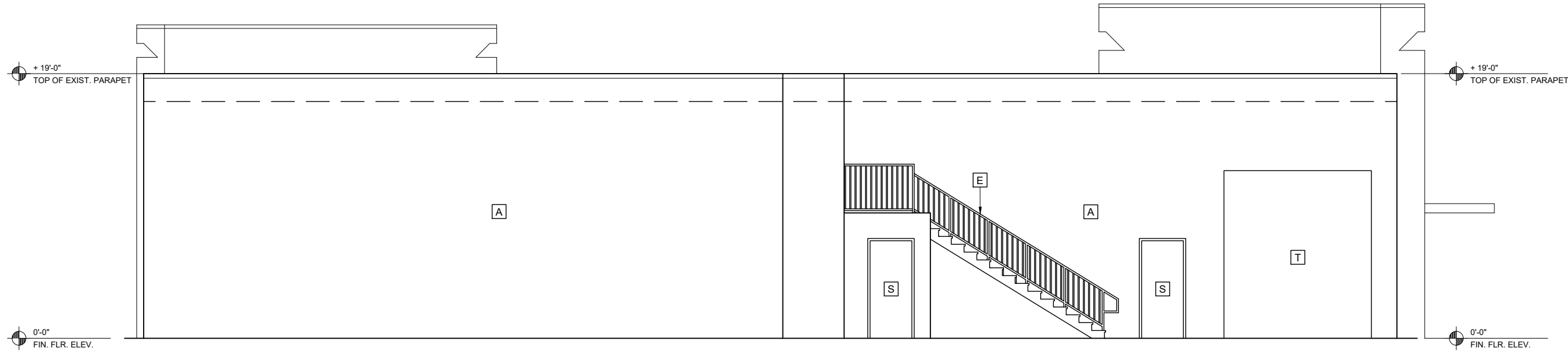
EAST ELEVATION



WEST ELEVATION

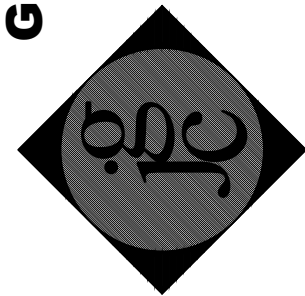


SOUTH ELEVATION



REVISION	BY:

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**PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA**

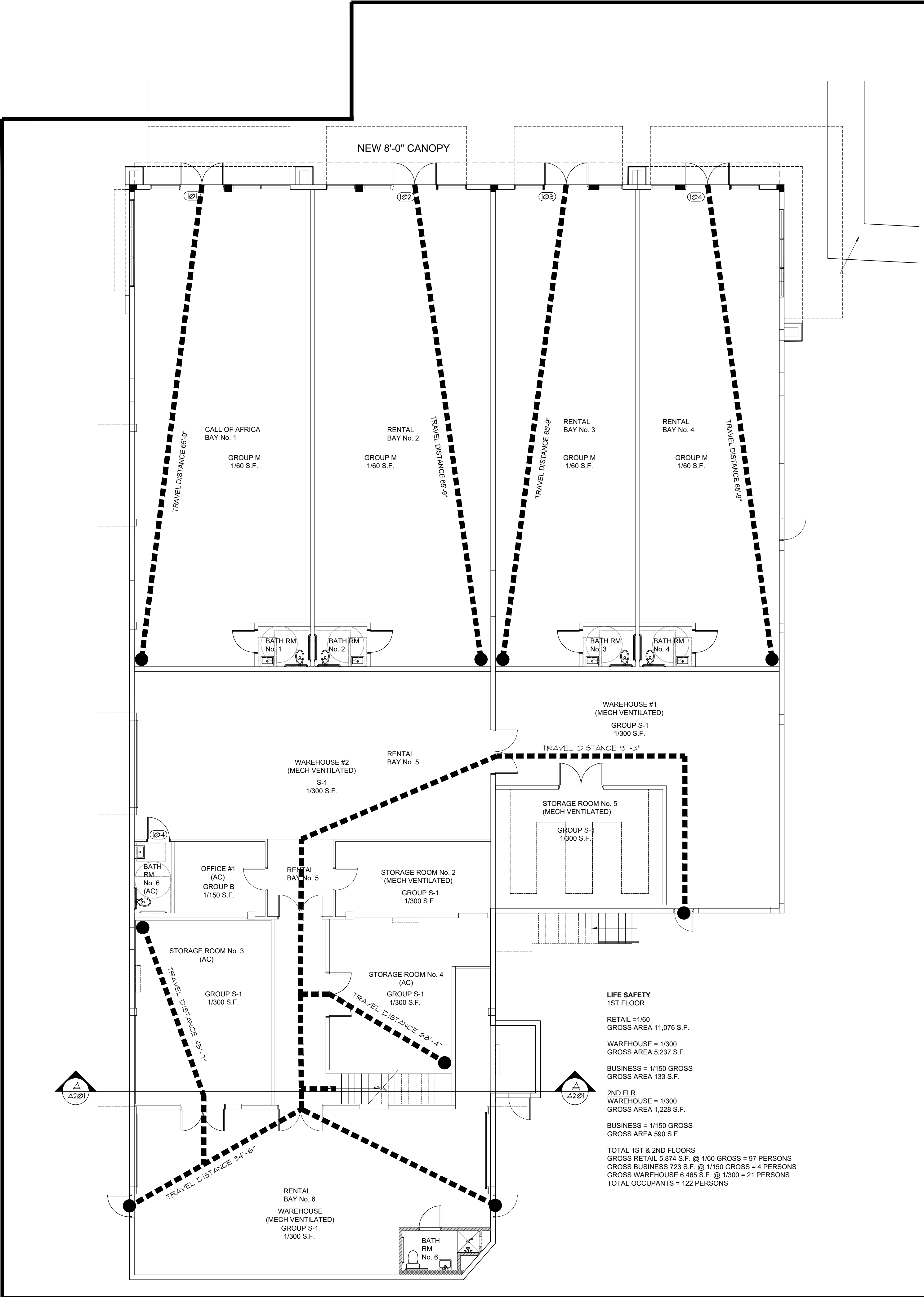
SEAL: AR NO. 0007957

AA26001131

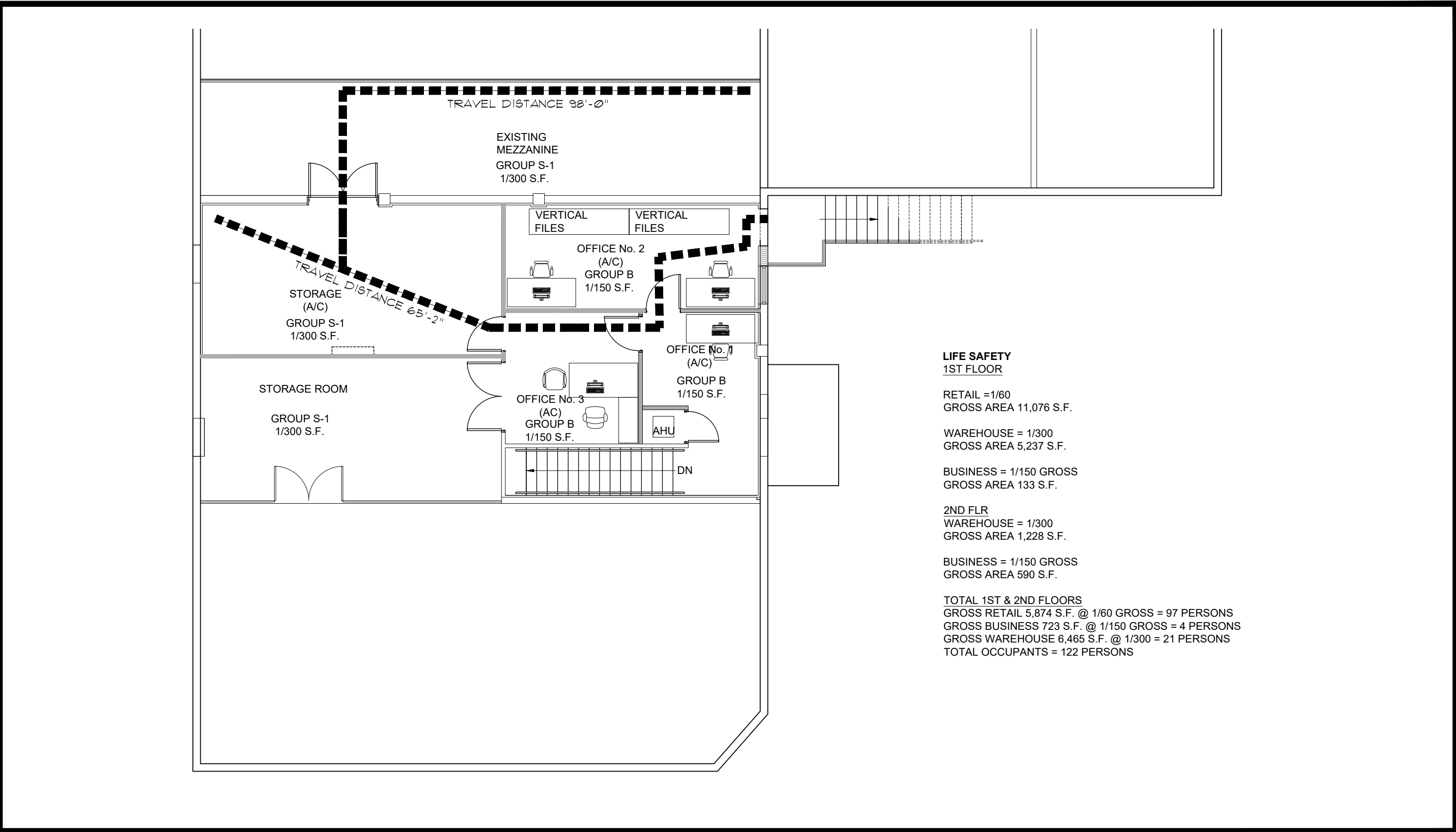
DRAWN **DBK**
CHECKED **G.J.C.**
DATE **11-12-22**
SCALE
JOB. NO. **22-053**
SHEET

A-3.0

OF SHEETS



1 GROUND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0" NORTH



2 SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0" NORTH

LIFE SAFETY NOTES & DATA:
PER 1TH EDITION OF THE FBC (2010) - BUILDING - CHAPTER 3; SECTION 310 GROUP B.
PER 1TH EDITION OF THE FBC (2020) - BUILDING - CHAPTER 6; TABLE 601 CONSTRUCTION TYPE: TYPE III B
NON-SPRINKLER PER 1TH EDITION OF THE FBC (2020) - BUILDING Chapter 10.

WAREHOUSE AREAS (FIRST FLOOR)

ROOM NAME	OCCUPANCY	GROSS AREAS	OCCUPANCY LOAD	OCCUPANTS	NOTES
BAY No. 1 RETAIL	GROUP M	1625 sf.	1/60 GROSS	27	-
BAY No. 2 RETAIL	GROUP M	1643 sf.	1/60 GROSS	28	-
BAY No. 3 RETAIL	GROUP M	1312 sf.	1/60 GROSS	21	-
BAY No. 4 RETAIL	GROUP M	1284 sf.	1/60 GROSS	21	-
BAY No. 5 1ST FLR WHSE/STORAGE	GROUP S-1	2830 sf.	1/300 GROSS	9	-
BAY No. 5 1ST FLR OFFICE	GROUP B	133 sf.	1/150 GROSS	1	-
BAY No. 6 1ST FLR WHSE/STORAGE	GROUP S-1	2407 sf.	1/300 GROSS	8	-
BAY No. 6 2ND FLR WHSE/STORAGE	GROUP S-1	1228 sf.	1/300 GROSS	4	-
BAY No. 6 2ND FLR OFFICE	GROUP B	590 sf.	1/150 GROSS	3	-
TOTAL OCCUPANCY				122	

2010 FBC, 7th EDITION - BUILDING - TABLES 1006.2.1, 1006.3.1, 1011.2, 1020.1, 1020.4 SECTION 1020.4

GROUP 'B'	TRAVEL DISTANCE (NON-SPRINKLERED)	DEAD END	NUMBER OF EXITS
ALLOWED	100' MAXIMUM	20'-0"	1
PROVIDED	98'-0"	< 20'-0"	1 RETAIL EXIT PER SPACE / 3 WAREHOUSE EXITS

3 NOTES NORTH

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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

AA26001131

DRAWN DBK

CHECKED G.J.C.

DATE 11-12-22

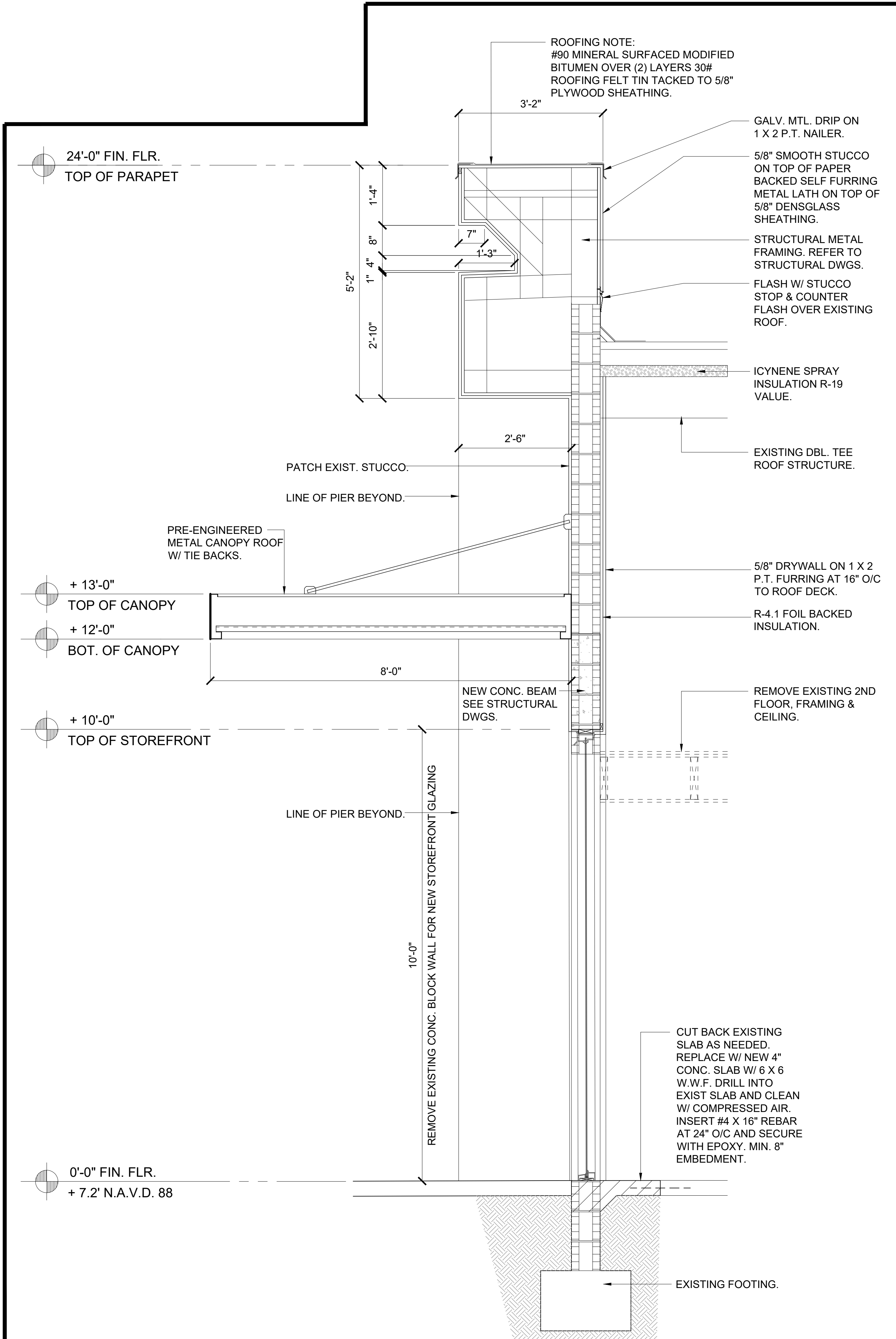
SCALE

JOB. NO. 22-053

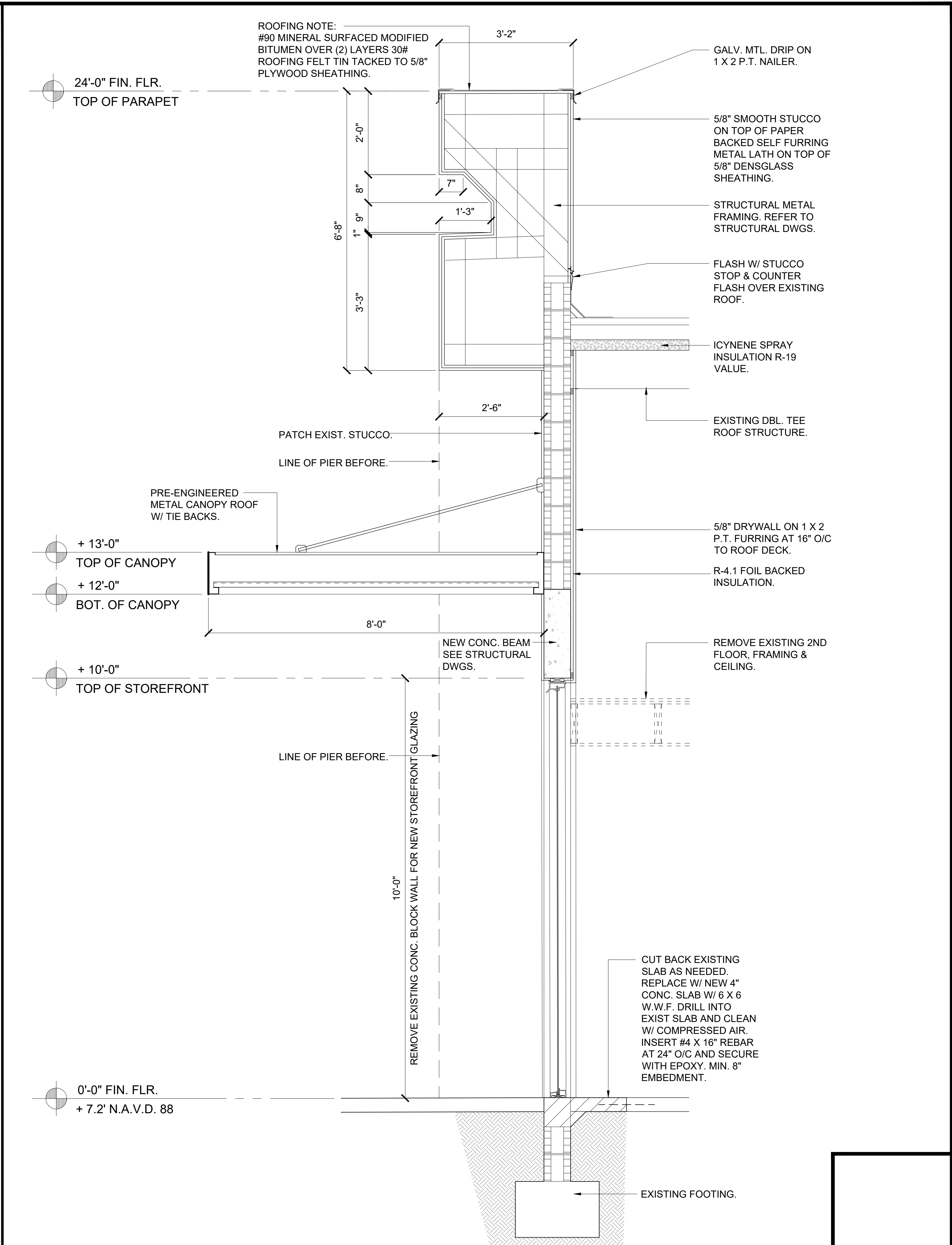
SHEET

A-4.0

OF SHEETS



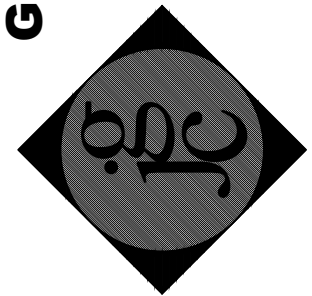
1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"

REVISION	BY:

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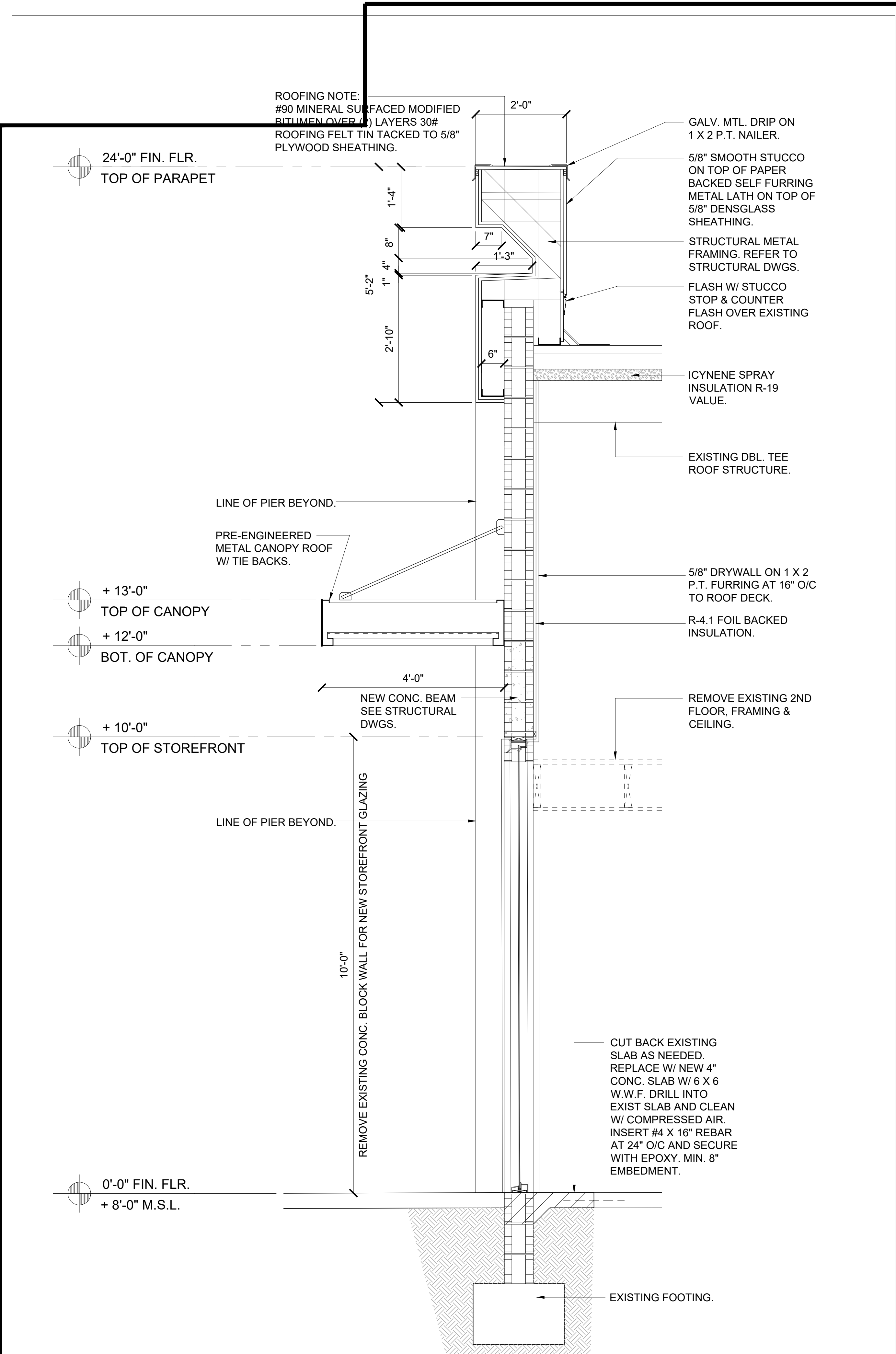
PROPOSED RENOVATION FOR:
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FORT LAUDERDALE, FLORIDA

SEAL:	AR NO. 0007957
AA26001131	

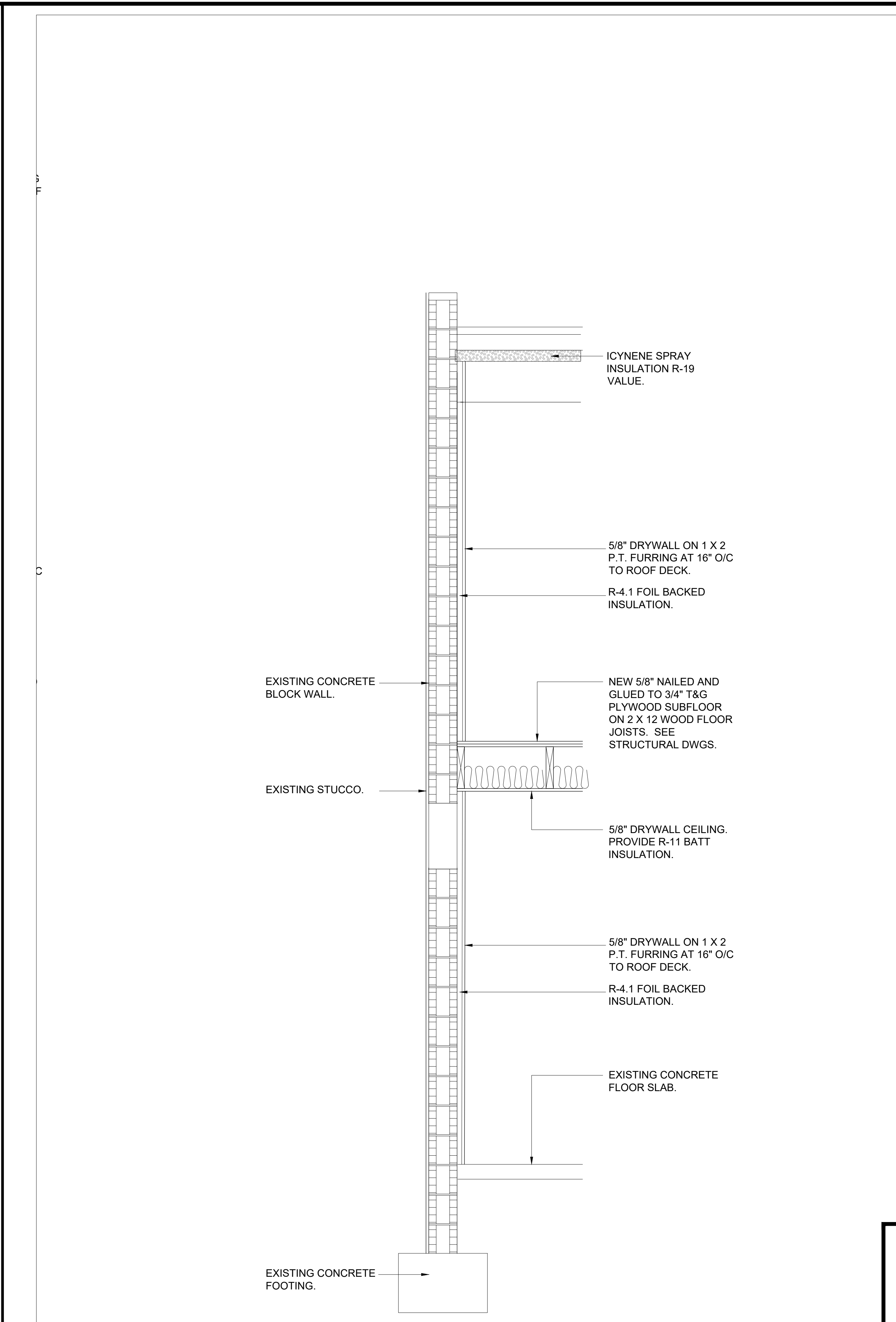
DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

A-5.0

OF SHEETS



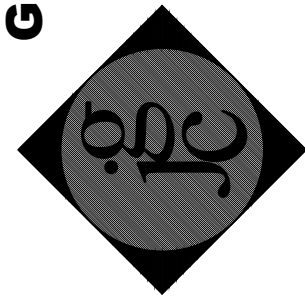
1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"

REVISION	BY:

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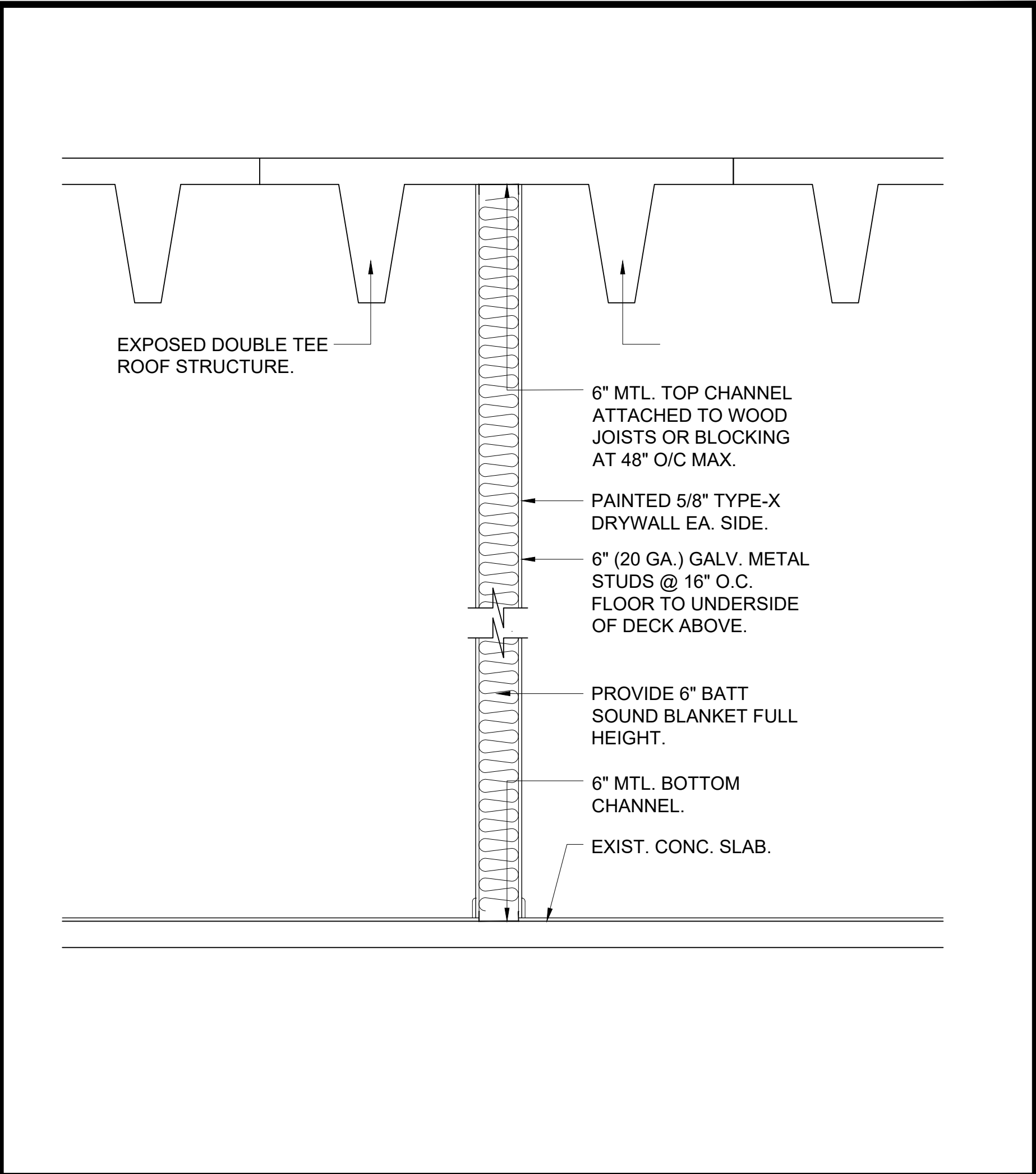
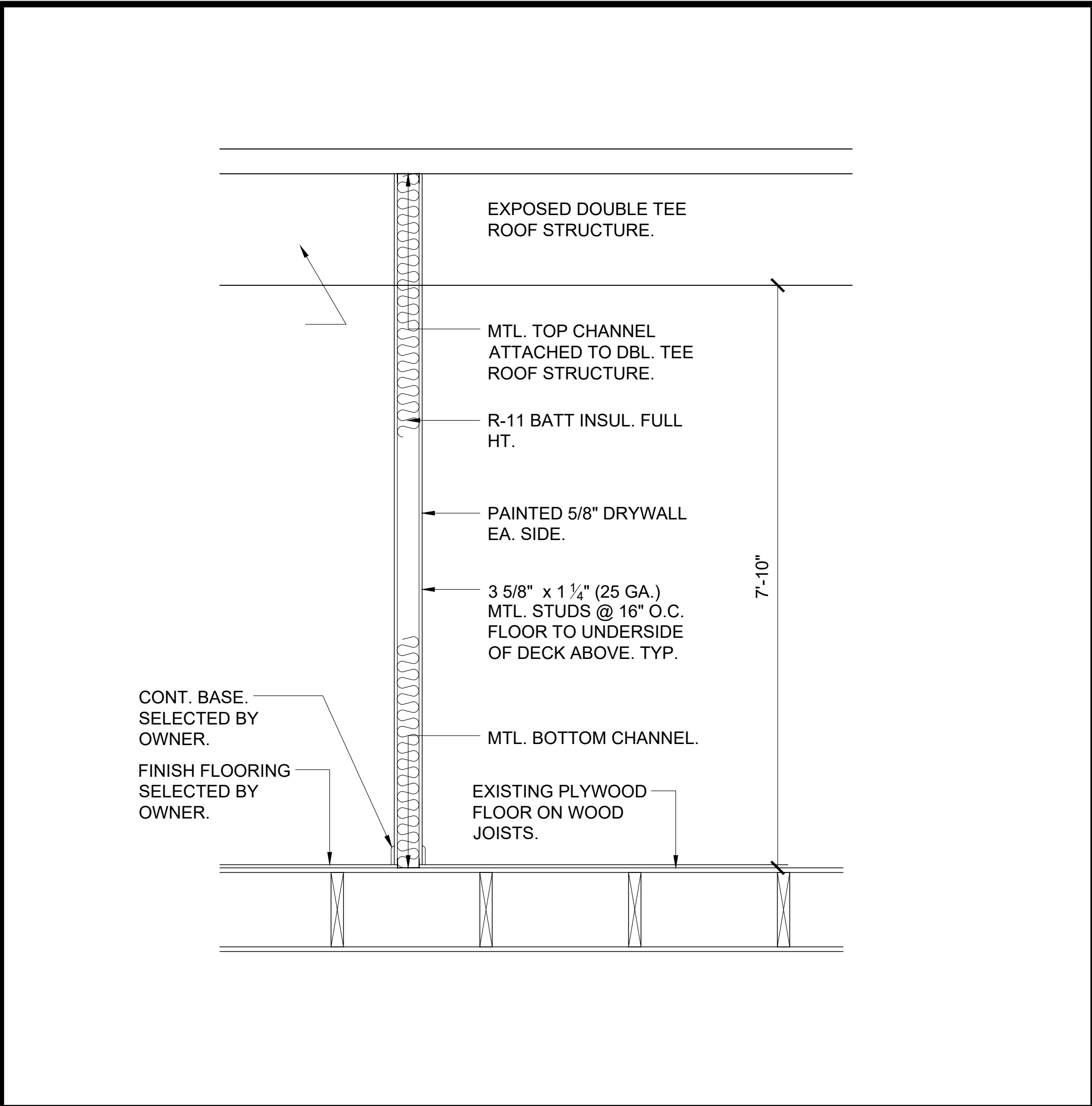
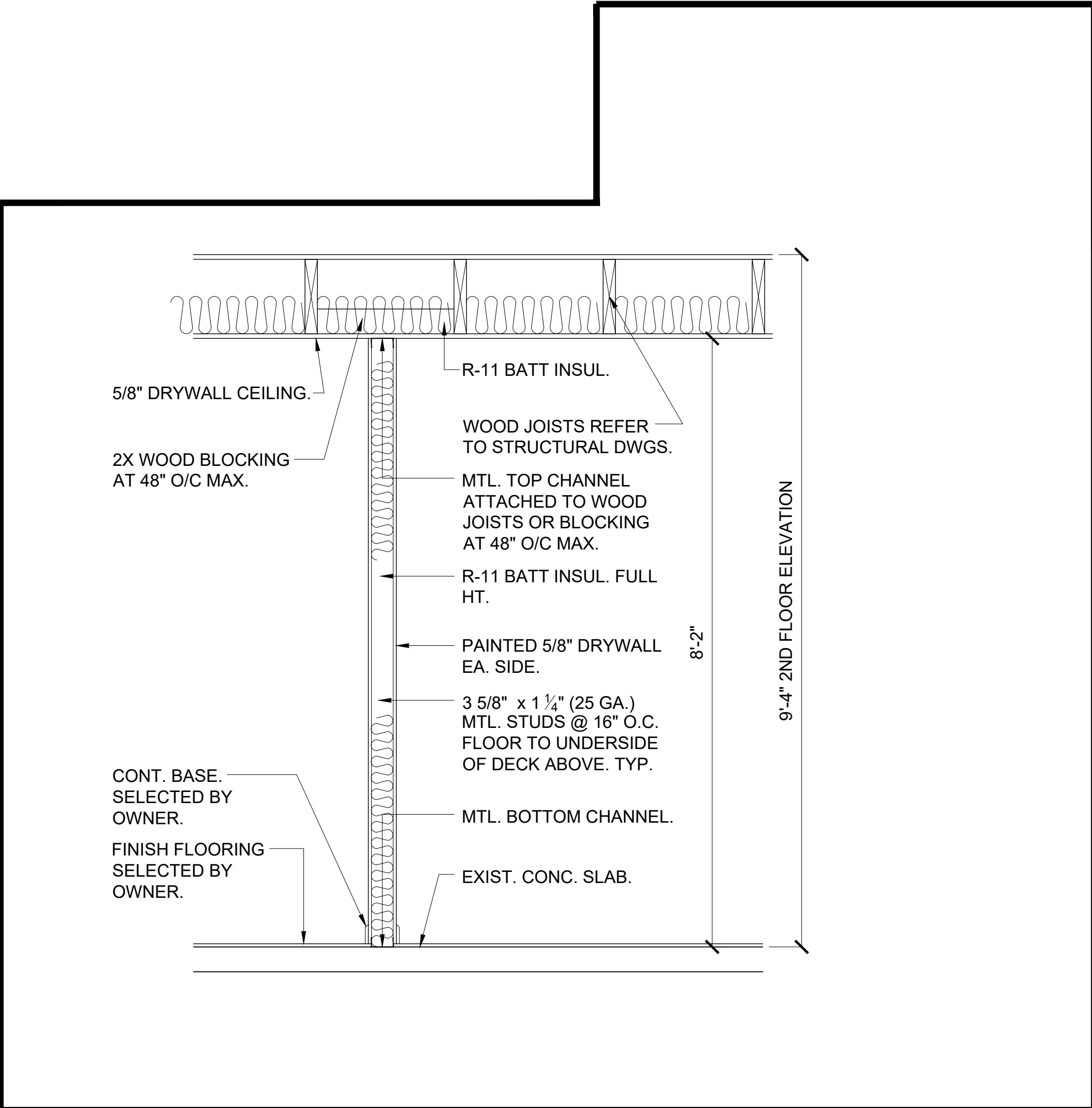
**PROPOSED RENOVATION FOR:
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FORT LAUDERDALE, FLORIDA**

SEAL:	AR NO. 0007957
AA26001131	

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

A-6.0

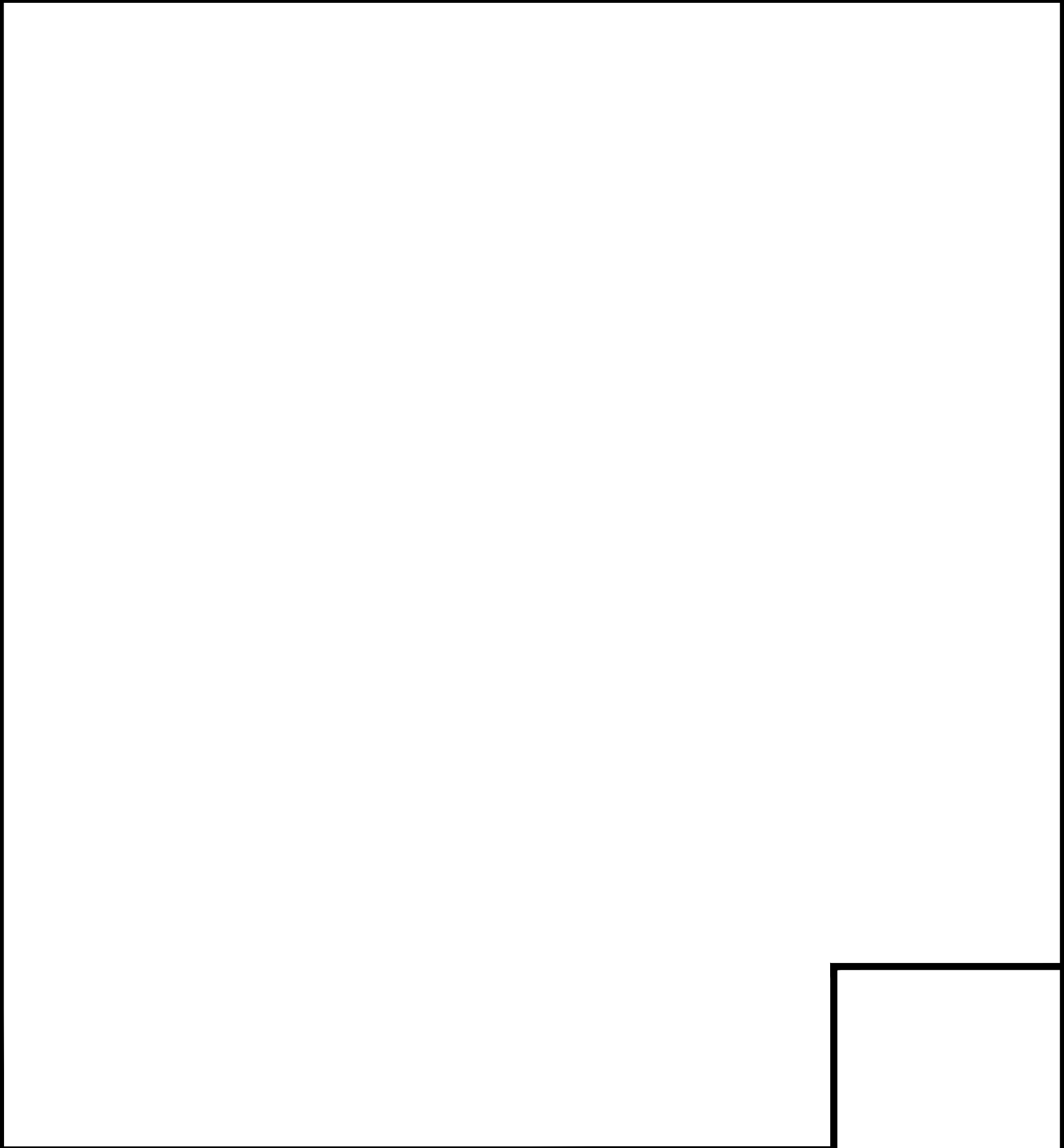
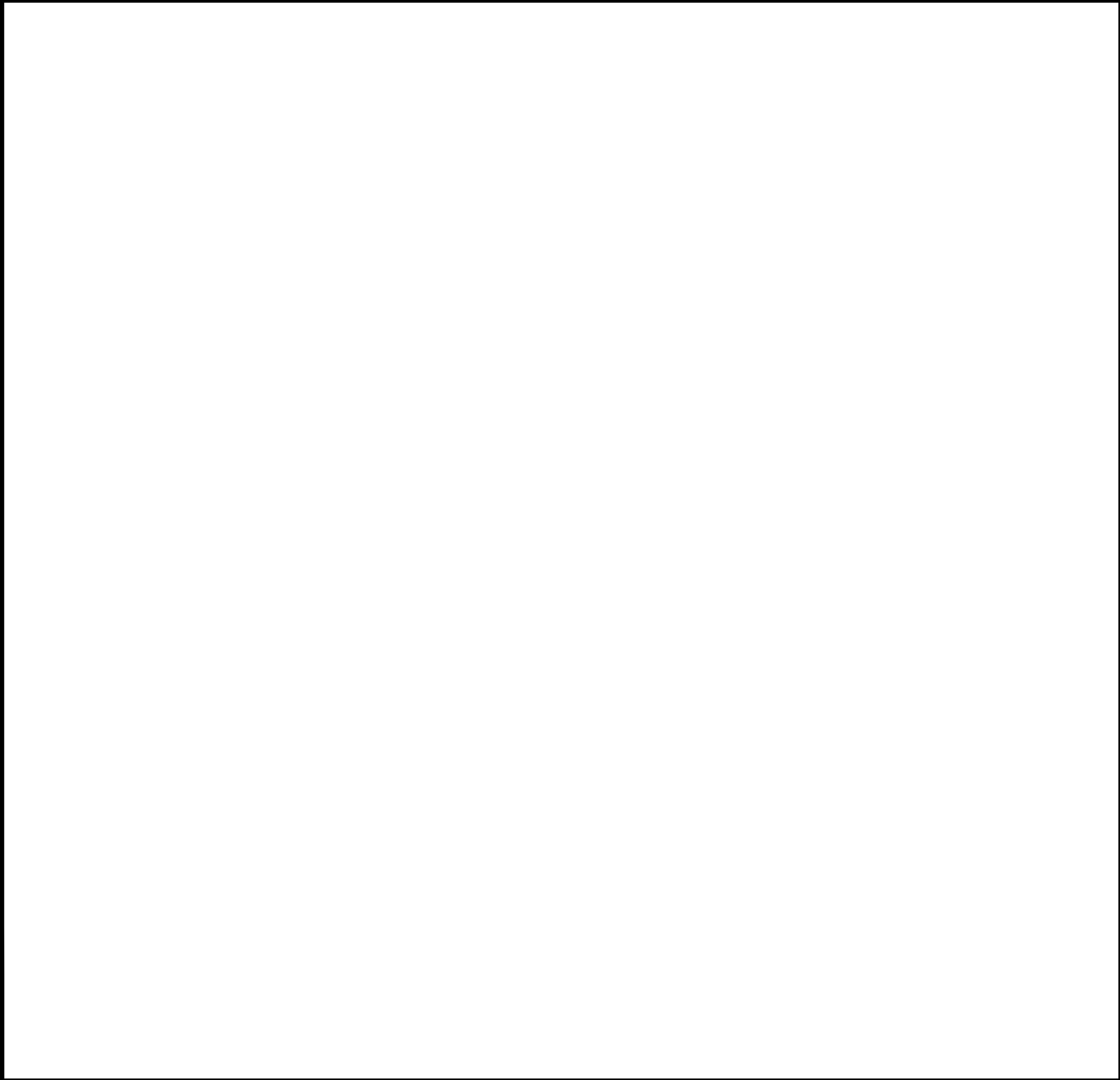
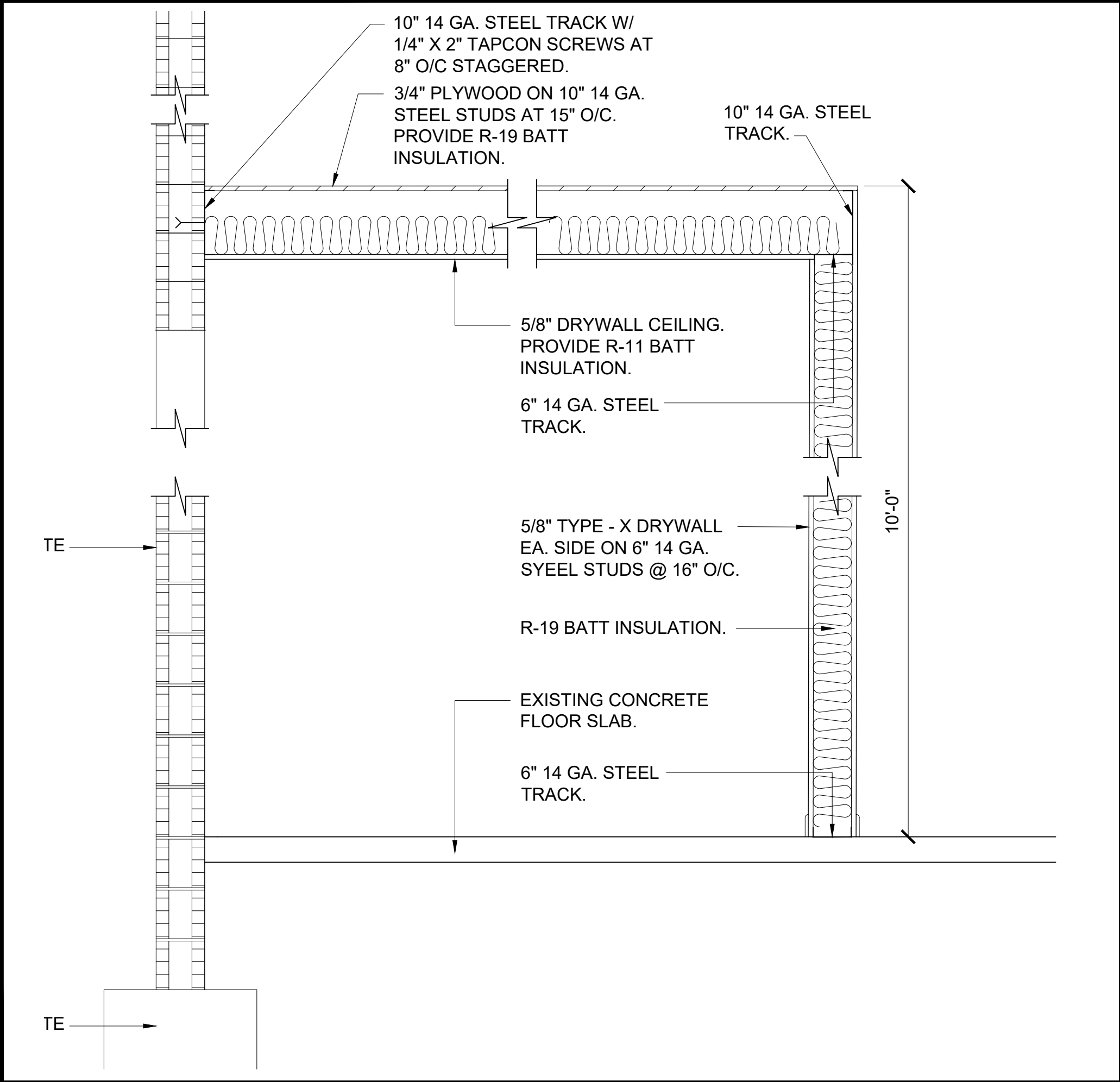
OF SHEETS



1 | WALL SECTION
SCALE: 3/4" = 1'-0"

2 | WALL SECTION
SCALE: 3/4" = 1'-0"

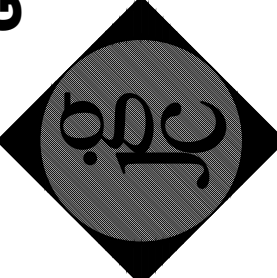
3 | WALL SECTION
SCALE: 3/4" = 1'-0"



4 | WALL SECTION
SCALE: 3/4" = 1'-0"

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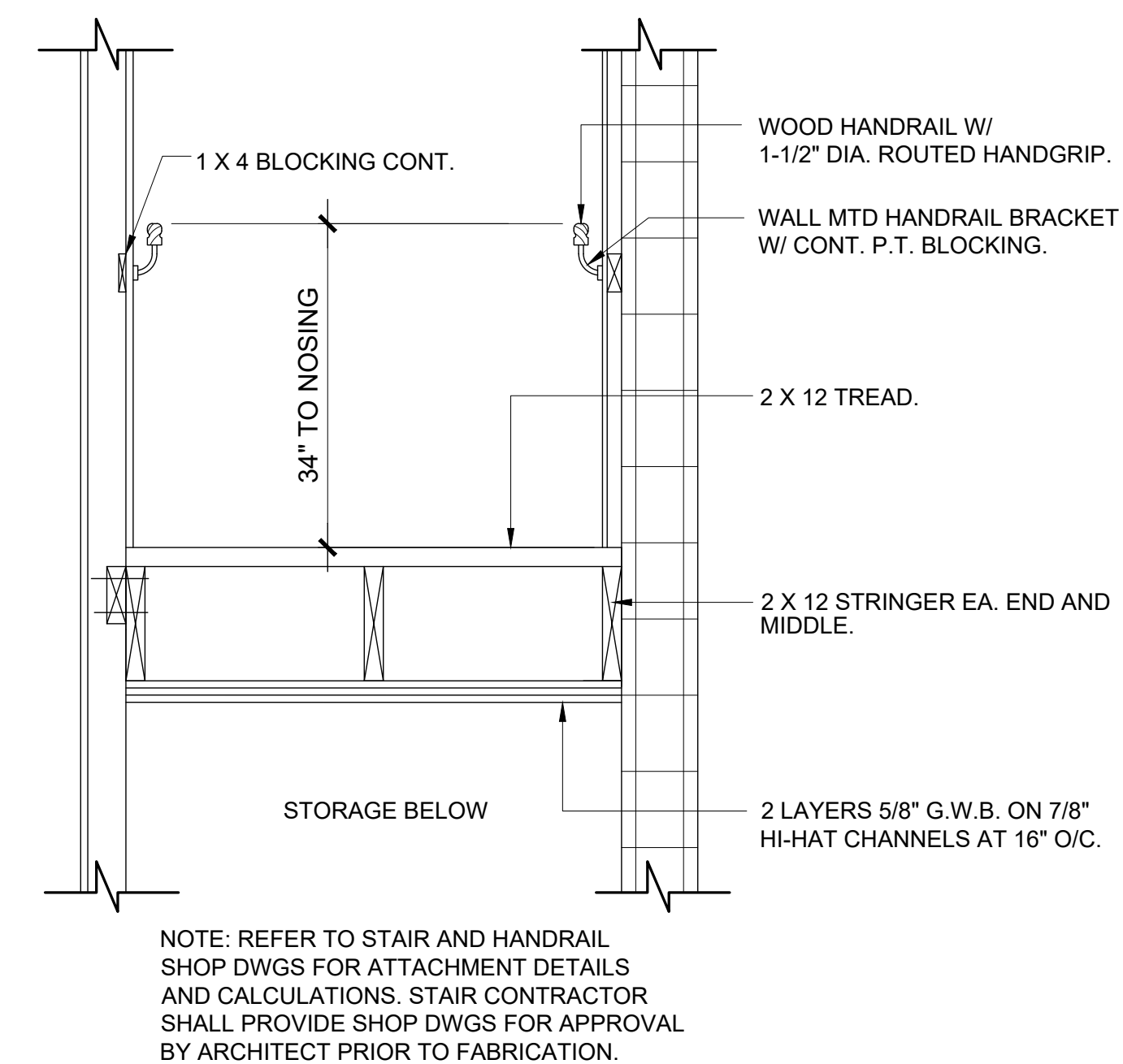
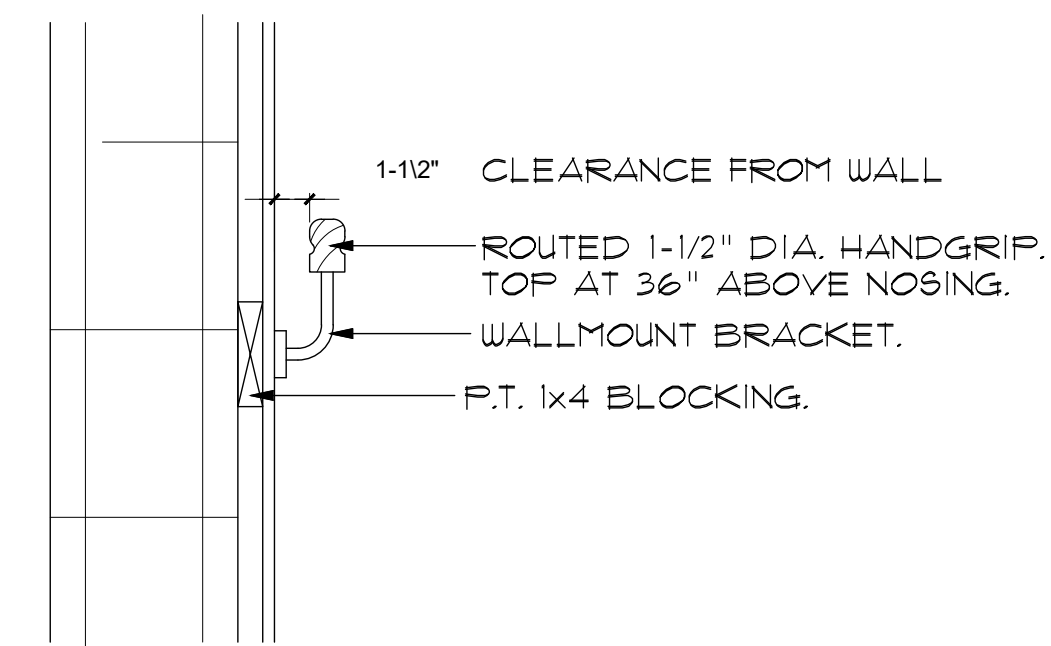
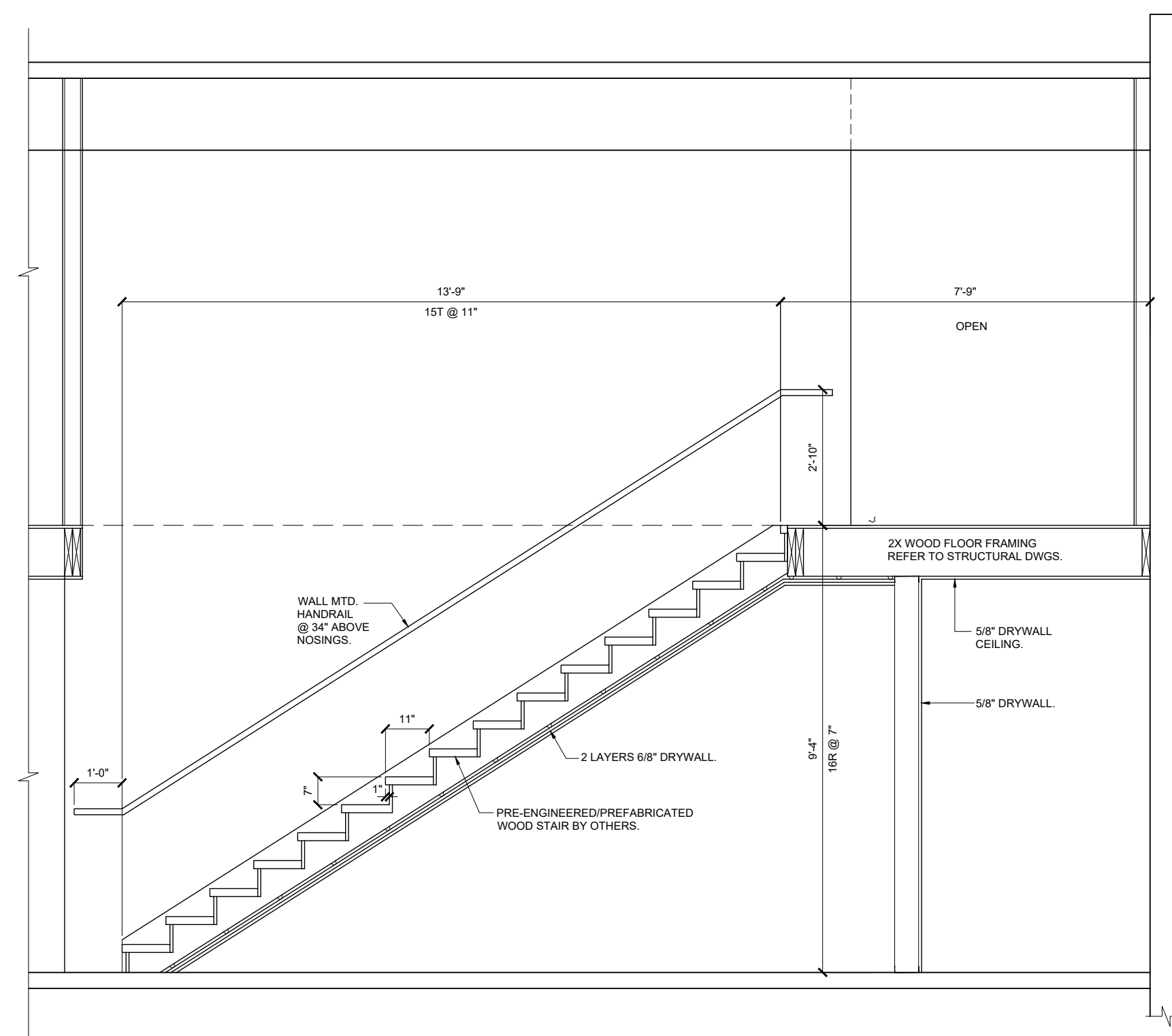


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PROPOSED RENOVATION FOR:
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FORT LAUDERDALE, FLORIDA

SEAL:	AR NO. 0007957
AA26001131	

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	A-7.0
OF	SHEETS



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Architect and Planner

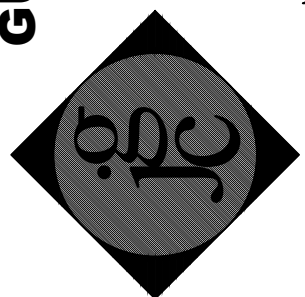
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PROPOSED RENOVATION FOR:

CALL OF AFRICA

**920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA**

FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

AA26001131

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

CHECKED **G.J.C.**

DATE **11-12-22**

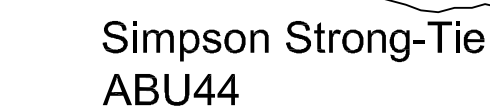
SCALE

JOB. NO. **22-053**

SHEET

A-8.0

OF SHEETS



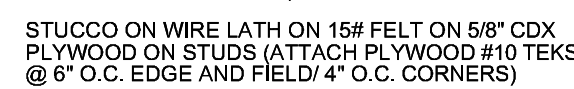
1
S1

DETAIL

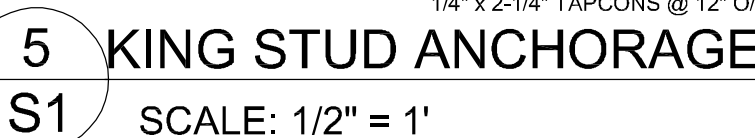
$\frac{3}{8}'' = 1'$



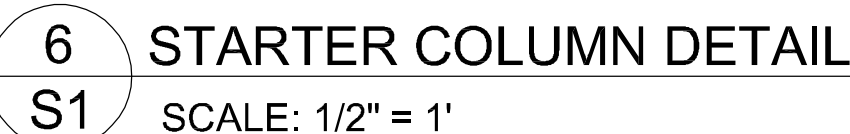
S1 SCALE: 3/8" = 1'



4 LIGHT GAUGE CORNER DETAIL
S1 N.T.S.



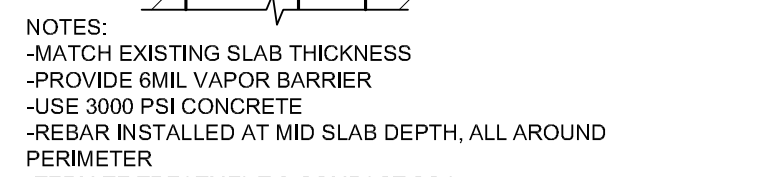
S1 SCALE: 1/2" = 1'



S1 SCALE: 1/2" = 1'



SCALE: 3/8" = 1'



10 TRENCH REPAIR DETAIL
S1 SCALE: 3/4" = 1'

S1 SCALE: 3/4" = 1'

MONOLITHIC FOOTING SCHEDULE

CODE	BASE WIDTH	DEPTH	REINFORCEMENT DIAMETER AND COUNT		ADDITIONAL REQUIREMENTS
			SHORT WAY	LONG WAY	
MCF-20	20"	16"	# 4's @ 12" O/C BOTTOM	3 # 5's BOTTOM	#4's x 9' @ 12" O/C LONG TRANSFER BARS

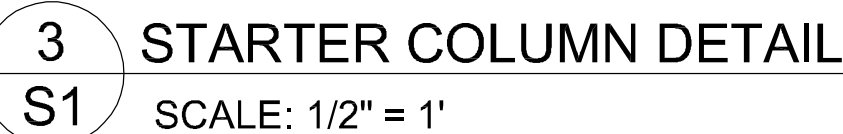
FOOTING SCHEDULE

CODE	BASE WIDTH	LENGTH	DEPTH	SOIL COVERAGE	REINFORCEMENT DIAMETER AND COUNT		ADDITIONAL REQUIREMENTS
					SHORT WAY	LONG WAY	
P33	3'	3'	12"	12"	(4) #5 BOTTOM	(4) #5 BOTTOM	-
P23	2'	3'	12"	12"	(5) #5 BOTTOM	(3) #5 BOTTOM	-

CONCRETE & CMU COLUMN SCHEDULE

COORDINATE COLUMN EDGE LOCATION WITH THE ARCHITECTURALS AND WITH THE DOOR/WINDOW SUPPLIER

M5		5/8" FORMED COL. OR CMU COL. w/ (1) #5 REINFB. BAR (30# LAPS) SEE FNDR & FRMNG PLAN FOR LOCATION FILL w/ GROUT - SEE STRUCTURAL NOTES
C811		8"x11" POURED CONC. COL. w/ (4) #5s VERT. w/ #3 TIES @ 8" O/C
C812		8"x12" POURED CONC. COL. w/ (4) #5s VERT. w/ #3 TIES @ 8" O/C
C816		8"x16" POURED CONC. COL. w/ (4) #5s VERT. w/ #3 TIES @ 8" O/C
C844		8"x44" POURED CONC. COL. w/ (8) #5s VERT. w/ #3 TIES @ 8" O/C w/ #3 HOOKS @ 8" O/C
C81212		8"x12"x12" POURED CONC. COL. w/ (6)s VERT. 2 SETS OF #3 TIES @ 8" O/C
C1212		12"x12" POURED CONC. COL. w/ (4) #5s VERT. w/ #3 TIES @ 12" O/C



S1 SCALE: 1/2" = 1'



S1 SCALE: 1/2" = 1'



FIRST FLOOR - INTERIOR (132 PSF)

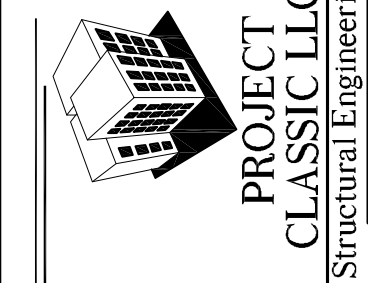
DEAD (77 PSF)	FLOOR SELF WEIGHT= 50 PSF FLOOR FINISHES = 27 PSF
LIVE (55 PSF)	OCCUPANCY = 40 PSF PARTITIONS:ASCE7-10: 4.3.2 = 15 PSF

FOUNDATION AND FIRST FLOOR COLUMN PLAN

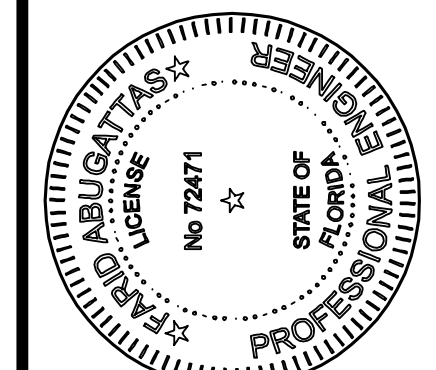
$\frac{1}{8}'' = 1'$ 0' 4' 8' 12' 16' 20'

[illegible]

5968 NW 77TH TERRACE
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PHONE: (954) 667 - 7803
FARID ABUGATTAS, P.E.
LICENSE # 72471, CA#294
WWW.PROJECTCLASSIC.
EMAIL RFI TO: INFO@PR
SCHEDULE INSPECTIONS
CARBONEI @PROJECTC



08/21/2023



Call of Africa Remodel

1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN: F.A

CHECKED: F.A

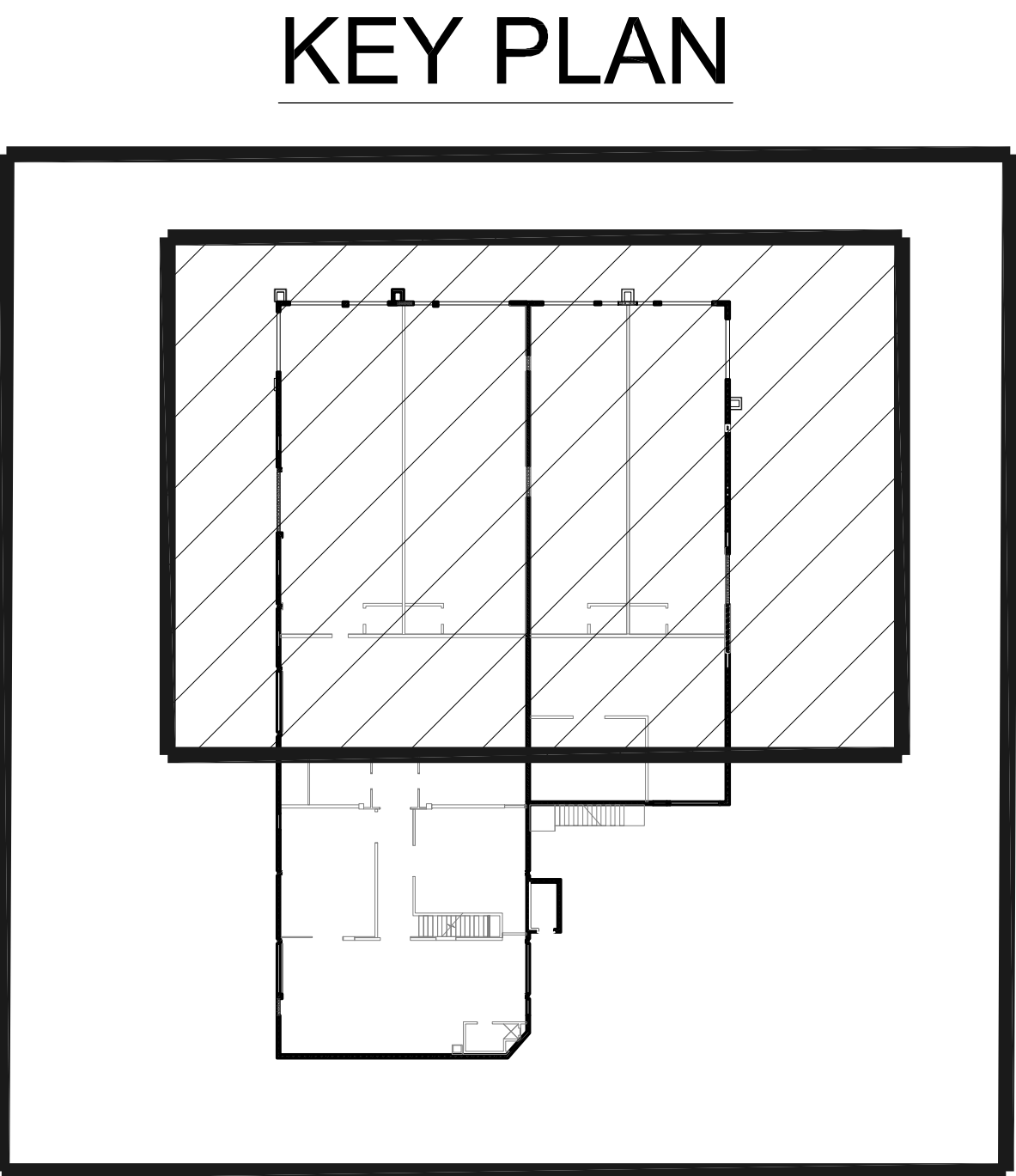
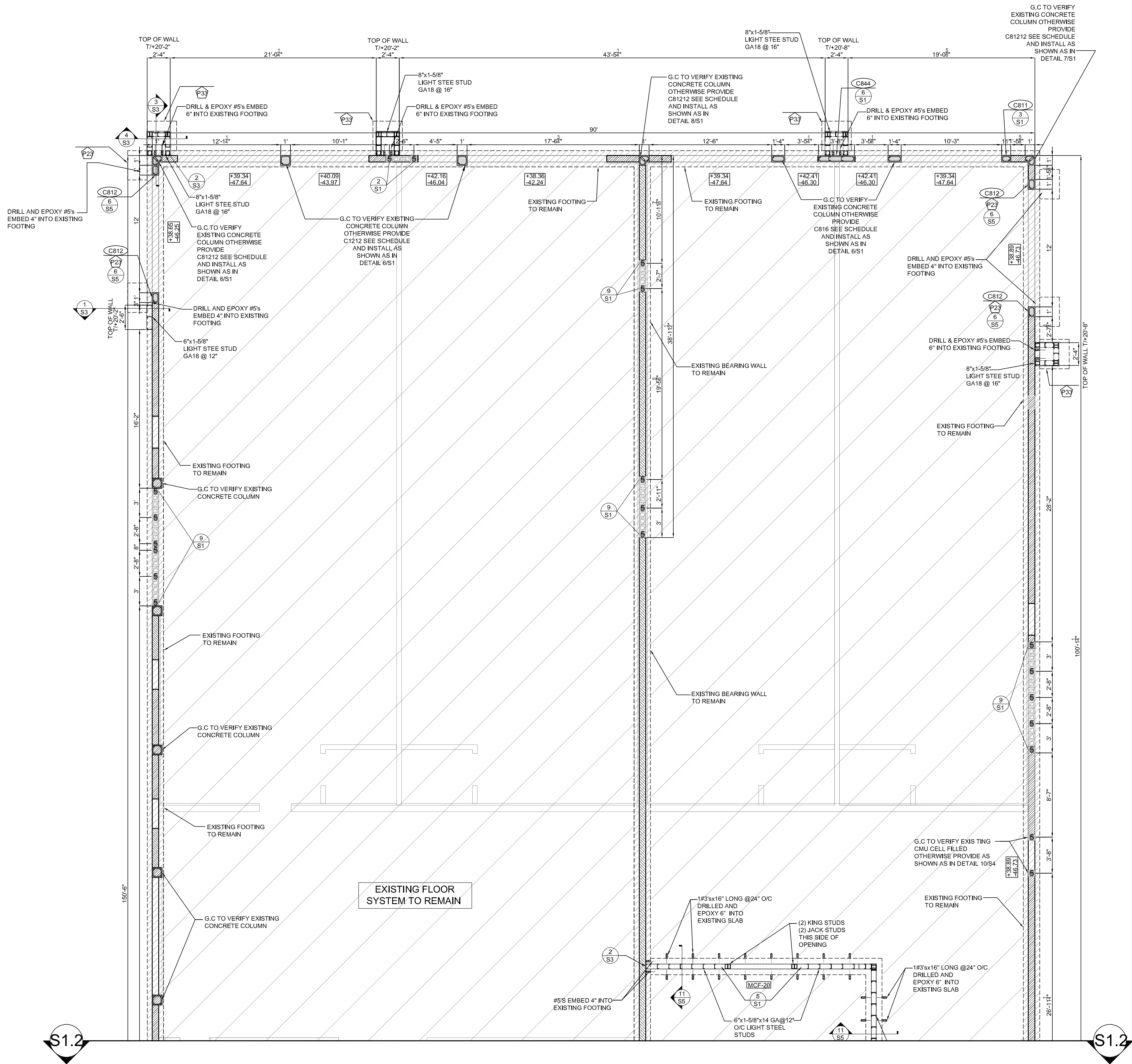
DATE : 08/21/2023

JOB #: 11052

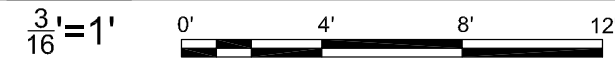
SHEET

S1

OF 09

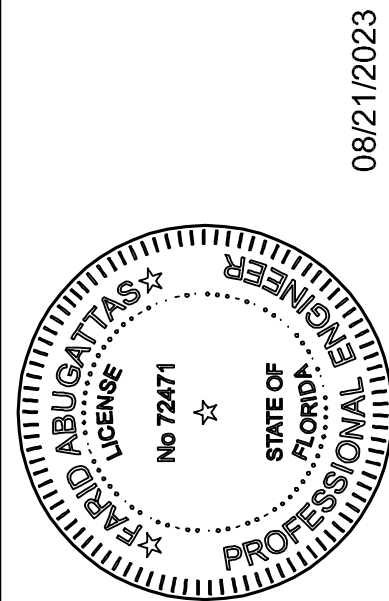
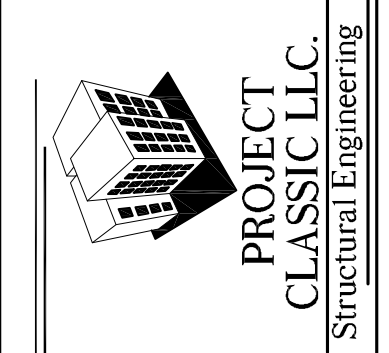


FOUNDATION AND FIRST FLOOR COLUMN PLAN



#	DESCRIPTION	DATE

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LICENSE # 72471, CA#29407
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EMAIL REFS TO: INFO@PROJECTCLASSIC.COM
SCHEDULE INSPECTIONS:
CARONELL@PROJECTCLASSIC.COM

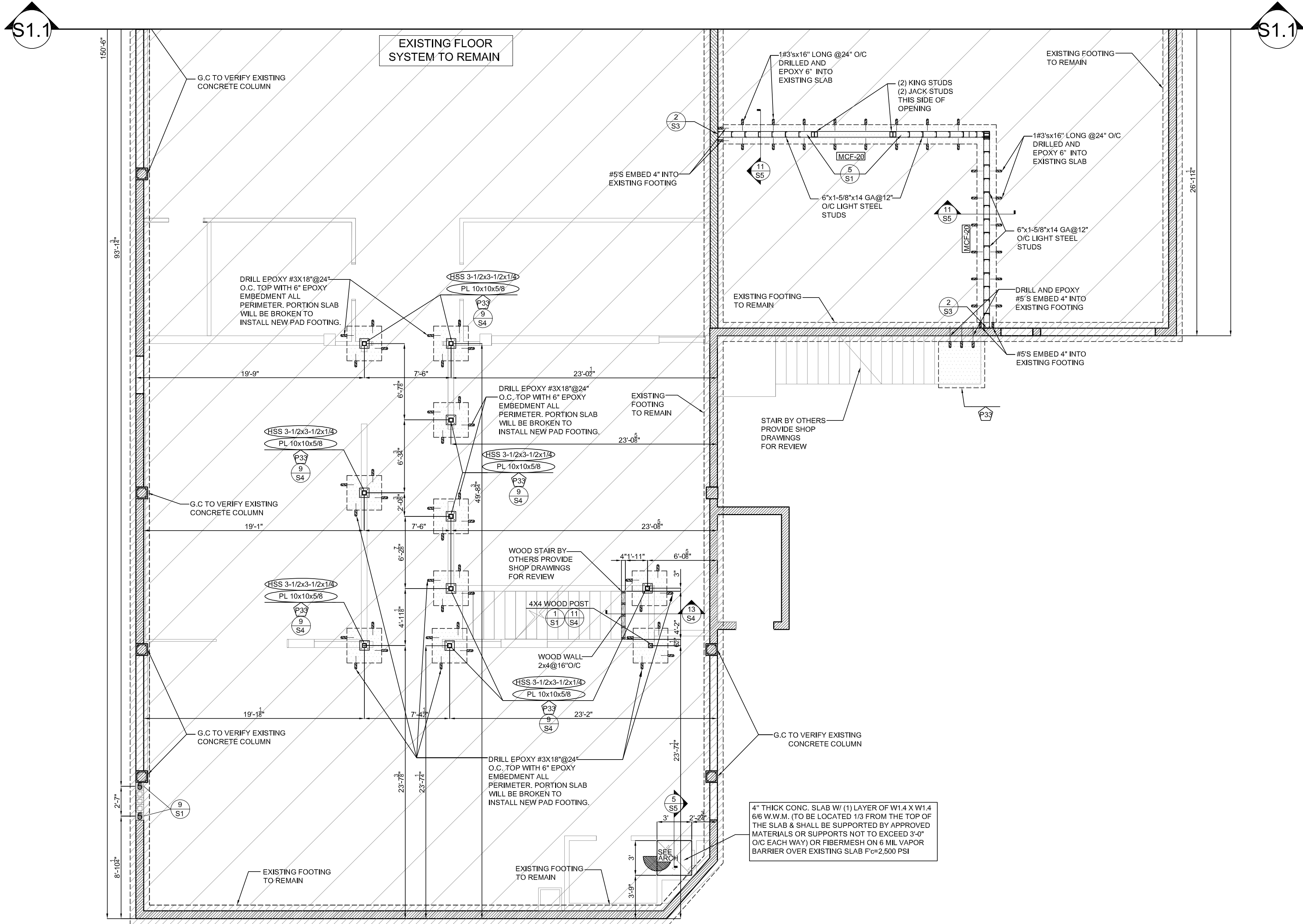


Call of Africa Remodel
1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN : F.A
CHECKED : F.A
DATE : 08/21/2023
JOB # : 11052
SHEET :

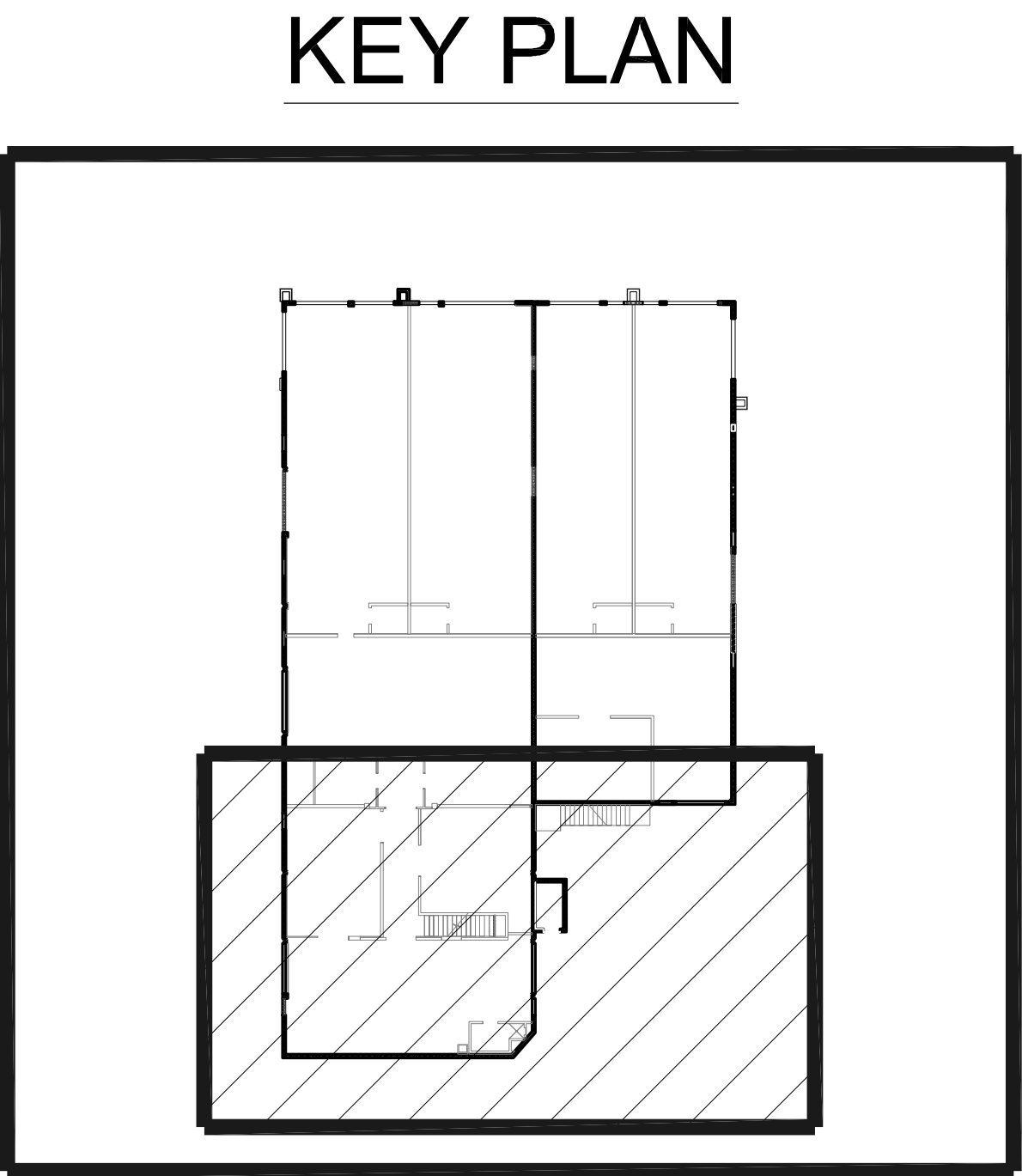
S1.1

OF 09



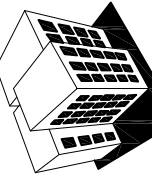
FOUNDATION AND FIRST FLOOR COLUMN PLAN

3/16" = 1'



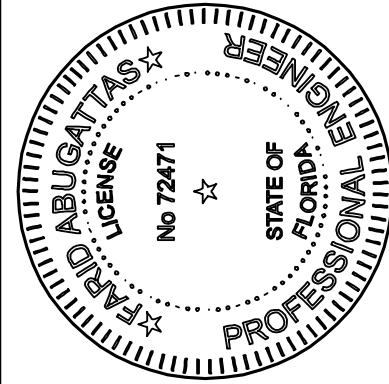
KEY PLAN

#	DESCRIPTION	DATE



**PROJECT
CLASSIC LLC.**
Structural Engineering

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SCHEDULE INSPECTIONS:
CARONELL@PROJECTCLASSIC.NE



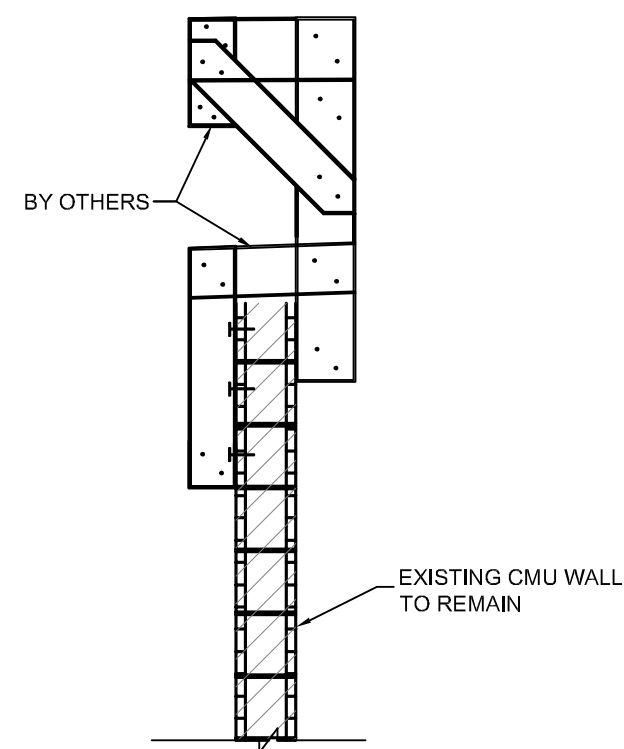
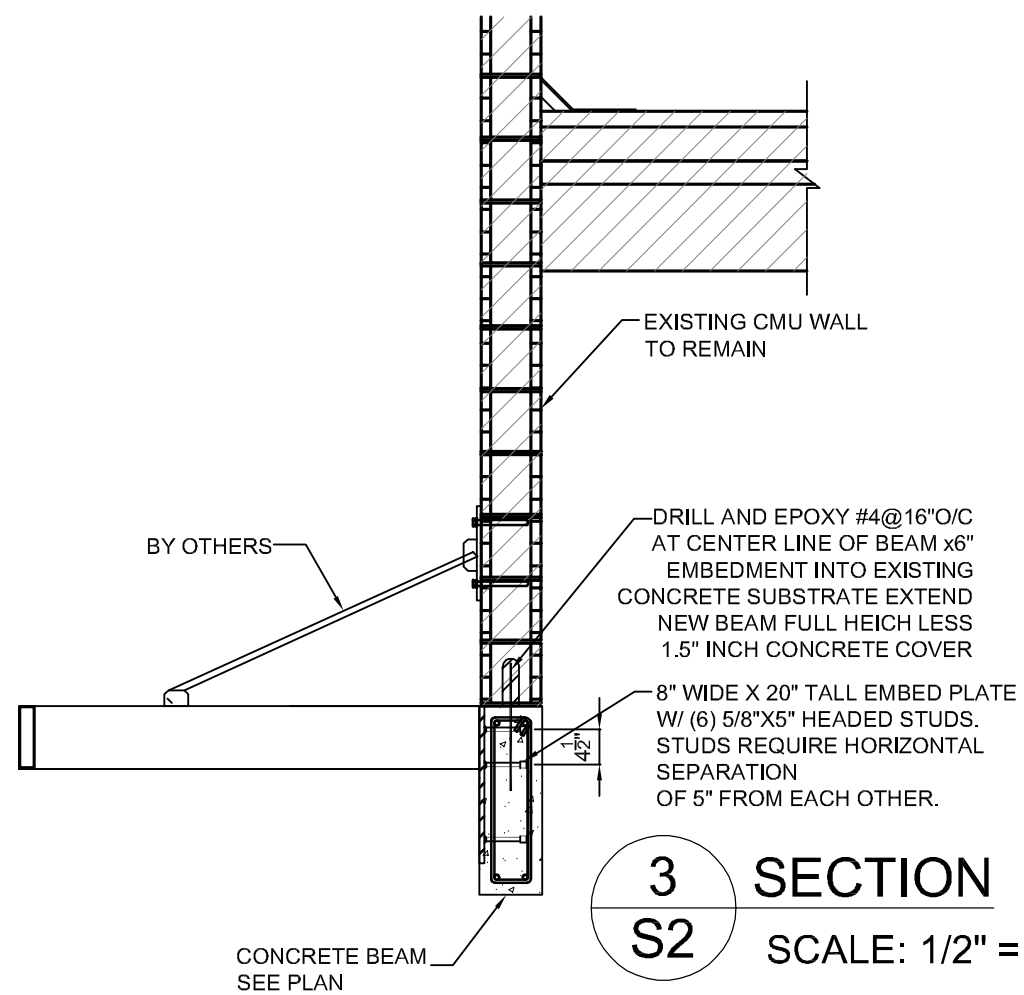
Call of Africa Remodel
1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN :	F.A
CHECKED :	F.A
DATE :	08/21/2023
JOB # :	11052
SHEET :	

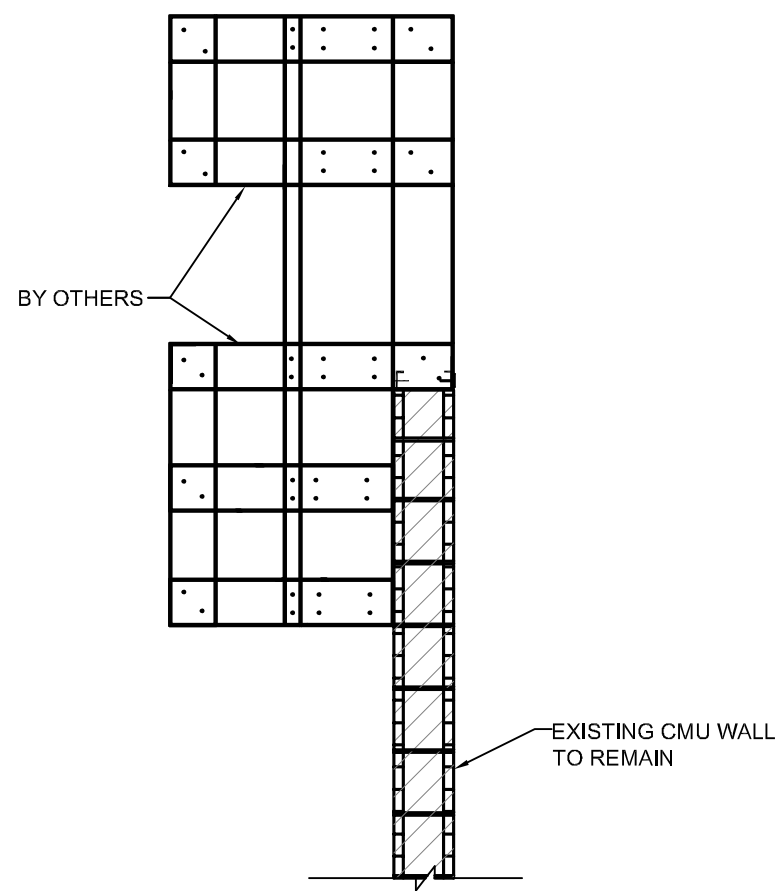
S1.2

OF 09

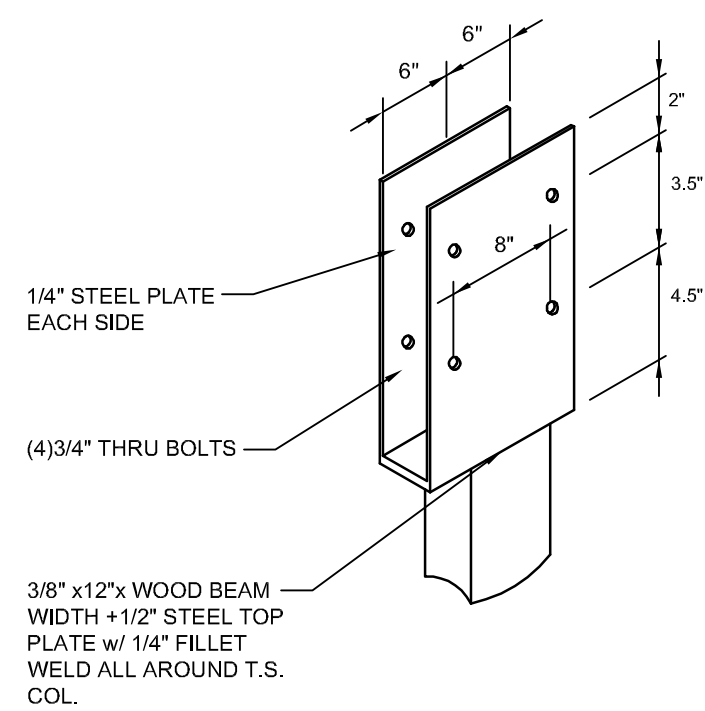
1 NOT USED
S2 SCALE: 1-1/2" = 1'



4 SECTION
S2 SCALE: 1/2" = 1'

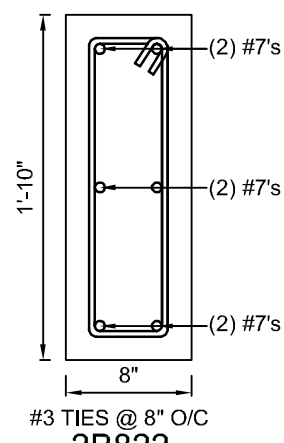


2 SECTION
S2 SCALE: 1/2" = 1'



5 x12 COLUMN CAP DETAIL
S2 SCALE: NTS

BEAM SECTIONS
END STIRRUPS MUST BE PLACED AS SPECIFIED AT EACH BEAM
END AND TO EACH SIDE OF EACH INTERMEDIATE BEAM SUPPORT



LOADING THIS LEVEL

INTERIOR FLOORS (150PSF)

DEAD (25 PSF) FLOOR SYSTEM= 7 PSF
FLOOR FINISHES = 15 PSF
DUCTWORK = 1 PSF
CEILINGS = 2 PSF


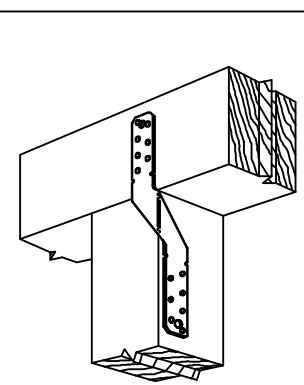
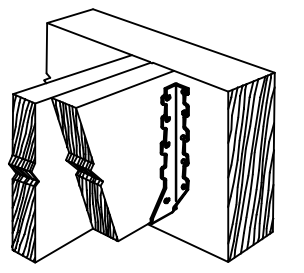
LIVE (125 PSF) STORAGE LIVE = 125 PSF

LOADING THIS LEVEL

LIGHT GAUGE STEEL ROOF (45 PSF) PER FBC2319.17.2.1.3

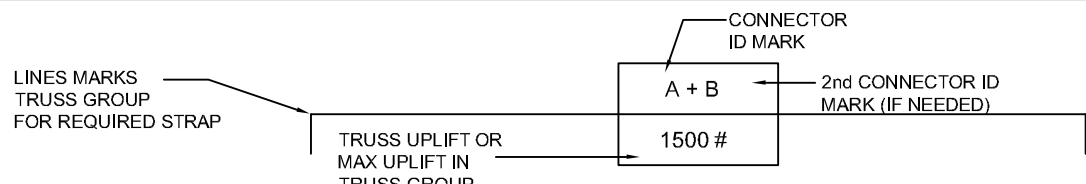
DEAD (15 PSF)


LIVE (30 PSF)

 Simpson Strong-Tie HTS

N
M Simpson Joist Hanger

TRUSS STRAP SCHEDULE (SIMPSON STRONG TIE)



MARK	CONNECTOR	FLORIDA PRODUCT APPROVAL NUMBER	ALLOWABLE LOAD (LBS)		NAILING		REMARKS
			UPLIFT (Pu) GRAVITY (FL/RF)	PERP. TO TRUSS CAPACITY (F1)	PARALLEL TO TRUSS CAPACITY (F2)	TRUSS/RAFTER/ HEADER	
	HU212	FL10655.22	1135	-	-	10-16d	6-10x14-12"
	HU 28	FL10655.10	605	895	4010	(4) 16d x 2-1/2"	

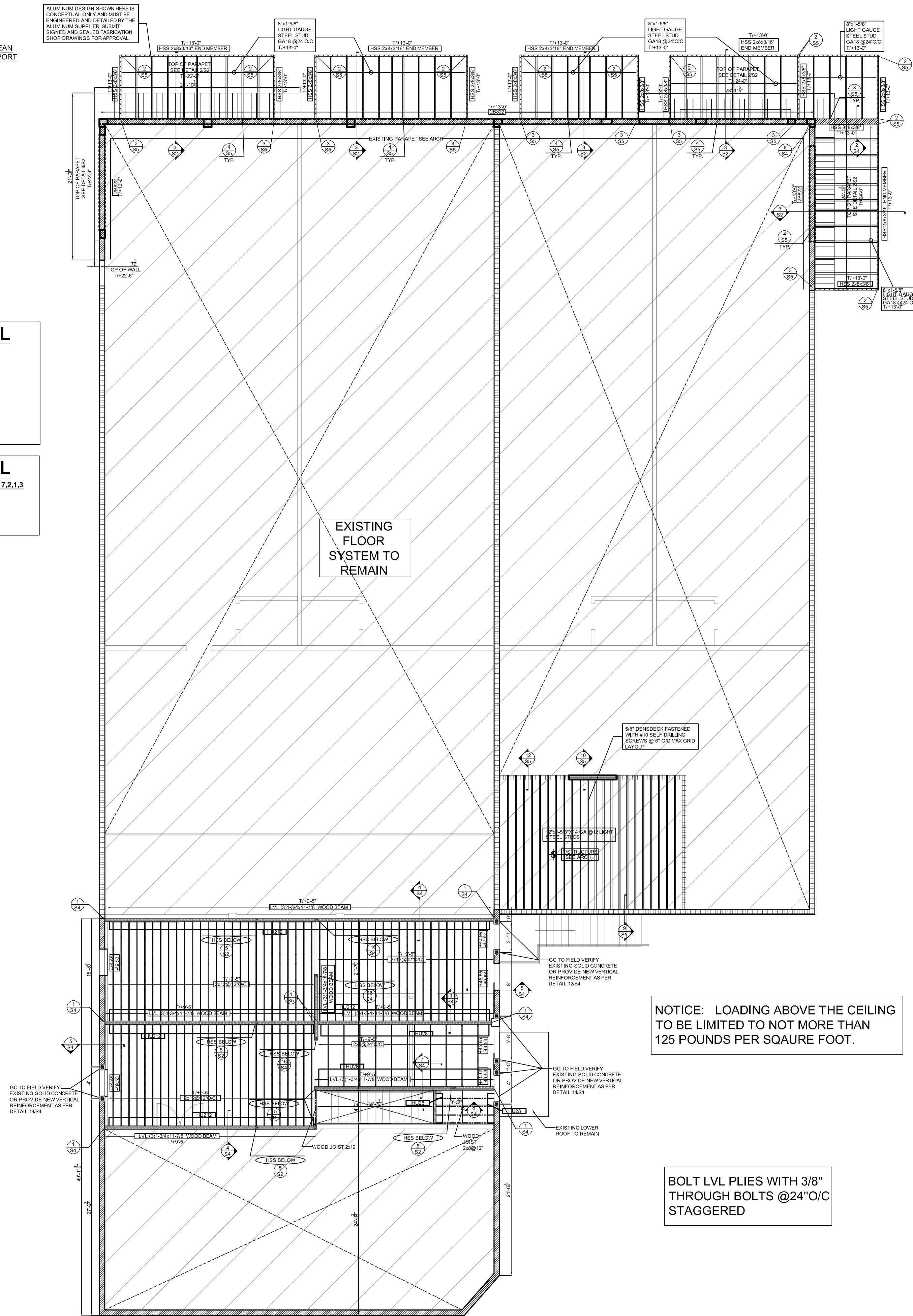
1) ALL TRUSS TO TRUSS CONNECTIONS TO BE BY TRUSS MANUFACTURER. ALL VALUES ARE BASED ON DOUG-FIR-LARCH/SP. PINE TRIMBER.

2) NAILS SHALL BE INSTALLED IN LOWER-MOST HOLES OF STRAP AND SHALL BE FILLED PROGRESSING UPWARD TOWARD THE TOP OF THE STRAP.

3) WEDGE ANCHORS CAN NOT BE SUBSTITUTED FOR J-BOLTS OR EPOXIED THREADED RODS SHOWN ON SCHEDULE.

4) SEE SIMPSON LATEST CATALOG FOR ALL REQUIREMENTS FOR THE INSTALLATION OF THESE CONNECTORS.

5) IF INDICATES MODEL NUMBER OF FASTENER TO BE DETERMINED BY CONTRACTOR. SUCH AS NUMBER OF TRUSS PLYS AND ROOF PITCH

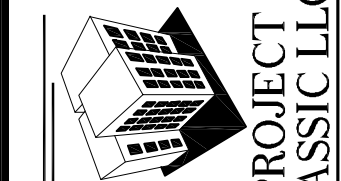


SECOND FLOOR FRAMING PLAN

$\frac{1}{8}'' = 1'$ 0' 4' 8' 12' 16' 20'

[illegible]

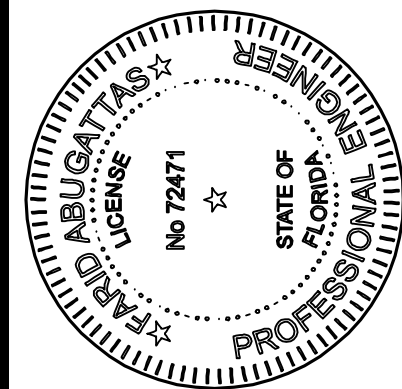
5968 NW 77TH TERRACE
PARKLAND, FL 33067
PHONE: (954) 667 - 7803
FARID ABUGATTAS, P.E.
LICENSE # 72471, CA#2944
WWW.PROJECTCLASSIC.
EMAIL: RFIS TO: INFO@PR
SCHEDULE INSPECTIONS
CARBONELL@PROJECTCT



**PROJECT
CLASSIC LLC.**

Structural Engineering

08/21/2023



Call of Africa Remodel

1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN : F.A

CHECKED : F.A

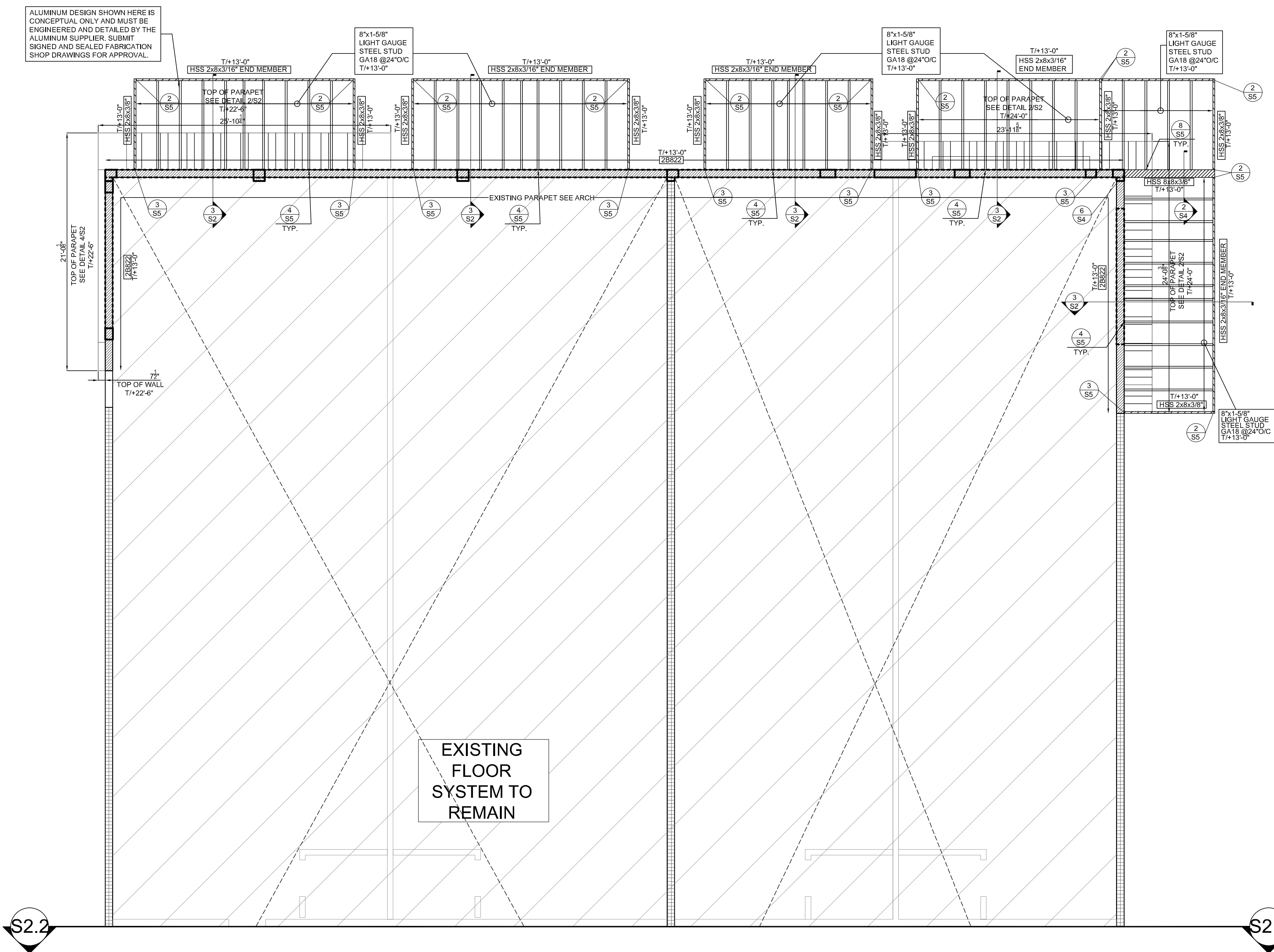
DATE : 08/21/2023

JOB #: 11052

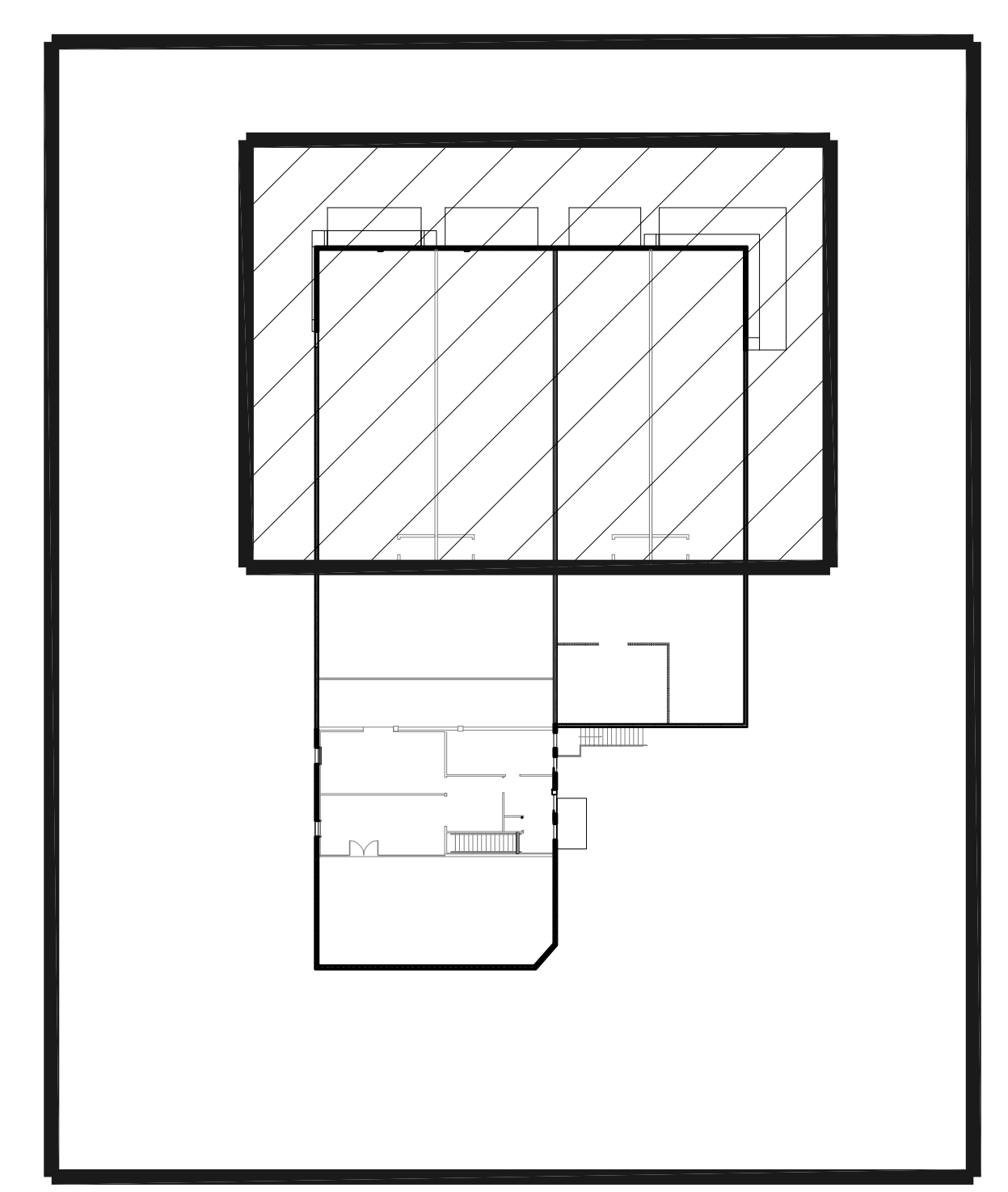
SHEET :

S2

OF 09



KEY PLAN



#	DESCRIPTION	DATE

5968 NW 77TH TERRACE
PARKLAND, FL 33067
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FARID ABUGATTAS, P.E.
LICENSE # 72471, CA#29407
WWW.PROJECTCLASSIC.COM
EMAIL RFS TO: INFO@PROJECTCLASSIC.COM
SCHEDULE INSPECTIONS:
CARBONELL@PROJECTCLASSIC.ME

PROJECT CLASSIC LLC.
Structural Engineering

08/21/2023

Call of Africa Remodel
1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN : F.A
CHECKED : F.A
DATE : 08/21/2023
JOB # : 11052
SHEET :

S2.1

OF 09



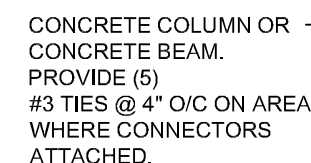
$\frac{3}{16}'' = 1'$ 0' 4' 8' 12'

This architectural floor plan shows the second floor of the 'House of the Future'. The plan is divided into two main sections by a central vertical corridor. The left section contains a large rectangular room with a thick black border, which is filled with diagonal hatching. This room has a small square area in the bottom right corner. The right section contains a large rectangular room with a thick black border, also filled with diagonal hatching. This room has a small square area in the bottom right corner. The central corridor is a narrow vertical strip. The overall layout is symmetrical. The plan is enclosed in a thick black rectangular border.

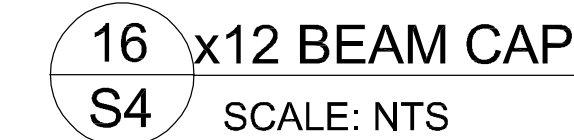
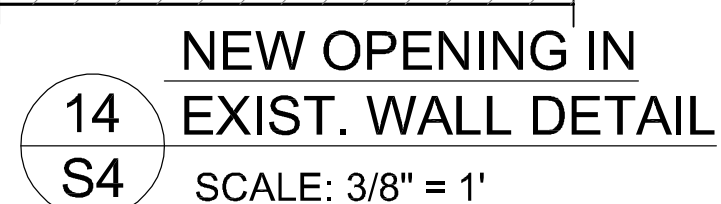
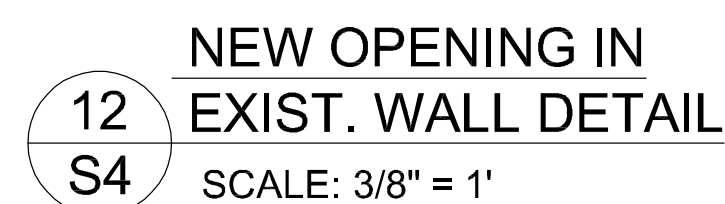
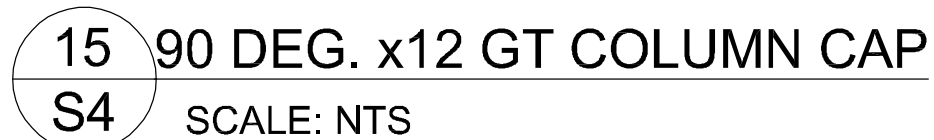
S2.2



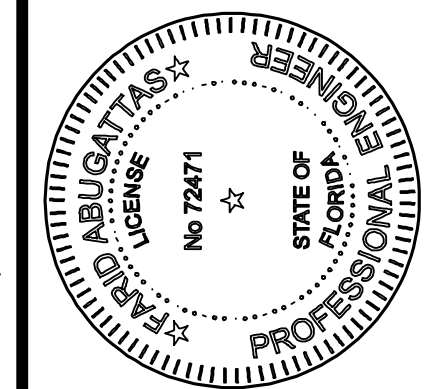
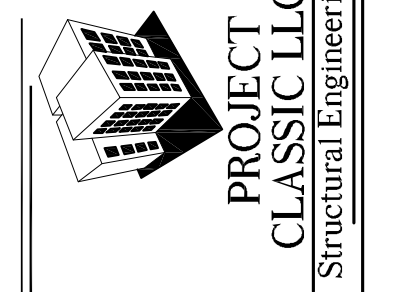
S4 SCALE: 1-1/2" = 1'



6 2STUD
S4 SCALE: 1-1/2" = 1'



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CARBONELL@PROJECTCLASSIC.ME

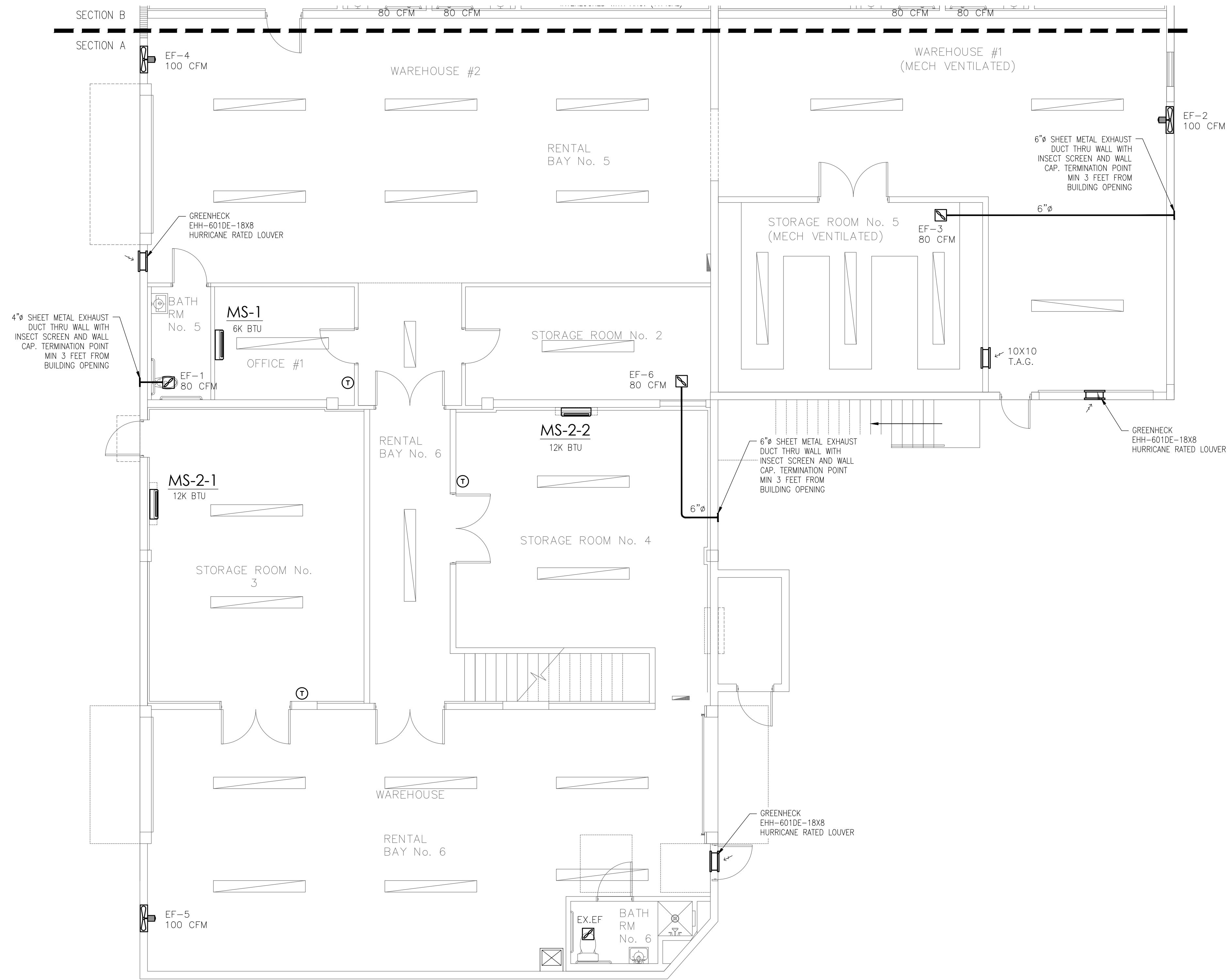


Call of Africa Remodel

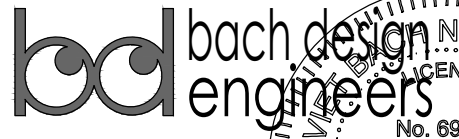
1457 NE 4th Ave Ft Lauderdale, Florida 33304

DRAWN :	F.A
CHECKED :	F.A
DATE :	08/21/2
JOB # :	11052
SHEET :	

S4



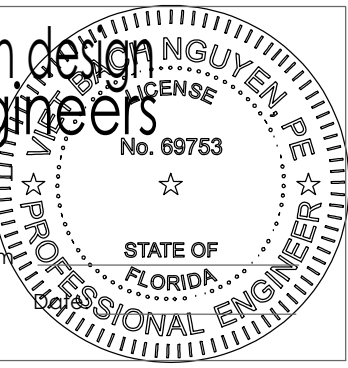
MECHANICAL 1ST FLOOR PLAN - SECTION A
scale: 3/16" = 1'-0"

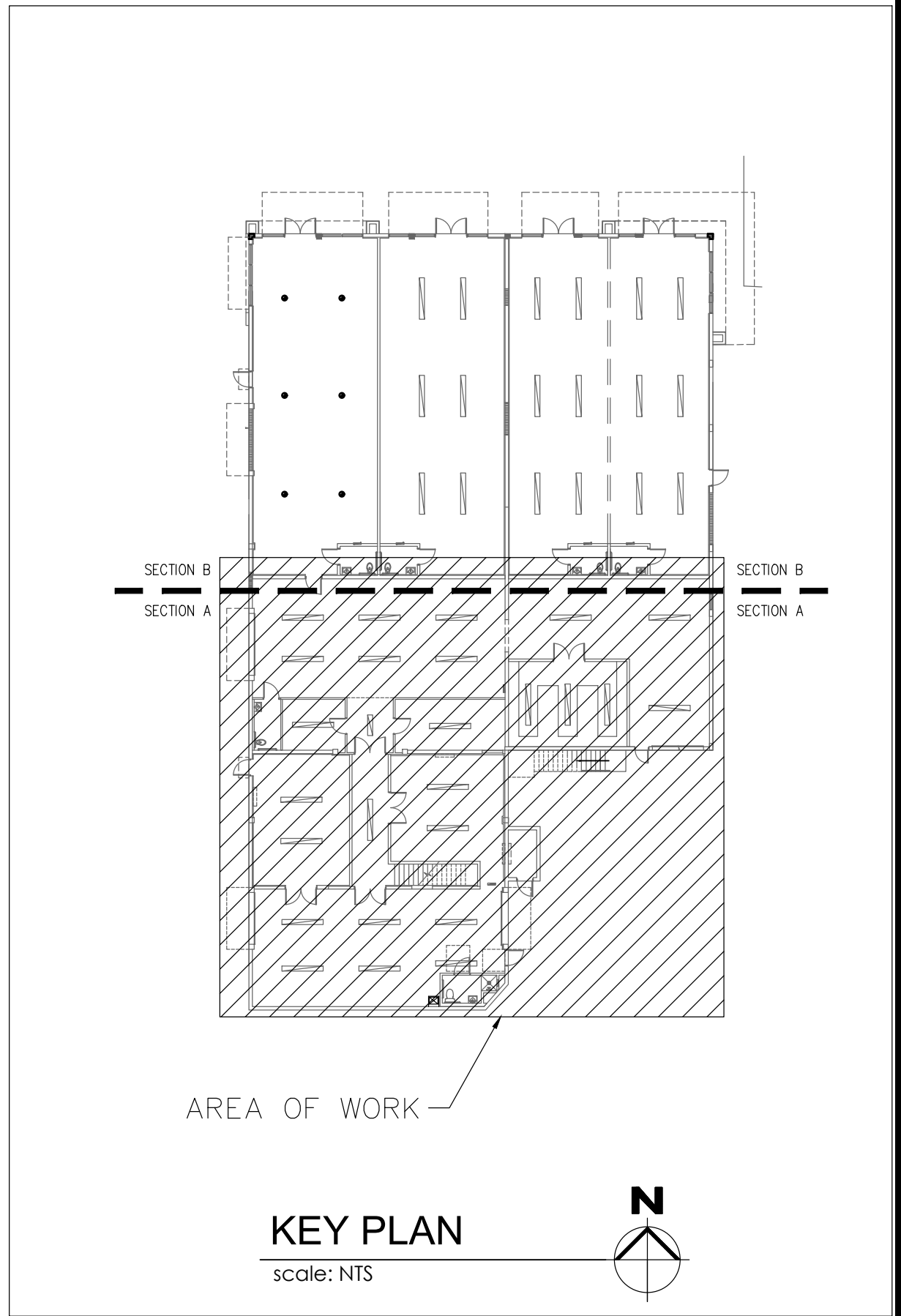


bach design
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bach@bachengineers.com
CA#28926

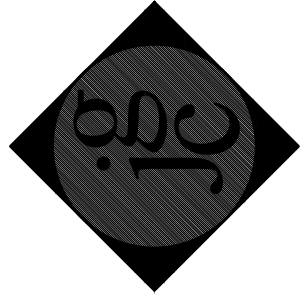
Viet Bach Nguyen, P.E.
Florida License #69753





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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

AA26001131

DRAWN **DBK**

CHECKED **G.J.C.**

DATE **11-12-22**

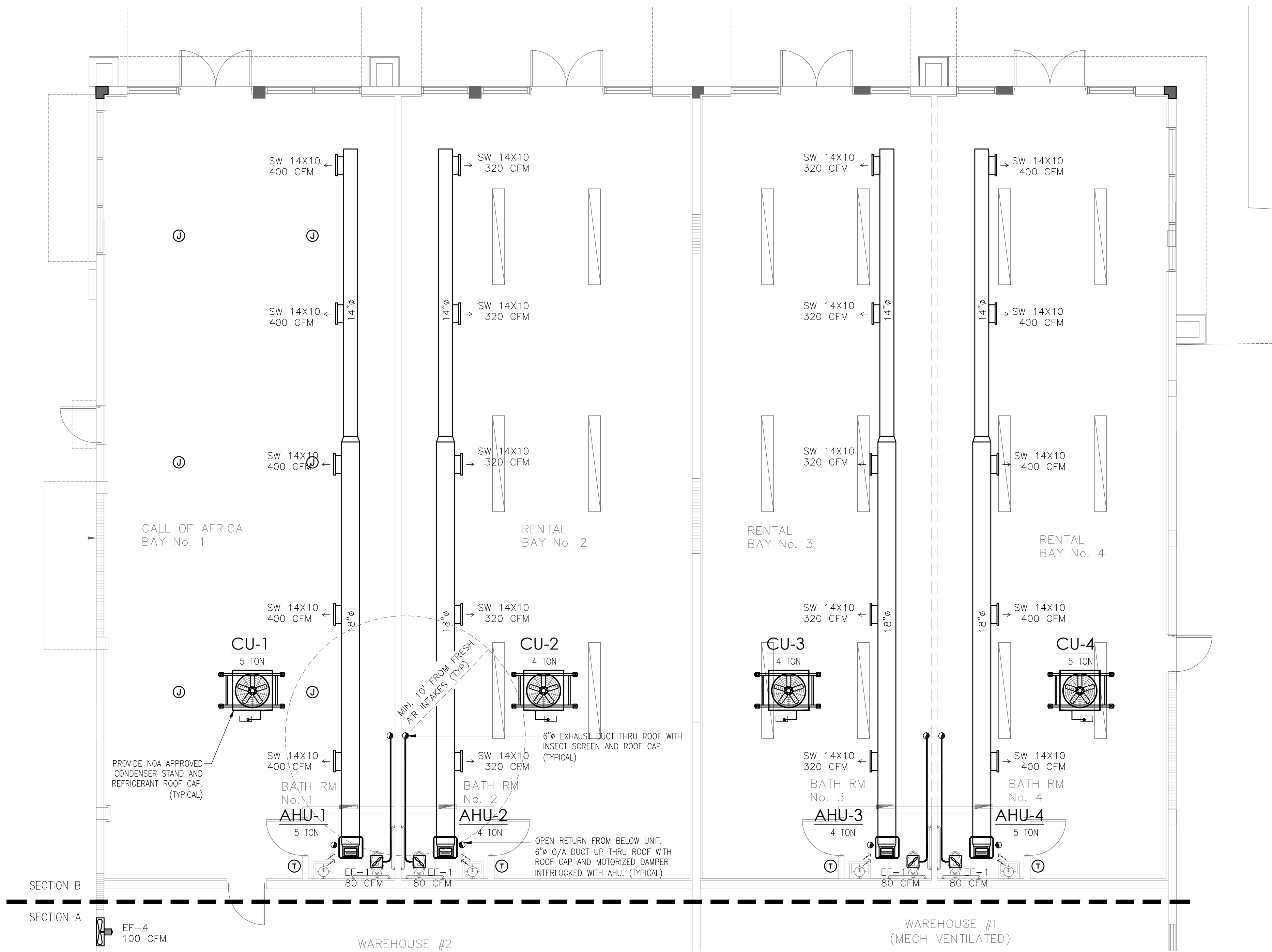
SCALE

JOB NO. **22-053**

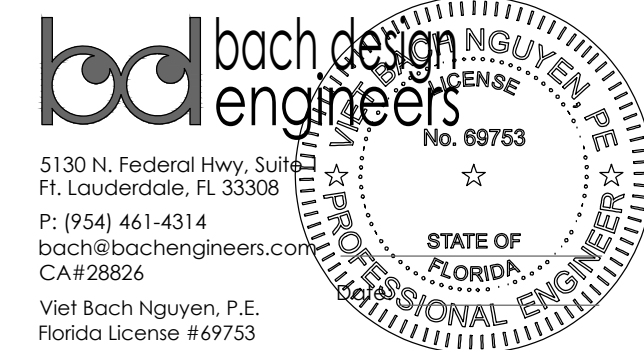
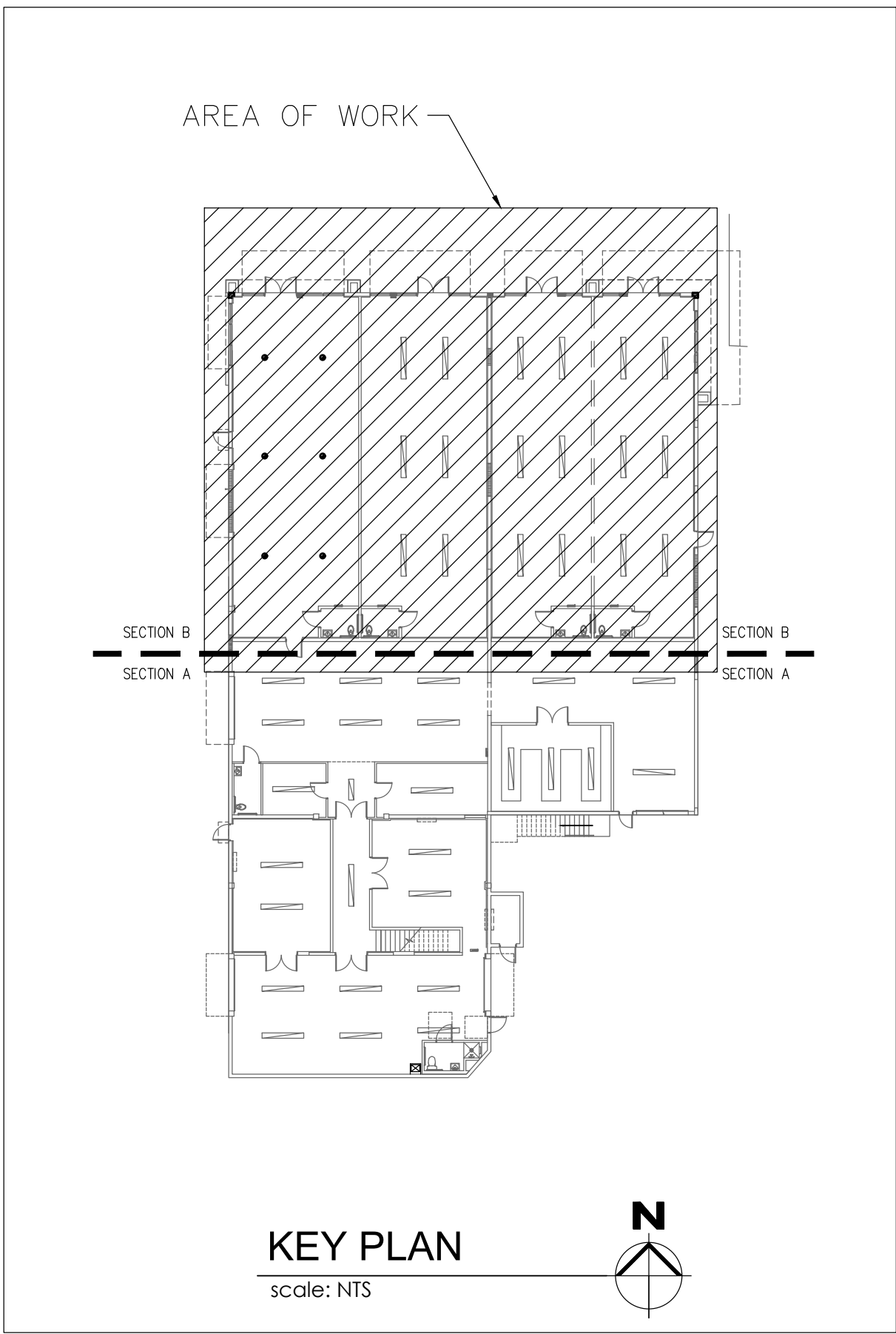
SHEET

M-1.1

OF SHEETS



MECHANICAL 1ST FLOOR PLAN - SECTION B
scale: 3/16" = 1'-0"



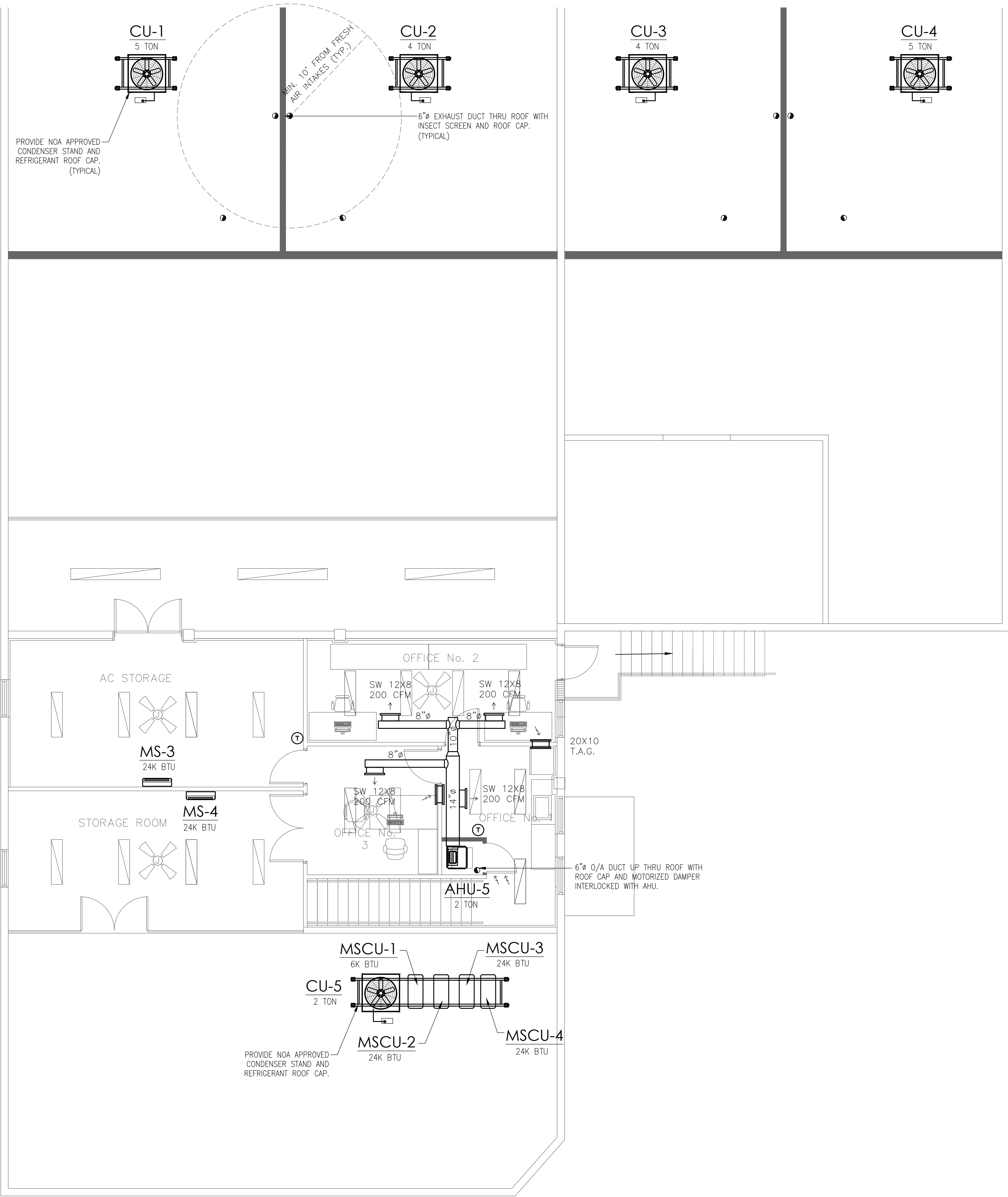
REVISION	BY:

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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

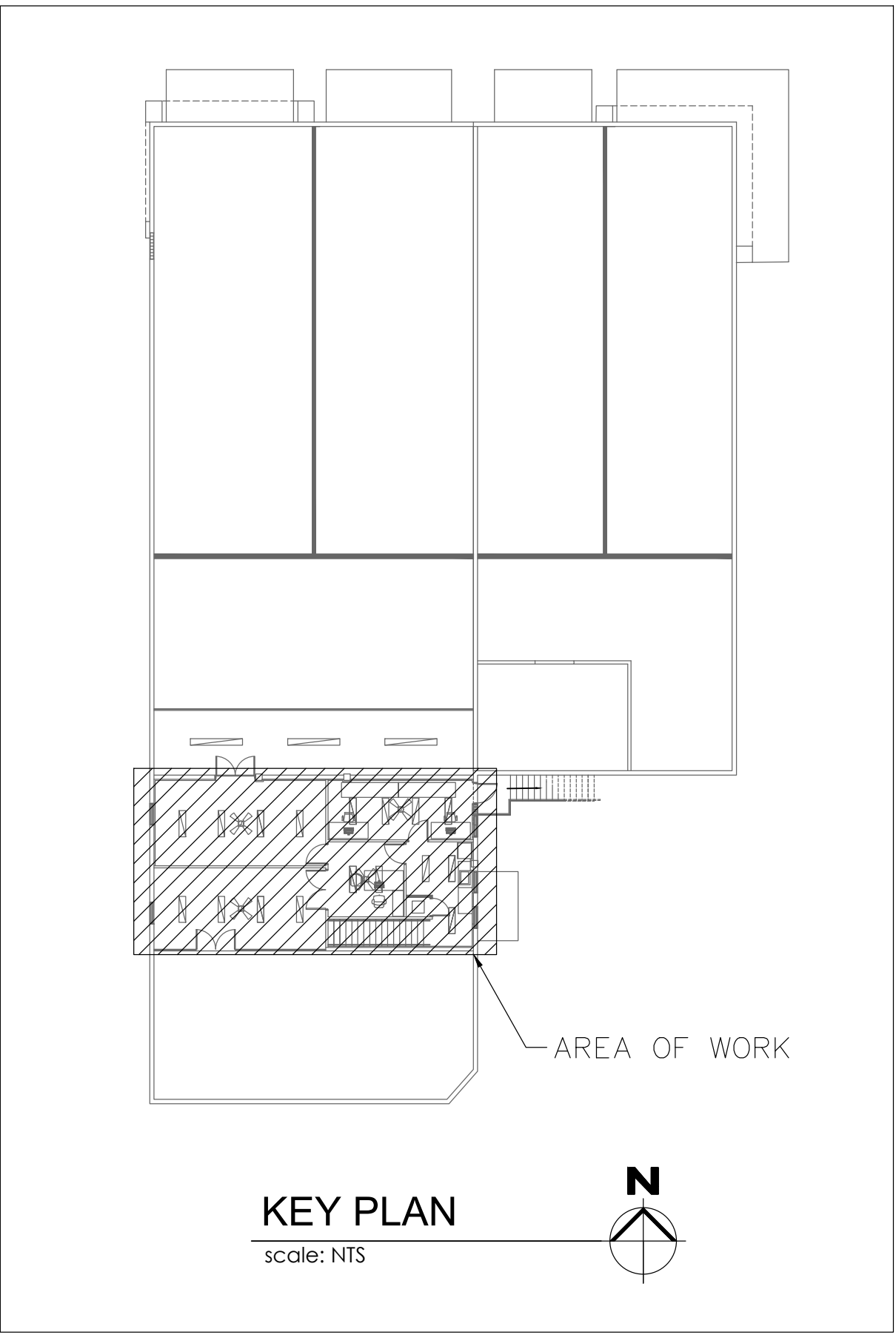
SEAL:	AR NO. 0007957
AA26001131	

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB NO.	22-053
SHEET	
M-1.2	
OF	SHEETS



MECHANICAL 2ND FLOOR PLAN

scale: 3/16" = 1'-0"



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VIET BACH NGUYEN, P.E.
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No. 69753

STATE OF
FLORIDA
PROFESSIONAL ENGINEER

REVISION	BY:

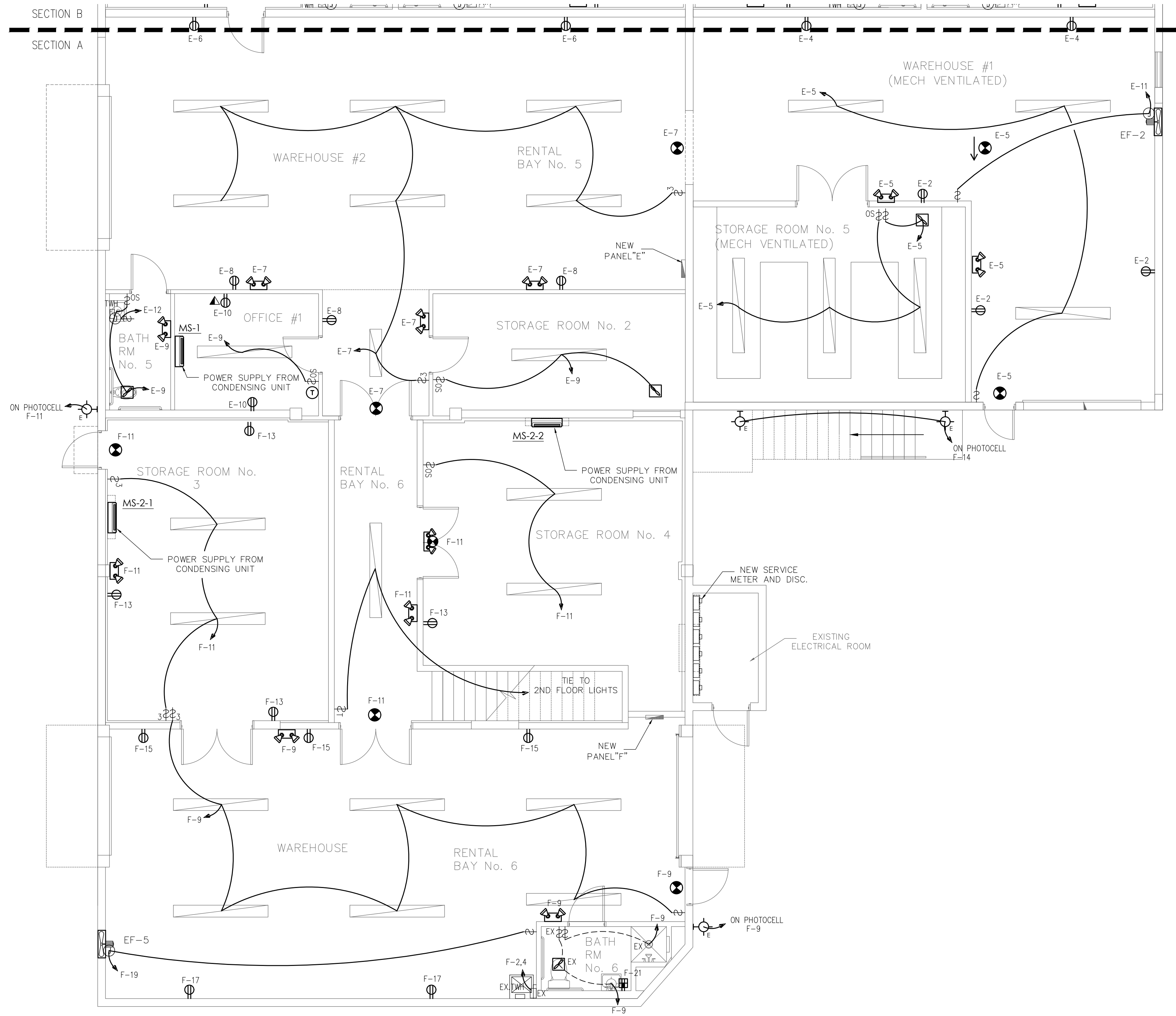
GUSTAVO J. CARBONELL, P.A.
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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

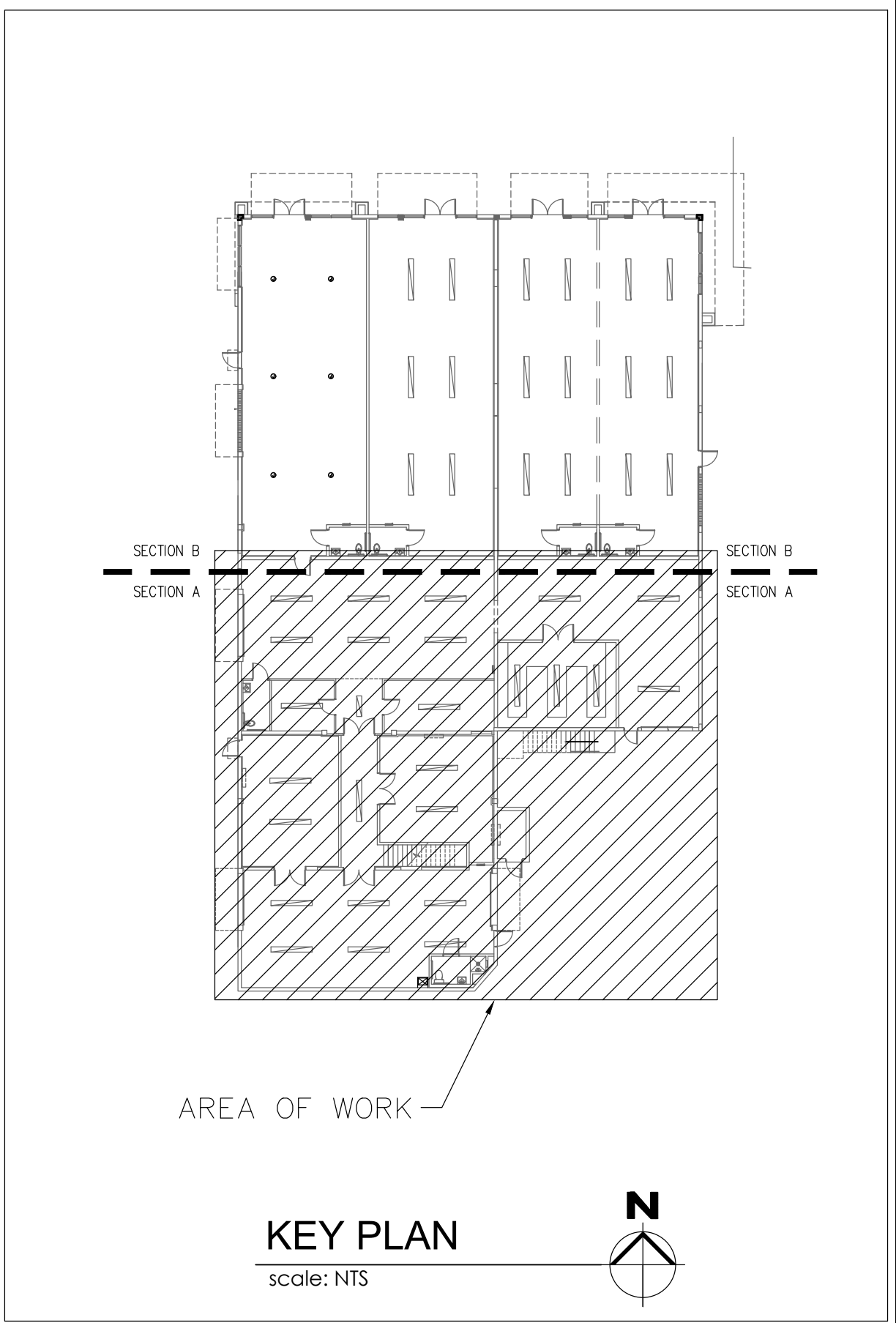
AA26001131

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	
M-2	
OF	SHEETS



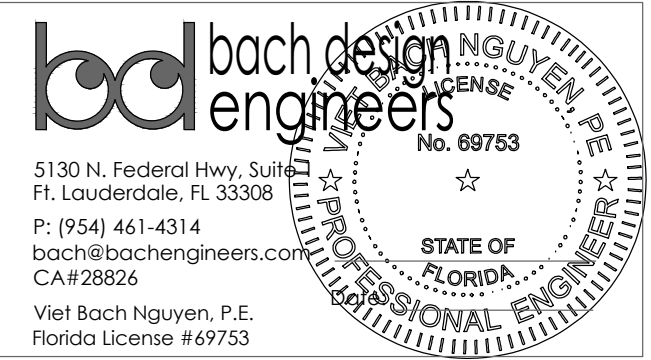
ELECTRICAL 1ST FLOOR PLAN - SECTION A

scale: 3/16" = 1'-0"



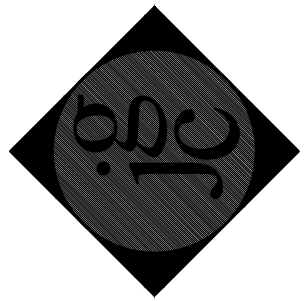
KEY PLAN

scale: NTS



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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

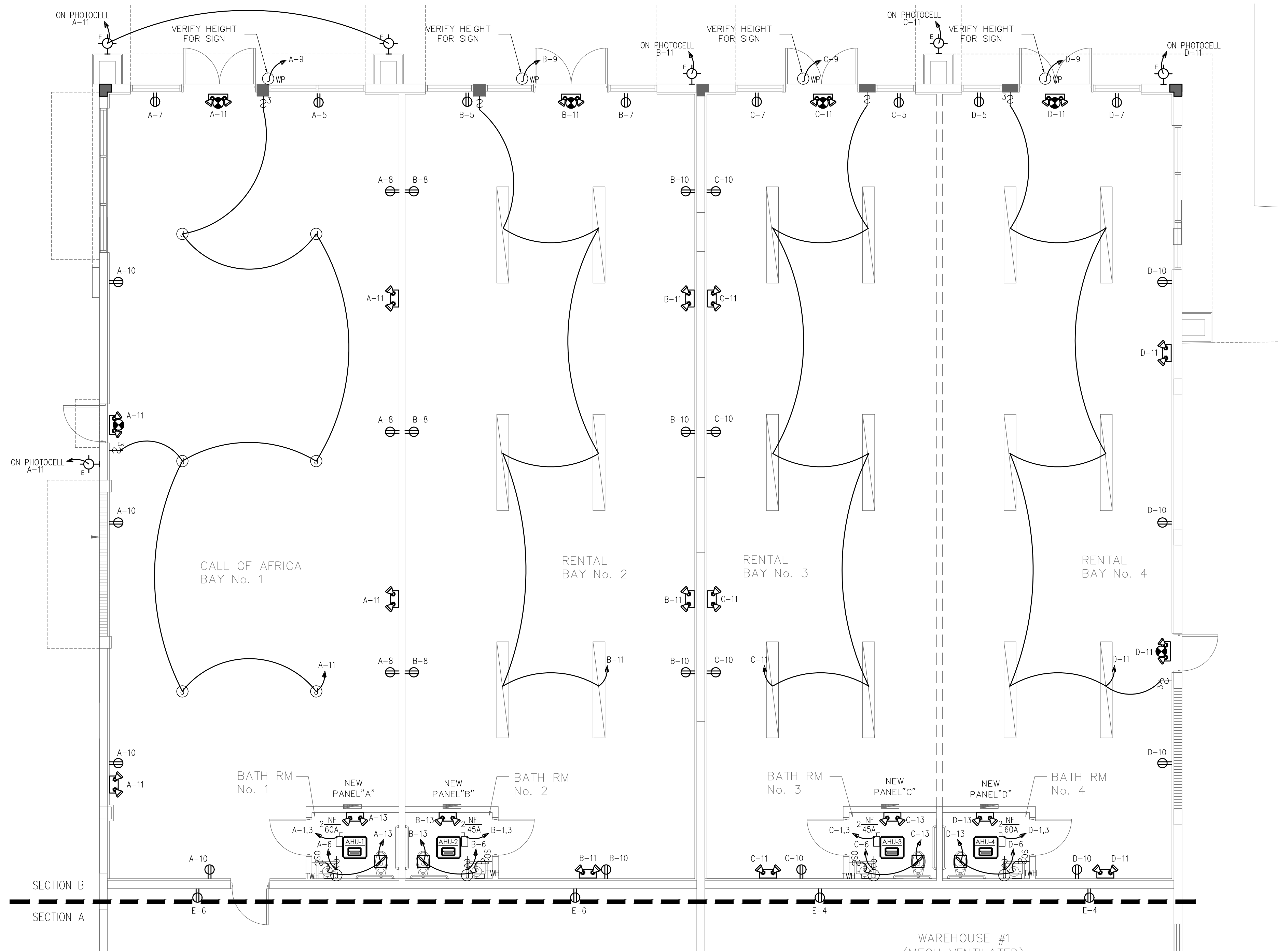
SEAL: AR NO. 0007957

AA26001131

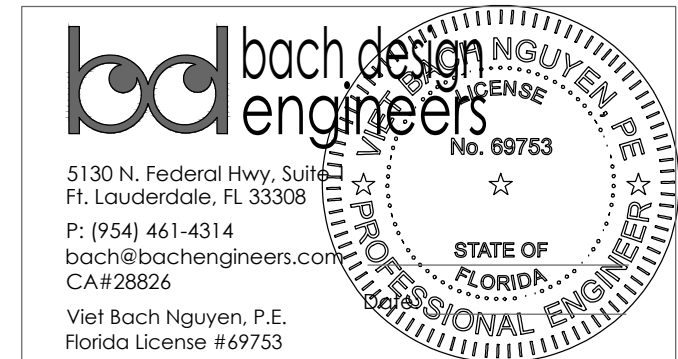
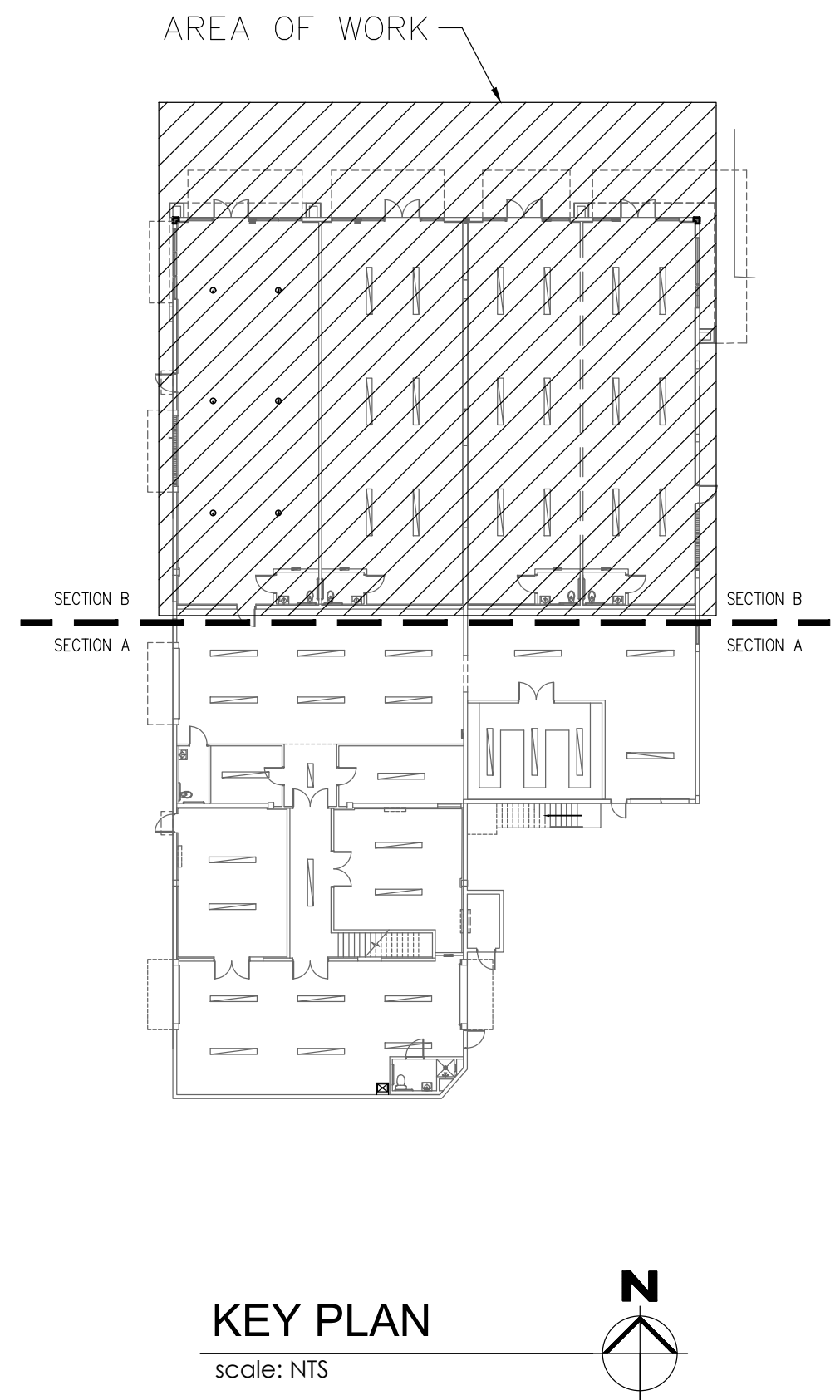
DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

E-1.1

OF SHEETS



ELECTRICAL 1ST FLOOR PLAN - SECTION B
scale: 3/16" = 1'-0"



REVISION	BY:

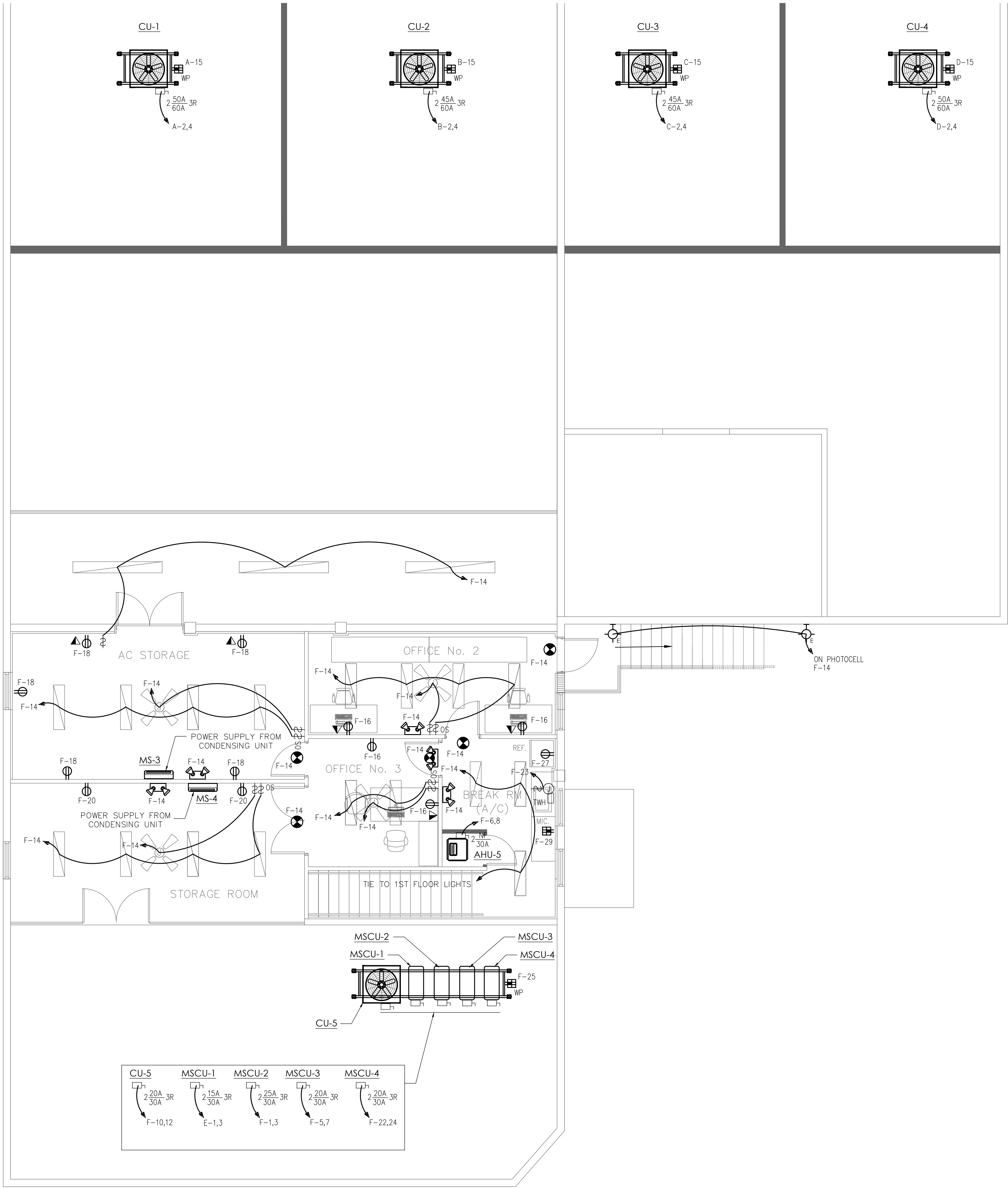
GUSTAVO J. CARBONELL, P.A.
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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
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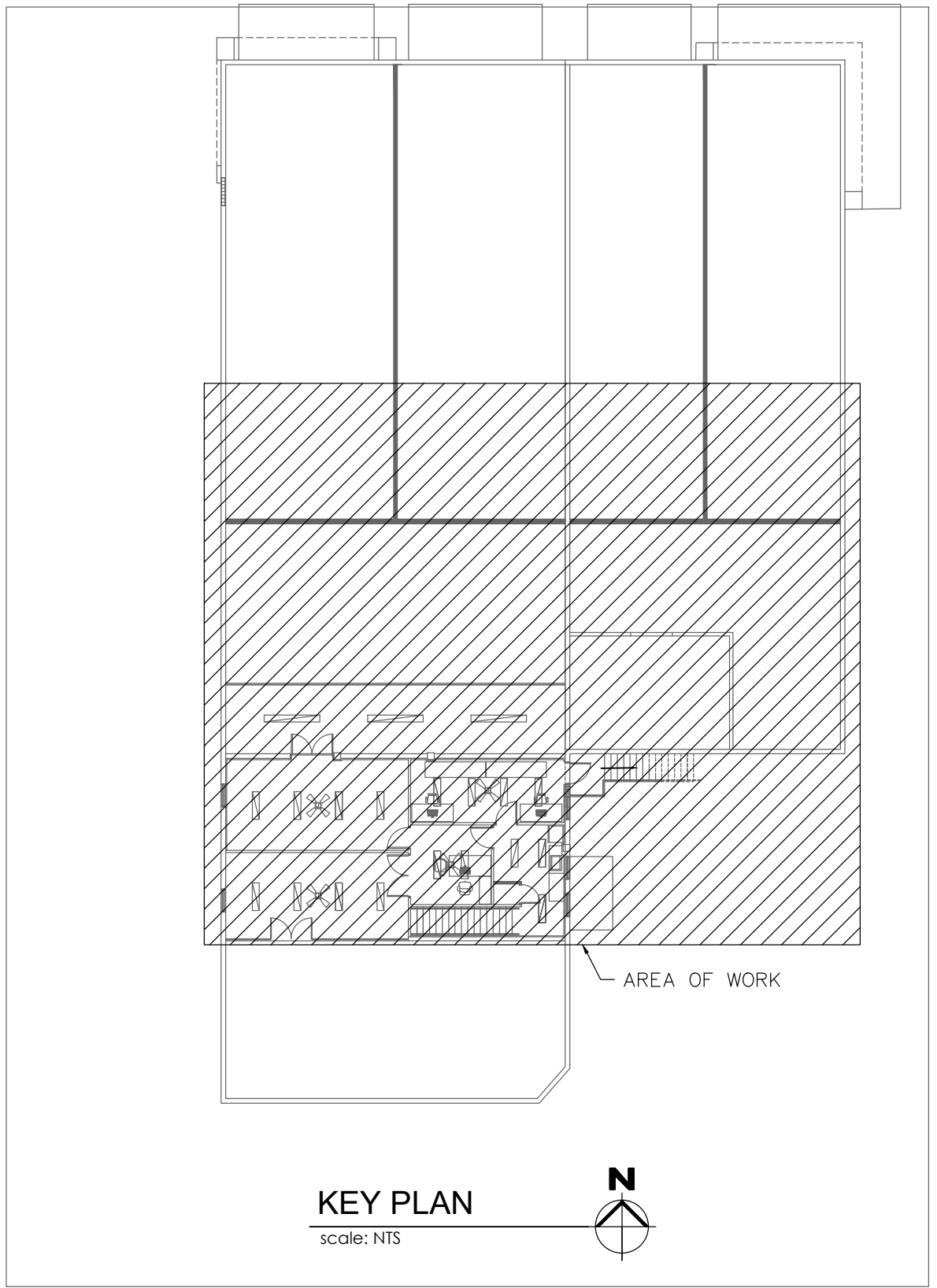
SEAL:	AR NO. 0007957
AA26001131	

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	E-1.2
OF	SHEETS

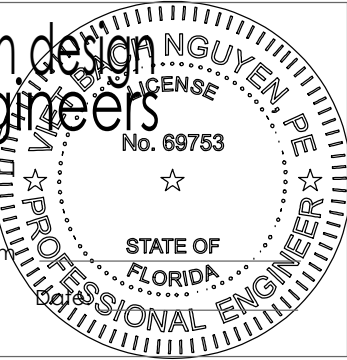
POWER LEGEND	
SYMBOL	DESCRIPTION
	120V, 20A, THREE WAY SWITCH
	7 DAY PROGRAMS SWITCH
	120V, 20A, OCCUPANCY SENSOR SWITCH
	CEILING DUPLEX RECEPT.
	CEILING QUADRAPLEX RECEPTACLE
	120V, 20A QUADRAPLEX RECEPTACLE
	DUPLEX RECEPT. (20A, +18"O.C. FROM A.F.F, U.N.D)
	GFCI RECEPT. (20A, +18"O.C. FROM A.F.F, U.N.D)
	FLOOR GFCI RECEPT.
	JUNCTION BOX (4X4" GALVANIZED STEEL, 18",U.N.D)
	DATA/TELEPHONE OUTLET (+18"O.C. A.F.F, U.N.D)
	HATCH AREA INDICATES PHONE PROVIDE 3/4"EMT 6" ABOVE CEILING W/ PULL STRING FOR EACH FUNCTION. FACE PLATES, JACKS AND CABLING TO BE BY TENANT
	EXIT LIGHT FIXTURE WITH BATTERY PACK
	EMERGENCY LIGHT FIXTURE WITH BATTERY PACK
	COMBO EXIT LIGHT/EMERGENCY LIGHT FIXTURE WITH BATTERY PACK
	HP RATED DISCONNECT (+60"O.C. A.F.F, U.N.D) NEMA 3R FOR EXTERIOR AND NEMA 1 FOR INTERIOR.
	PANELBOARD (+60" A.F.F O.C OF PNL, U.N.D)
	LIGHTING RELAY PANEL SEE SCHEDULE FOR DETAILS
	CURRENT LIMITER PANEL SEE SCHEDULE FOR DETAILS
	45A (3R) FUSE SIZE 60A (3R) (NEMA RATING) FRAME SIZE NUMBER OF POLES
	WIRE IN FREE AIR SUPPORTED TO BLDG. STRUCTURE



ELECTRICAL 2ND FLOOR PLAN
scale: 3/16" = 1'-0"

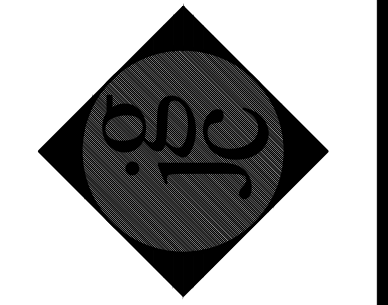


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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

AA26001131

DRAWN	DBK
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DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

E-2
OF SHEETS



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SEAL: AR NO. 0007957

AA26001131

E-3

OF SHEETS

Manufacturer: SQUARE D DO OR EQUAL

Location: BACK AREA

Project No:

Mounting: SURFACE

Type: NEMA 1

A.I.C: 10K

Panel SCHEDULE

Rated Voltage: 120V/208V

Rated Amps: (On bus)

Main:

"1"

3PH, 4W

SPACES:

MLO

KVA									
OT/APP	PH	ROPT	LT/TOCNT	HT/CHEN	MOTORAPP	MAX EST (B)	VOLT DROP	AWG	CONDUCT (IN)
O.C.P.	CIRCUIT DESIGNATION				NOTE				
1.04	A	1.20				110	3%	12	MC
									201
									WAREHOUSE #1 RECEPT.
									2
1.04	B	1.20				110	3%	12	MC
									201
									WAREHOUSE #1 RECEPT.
									4
C	1.20					110	3%	12	MC
									201
									WAREHOUSE #2 RECEPT.
									6
A	1.20					110	3%	12	MC
									201
									WAREHOUSE #2 RECEPT.
									8
B	0.60					219	3%	12	MC
									201
									OFFICE RECEPT.
									10
6.30	C		3.50			82	3%	19	MC
									301
									TWH
									12
A									
									SPACE
									14
B									
									SPACE
									16
C									
									SPACE
									18
A									
									SPACE
									20
B									
									SPACE
									22
C									
									SPACE
									24
A									
									SPACE
									26
B									
									SPACE
									28
C									
									SPACE
									30
A									
									SPACE
									32
B									
									SPACE
									34
C									
									SPACE
									36
A									
									SPACE
									38
B									
									SPACE
									40
C									
									SPACE
									42
2.4	5.4	0.0	0.0	3.5		SUB-TOTAL CONNECTED LOAD			

PHASE: A B C TOTAL

ARGIES' MOTOR @ 25% 0.2 0.2 0.4 0.6

MOTOR LOADS @ 100% 1.0 1.0 3.8 5.9

USING LOAD @ 100% 0.8 0.8 1.6 3.2

TO-TEN LOADS @ 65% 0.0 0.0 2.2 0.6

AGLE COMPUTED LOAD 2.4 1.8 1.2 5.4

COMPUTED LOAD: 4.4 3.6 7.0 15.3 KVA

37 32 58 42.4 A

SEE NOTES AS APPL TO A, B, E

note 1 verify exact O.C.P.D. with nameplate

note 2 lockable circuit breaker

note 3 SHUNT TRIP C.B.

note 4 GFCI type circuit breaker

note 5 HACR C.B.

note 6 non commercial load

note 7 RUN THROUGH LIGHTING RELAY PANEL

NOTE	CIRCUIT DESIGNATION	O.C.P.	CONDUCT (IN)	AWG	MAX EST (B)	VOLT DROP	ROPT	LT/TOCNT	KVA
1	MSCU-2	202	1/2"	10	135	3%			
3				10	135	3%			
5	MSCU-3	202	1/2"	12	91	3%			
7				12	91	3%			
9	1ST FLOOR LIGHTS	201	MC	12	219	3%		0.90	
11	1ST FLOOR LIGHTS	201	MC	12	219	3%		0.90	
13	STORAGE AND HALL RECEPT.	201	MC	12	110	3%	1.20		
15	WAREHOUSE RECEPT.	201	MC	12	110	3%	1.20		
17	WAREHOUSE RECEPT.	201	MC	12	110	3%	1.20		
19	EF-5	201	MC	12	439	3%			
21	BATH RECEPT.	201	MC	12	110	3%	1.20		
23	TWH	201	MC	12	38	3%			
25	ROOF TOP RECEPT.	201	MC	12	110	3%	1.20		
27	2nd FL BREAK ROOM REFRIG.	201	MC	12	132	3%			
29	2nd FL BREAK ROOM MIC.	201	MC	12	110	3%			
31	SPACE								
33	SPACE								
35	SPACE								
37	SPACE								
39	SPACE								
41	SPACE								
SUB-TOTAL CONNECTED LOAD									6.0 1.2

CONNECTED LOAD PHASE A 13.9

CONNECTED LOAD PHASE B 12.8

CONNECTED LOAD PHASE C 12.6

TOTAL CONNECTED LOAD 39.5

RECEPT CONNECTED LOAD PHA 3.5

RECEPT CONNECTED LOAD PHB 3.5

RECEPT CONNECTED LOAD PHC 2.4

CONTINUED

CONN

CONN

CONN

[illegible]

PANEL SCHEDULE

Panel Voltage: 120/208V

Rated Amps (Cu bus): 200A

Main: MLO

NEW

3PH, 4W

SPACES: 42

Manufacturers:

Location: BACK AREA

Project No:

SQUARE DQ OR EQUAL

BACK AREA

A.I.C:

Mounting:

Type: NEMA 1

GW:

NOTE

CIRCUIT DESIGNATION

D.C.P

CONDUCT (IN)

AWG (DIST (FT))

VOLTS DROP

RCPH

LT/DOONT

KITCHEN

MOTOR/APP

PH

RCPH

LT/DOONT

KITCHEN

MOTOR/APP

MAX (EST (FT))

VOLTS DROP

AWG

CONDUCT (IN)

D.C.P

CIRCUIT DESIGNATION

NOTE

1

MISCU-1

150

92"

12

127

3%

1.04

A

1.20

110

3%

12

MC

201

WAREHOUSE #1 RECEPT.

2

3

12

127

3%

1.04

B

1.20

110

3%

12

MC

201

WAREHOUSE #1 RECEPT.

4

5

WAREHOUSE #1 LIGHTS

201

MC

12

82

3%

1.60

C

1.20

110

3%

12

MC

201

WAREHOUSE #1 RECEPT.

6

7

WAREHOUSE #2 LIGHTS

201

MC

12

165

3%

0.80

A

1.20

110

3%

12

MC

201

WAREHOUSE #2 RECEPT.

8

9

OFFICE/BATH LIGHTS

201

MC

12

165

3%

0.80

B

0.80

219

3%

12

MC

201

OFFICE RECEPT.

10

11

EF-2

201

MC

12

429

3%

6.30

C

3.50

82

3%

19

MC

301

TWH

12

13

SPACE

A

SPACE

14

15

SPACE

B

SPACE

16

17

SPACE

C

SPACE

18

19

SPACE

A

SPACE

20

21

SPACE

B

SPACE

22

23

SPACE

C

SPACE

24

25

SPACE

A

SPACE

26

27

SPACE

B

SPACE

28

29

SPACE

C

SPACE

30

31

SPACE

A

SPACE

32

33

SPACE

B

SPACE

34

35

SPACE

C

SPACE

36

37

SPACE

A

SPACE

38

39

SPACE

B

SPACE

40

41

SPACE

C

SPACE

42

SUBTOTAL CONNECTED LOAD

0.0

3.2

0.6

2.4

5.4

0.0

0.0

3.5

SUBTOTAL CONNECTED LOAD

CONNECTED LOAD PHASE A42

CONNECTED LOAD PHASE B36

CONNECTED LOAD PHASE C66

TOTAL CONNECTED LOAD14.5

RECEPT CONNECTED LOAD PHA2.4

RECEPT CONNECTED LOAD PHB1.8

RECEPT CONNECTED LOAD PHC1.2

PHASE: A B C TOTAL

CONTINUOUS & LARGEST MOTOR @ 20%:0.2 0.2 0.4 0.6

CONNECTED MOTOR LOADS @ 100%:10 10 3.8 5.9

CONNECTED USE-ING LOADS @ 65%:0.8 0.8 1.6 3.2

CONNECTED KITCHEN LOADS @ 65%:0.0 0.0 2.2 0.0

RECEPTS CONNECTED LOAD2.4 1.8 1.2 5.4

TOTAL COMPUTED LOAD4.4 3.8 7.0 16.3 KVA

37 32 58 42.4 A

SEE NOTES AS APPL. C.B.E

note 1: verify max. O.C.D.P with manufacturer

note 2: lockable circuit breaker

note 3: SHUNT TRIP C.B.

note 4: GFCI type circuit breaker

note 5: HACR C.B.

note 6: min concurrent load

note 7: RUN THROUGH LIGHTING RELAY PANEL

PANEL SCHEDULE

Rated Voltage: 120/208V

Rated Amps: (On bus) 200A

Main: MLO

#"

NEW

SPACES: 42

Manufacture: SQUARE D DO OR EQUAL

Location: BACK AREA

Project No:

Surf: SURFACE

Type: NEMA 1

A.I.C: 10K

NOTE	CIRCUIT DESIGNATION	G.C.P.	CONCAT (IN)	AUG	MAX DIST (in)	VOLT DROP	LTCGCTE	MTC-WIN	MOTORAPP	PH	HOPF	LTCGCTE	KITCHEN	MOTORAPP	MAX DIST (in)	VOLT DROP	AUG	CONCAT (IN)	G.C.P.	CIRCUIT DESIGNATION	NOTE	
1	MSCU-2	202	1/2"	10	135	3%			1.60	A				4.00	81	3%	6	MC	402	TWH	2	
3				10	135	3%			1.60	B				4.00	81	3%	6				4	
5	MSCU-3	202	1/2"	12	91	3%			1.45	C				2.00	108	3%	19	MC	302	AHU-5	6	
7				12	91	3%			1.45	A				2.00	108	3%	19				8	
9	1ST FLOOR LIGHTS	201	MC	12	219	3%	0.50			B						3%	12	1/2"	202	CU-5	10	
11	1ST FLOOR LIGHTS	201	MC	12	219	3%	0.50			A						3%	12				12	
13	STORAGE AND HALL RECEPT.	201	MC	12	110	3% 1.26				C	6.80			165	3%	12	MC			2nd FLOOR LIGHTS	14	
15	WAREHOUSE RECEPT.	201	MC	12	110	3% 1.26				B	1.20			119	3%	12	MC	201		2ND FLOOR OFFICE RECEPT.	16	
17	WAREHOUSE RECEPT.	201	MC	12	110	3% 1.26				C	1.20			119	3%	12	MC	201		2ND FLOOR AC STORAGE RECEPT.	18	
19	EF-5	201	MC	12	439	3%	0.30			A	1.20			119	3%	12	MC	201		2ND FLOOR STORAGE ROOM RECEPT.	20	
21	BATH RECEPT.	201	MC	12	110	3% 1.26				B			1.45	91	3%	12	1/2"	202		MSCU-4	22	
23	TWH	201	MC	12	38	3%			3.50	C			1.45	91	3%	12					24	
25	ROOF TOP RECEPT.	201	MC	12	110	3% 1.26				A										SPACE	26	
27	2nd FL. BREAK ROOM REFRIG.	201	MC	12	132	3%			1.00	B										SPACE	28	
29	2nd FL. BREAK ROOM MISC.	201	MC	12	110	3%			1.20	C										SPACE	30	
31	SPACE									A										SPACE	32	
33	SPACE									B										SPACE	34	
35	SPACE									C										SPACE	36	
37	SPACE									A										SPACE	38	
39	SPACE									B										SPACE	40	
41	SPACE									C										SPACE	42	
SUBTOTAL CONNECTED LOAD:							6.0	1.2	0.9	12.1		3.6	6.8	6.0	14.9	SUBTOTAL CONNECTED LOAD:						

CONNECTED LOAD PHASE A13.8

CONNECTED LOAD PHASE B12.9

CONNECTED LOAD PHASE C12.6

TOTAL CONNECTED LOAD38.3

RECEPT CONNECTED LOAD PHA3.5

RECEPT CONNECTED LOAD PHB3.5

RECEPT CONNECTED LOAD PHC2.4

CONFINED L.S. & LARGEST MOTOR @ 25%0.20.20.20.5

CONNECTED MOTOR LOADS @ 95%3.48.19.627.7

CONNECTED LIGHTING LOAD @ 95%2.82.50.62.0

CONNECTED KITCHEN LOADS @ 95%2.02.00.00.0

RECEPTS @ 95%3.63.62.49.6

TOTAL COMPUTED LOAD14.012.412.838.1

116103106108.6A

SEE NOTE 58 AS APPLICABLE

note 1: with max O.C.P.B. with trip breaker

note 2: kitchen circuit breaker

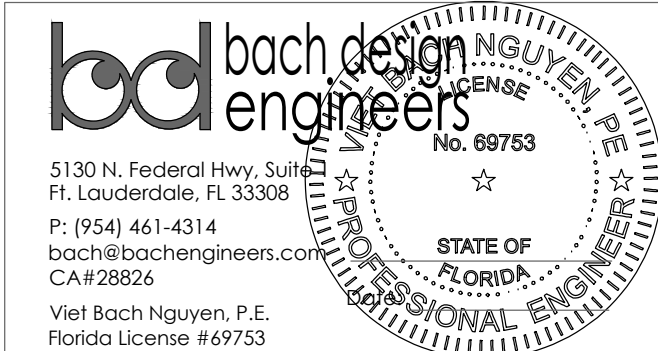
note 3: SHUNT TRIP C.B.

note 4: G.F.C.I. type circuit breaker

note 5: HACR C.B.

note 6: non conventional load

note 7: RUN THROUGH LIGHTING RELAY PANEL

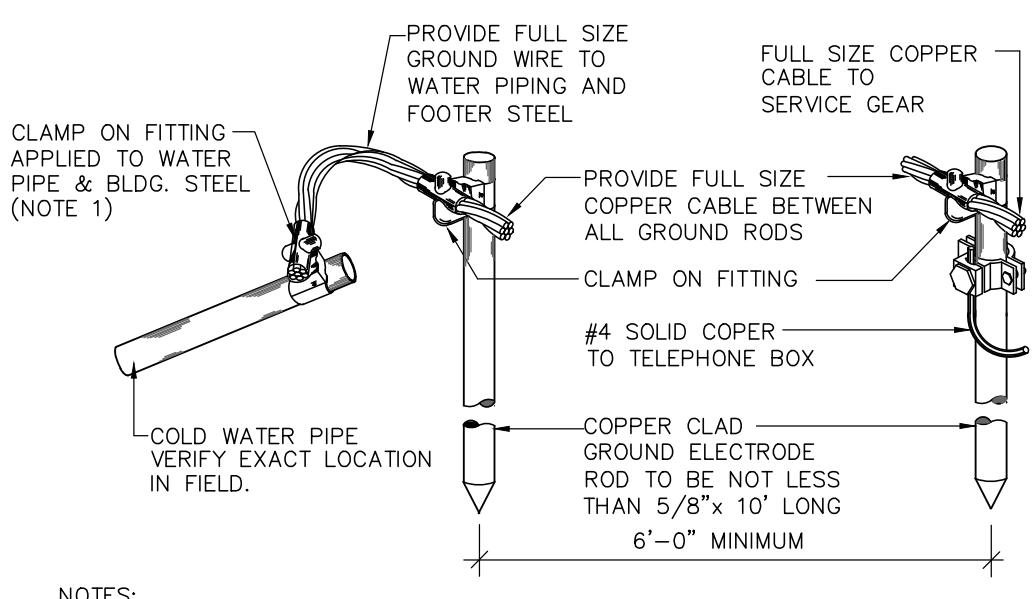


LEGEND NOTES		
1. NOT ALL SYMBOLS MAY APPEAR ON PLANS.		
2. IF THERE IS NO DESIGNATION NEXT TO FIXTURE, THEN ASSUME IT IS A NEW FIXTURE.		
3. ALL FLUORESCENT LIGHT FIXTURES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL BE EQUIPPED WITH DISCONNECTING MEANS AS PER NEC-2017 (410.130(G)).		
4. ALL EXIT SIGNS AND EMERGENCY LIGHTS SHALL BE SELF DIAGNOSTICS TYPE		
5. LIGHTING FIXTURE SCHEDULE IS SHOWN FOR REFERENCES ON ELECTRIC CHARACTERISTICS ONLY.		
6. CONTRACTOR TO ENSURE THAT MOUNTING DEVICES AND ACCESSORIES ARE CORRECT FOR CEILING AND WALL IN WHICH THE FIXTURES ARE TO BE INSTALLED.		
7. REFER TO INTERIOR DESIGN / ARCHITECTURAL PLANS FOR EXACT LOCATION OF LIGHT FIXTURES.		
8. ALL LIGHT FIXTURES SHALL BE REVIEWED AND APPROVED BY ARCHITECT / OWNER PRIOR TO FORWARDING TO ENGINEER FOR REVIEW OR PRIOR TO BID.		
9. LIGHT FIXTURE SHALL BE MADE TO THE REQUIRED LENGTHS BY THE MANUFACTURER – NO FIELD CUTTING SHALL BE ALLOWED		
DESIGNATION / DESCRIPTION		
+84"	DENOTES HEIGHT ABOVE FINISHED FLOOR	UND UNLESS NOTED DIFFERENTLY
AFCI	ARC FAULT CIRCUIT INTERRUPT	N/A NIGHT LIGHT
GFCI	GROUND FAULT CIRCUIT INTERRUPT	T/S TIME SWITCH
WP	WEATHER PROOF ENCLOSURE	PC PHOTO CELL
IG	ISOLATED GROUND	LC LIGHTING CONTACTOR
N	NEW FIXTURE	MWC MINIMUM WORK CLEARANCE
R	RELOCATED FIXTURE	OCP OVER CURRENT PROTECTION
E	INDICATES AN EXISTING FIXTURE TO REMAIN	OC ON CENTER
T/L	TWIST LOCK	PL PARTY LIGHT OUTLET
		SW SHOW WINDOW (OUTLET)

GFCI PROTECTION NOTES:	
– ALL 120V, 15 AND 20 AMPS KITCHEN APPLIANCE AND CONVENIENCE RECEPTACLES IN THE KITCHEN AREA, SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER AS PER NEC 2017 210.8(B)(2)	
– ALL OUTLETS LOCATED WITHIN 6FT OF THE OUTSIDE EDGE OF A SINK SHALL BE GFCI PROTECTED AS PER NEC 2017 210.8(B)5 CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL RECEPTACLES AND PROVIDE GFCI PROTECTION AS REQUIRED ABOVE.	

NOTE TO CONTRACTOR:	
1. COORDINATE EXACT LOCATION OF ALL RECEPTACLES WITH ARCHITECT/SPECIALITY CONSULTANTS/PRIOR TO ROUGH IN.	

NOTES: (#)	
1. INTERSYSTEM GROUNDING BRIDGE W/ CONDUIT ADAPTER AND PROTECTION COVER, ARLINGTON MDL# GBB50P (UL LISTED), OR APPROVED EQUAL	
2. TIE TO PHONE/CATV UTILITY CABINET	
3. TO UTILITY COMPANY POLE TRANSFORMER, BY UTILITY COMPANY. MINIMUM CLEARANCE SHALL COMPLY WITH NEC 2017 230.24(B) MIN 10FT ABOVE AREAS ACCESSIBLE ONLY TO PEDESTRIANS, MIN 18FT OVER DRIVEWAYS SUBJECT TO TRUCK TRAFFIC.	

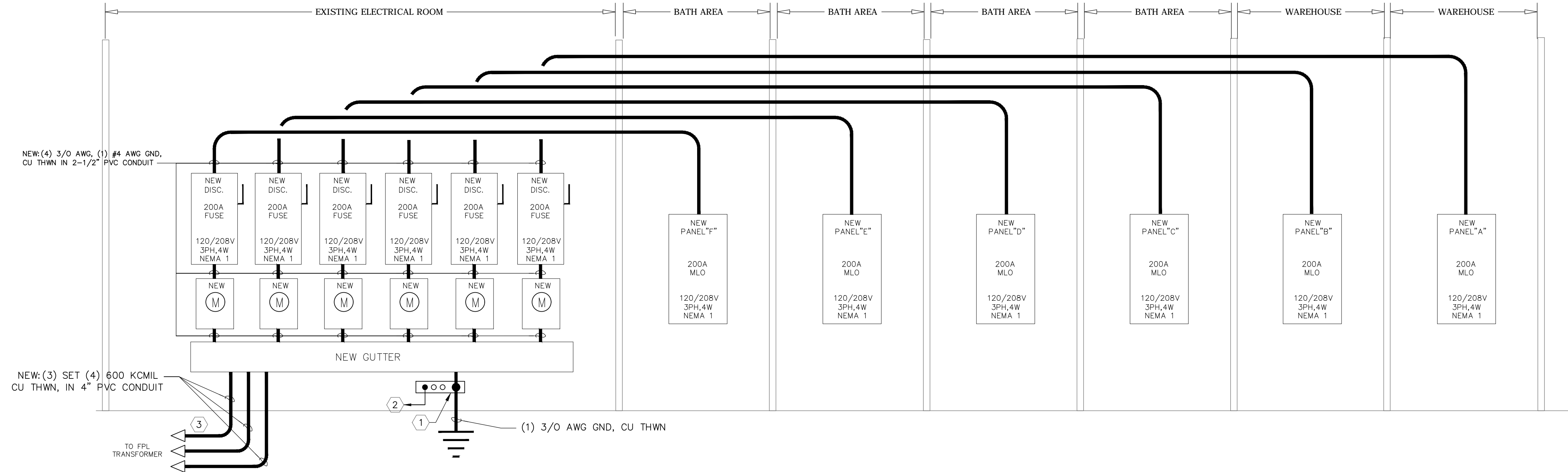
	
NOTES: 1. CONNECTIONS MADE WITHIN 5FT OF POINT OF ENTRANCE OF METALLIC PIPE 2. PROVIDE MIN. 2 GROUNDING RODS	
GROUNDING ROD DETAIL	NOT TO SCALE

ELECTRICAL SPECIFICATIONS

1. MATERIALS AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE CODES IN EFFECT: THE NATIONAL ELECTRIC CODE NEC 2017, FBC 2020 (7TH EDITION), FFPC 2020, NFPA 72 2018, LOCAL CODES, ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C.. EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH THE UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE ABOVE MENTIONED CODES.
2. TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE DRAWINGS REPRESENT AN ACCURATE PRESENTATION OF EXISTING CONDITIONS BASED UPON CAREFUL EVALUATION OF OBSERVED CONDITIONS TO THE EXTENT REASONABLY POSSIBLE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND IMMEDIATELY NOTIFY ENGINEER WITH ANY DISCREPANCY.
- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
3. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER MUST BE A CONDITION OF THE SUB CONTRACT.
4. ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
6. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
7. ALL REQUIRED INSURANCE TO BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
8. CONTRACTOR TO PAY FOR ALL PERMITS, FEES INSPECTIONS AND TESTINGS.
9. ELECTRICAL INSTALLATION TO MEET ALL STANDARD REQUIREMENTS OF LOCAL POWER AND TELEPHONE COMPANIES. ELECTRICAL CONTRACTOR SHALL CONTACT LOCAL POWER AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
10. ALL WIRING SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. ALL CONDUCTORS SHALL BE COPPER WITH THWN/THHN INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID; ALL THOSE #8 AND LARGER TO BE STRANDED.
11. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER POSSIBLE.
12. DISCONNECT SWITCHES SHALL BE H.P. RATED, GENERAL DUTY, QUICK-MAKE, QUICK-BREAK TYPE. ENCLOSURES SHALL BE AS REQUIRED BY N.E.C. AND LOCATION (WEATHERPROOF, EXPLOSION PROOF, ETC.). ENGRAVED LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL DISCONNECT SWITCHES, CONTACTORS AND STARTERS.
13. ALL FUSES FOR SAFETY SWITCHES SHALL BE DUAL ELEMENT, CARTRIDGE TYPE. FUSES SHALL BE THOSE MANUFACTURED BY EITHER BUSSMAN OR LITTELFUSE. THE CONTRACTOR SHALL FURNISH TO THE OWNER ONE SPARE FUSE FOR EACH SIZE AND TYPE OF FUSE INSTALLED. FUSES 600 AMPS OR LESS SHALL BE CLASS RK1, TYPICAL UNLESS OTHERWISE NOTED. FUSES OVER 600 AMPS SHALL BE CLASS L.
14. ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. CATALOG NUMBERS LISTED ARE LEVITON; HOWEVER, COMPARABLE DEVICES BY PASS & SEYMOUR, BRYANT, OR ARROW HART WILL BE ACCEPTED. COLOR OF DEVICES AND PLATES SHALL BE WHITE UNLESS DICTATED OTHERWISE BY ARCHITECT/OWNER.
15. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT BE PLACED IN PROPER WORKING ORDER.
16. A SEPARATE, GREEN TYPE THWN COPPER GROUND CONDUCTOR SHALL BE RUN FROM GROUND LUG OF EACH GROUNDED RECEPTACLE TO AN APPROVED CONNECTION INSIDE THE ENCLOSING STEEL OUTLET BOX. DEVICE MOUNTING SCREWS SHALL NOT BE CONSIDERED AN APPROVED GROUND. A SEPARATE GROUND CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT AND RACEWAY AND SECURELY BONDED IN AN APPROVED GROUNDING TERMINAL AT BOTH ENDS OF THE RUN. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250-122 OF THE N.E.C. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE ADDITIONAL CONDUCTOR.
17. LOAD DATA IS BASED ON INFORMATION GIVEN TO THE ENGINEER AT THE TIME OF DESIGN. VERIFY ALL EQUIPMENT NAMEPLATE RATINGS BEFORE ORDERING.
18. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
19. FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING SYSTEM AS SHOWN ON PLANS. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING FROM C.U.TO A.H.U. TERMINATION SHALL BE PERFORMED BY MECHANICAL CONTRACTOR.
20. ALL SWITCHGEAR, PANELS, STARTERS, CONTACTORS ETC., SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, THE SYSTEM DESIGN IS BASED ON SQUARE "D"; HOWEVER, COMPARABLE EQUIPMENT BY G.E. & SIEMENS ONLY WILL BE ACCEPTABLE. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.
21. PROVIDE IDENTIFICATION FOR ALL PANELS, CABINETS, ENCLOSURES, DISCONNECTS & TRANSFORMERS USING ENGRAVED NAMEPLATES, WHITE LETTERING ON A BLACK BACKGROUND. NAMEPLATES SHALL IDENTIFY PANEL DESIGNATION (NAME,) VOLTAGE, PHASE & WIRE CONFIGURATION. PROVIDE TYPEWRITTEN DIRECTORIES UNDER PLASTIC COVER FOR ALL PANEL BRANCH CIRCUITS, CLEARLY INDICATING AREA AND TYPE OF LOAD SERVED BY EACH BRANCH CKT PROTECTIVE DEVICE, INCLUDING SPARES. HAND PRINTED WILL NOT BE ACCEPTED.
22. CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:


208V. SYSTEM	240V. (HIGH LEG) SYSTEM	480V. SYSTEM	PHASE SEQUENCE
NEUTRAL - WHITE	NEUTRAL - WHITE	NEUTRAL - WHITE	ABC, TOP TO BOTTOM
PHASE B - RED	PHASE B - ORANGE	PHASE B - PURPLE	FRONT TO BACK
PHASE C - BLUE	PHASE C - BLUE	PHASE C - BLUE	
GRD.CON - GREEN	GRD.CON - GREEN	GRD.CON - GREEN	

PHASE A - BLACK PHASE A - BROWN LEFT TO RIGHT.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS MADE THROUGH FIRE RATED WALLS, CEILINGS, SLABS, ETC. PENETRATION SEALS SHALL BE PER U.L. ASSEMBLY.
24. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONTRACT DRAWINGS AT JOB SITE WITH COLORED MARKINGS INDICATING PROGRESS OF WORK. THIS SET OF CONTRACT DRAWINGS IS TO BE SEPARATE FROM AND IN ADDITION TO CONTRACTOR'S CONSTRUCTION SET. EVERY UNIT OF EQUIPMENT, DEVICE, CONDUIT AND WIRE IS TO BE MARKED WHEN INSTALLED. USE GREEN TO INDICATE INSTALLATION AS SHOWN ON DRAWINGS AND USE RED TO INDICATE FIELD CHANGES. UPON COMPLETION OF WORK, THIS SET OF CONTRACT DRAWINGS IS TO BE TURNED OVER TO, AND BECOME PROPERTY OF THE ELECTRICAL ENGINEER.
25. IF ELECTRICAL CONTRACTOR HAS QUESTIONS, OR IN THEIR OPINION FINDS OMISSIONS OR ERRORS ON ELECTRICAL DOCUMENTS, IT IS THEIR RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ELECTRICAL ENGINEER IMMEDIATELY. IF ELECTRICAL CONTRACTOR PROCEEDS WITH ANY CHANGES TO THE CONTRACT DOCUMENTS, WITHOUT WRITTEN PRIOR APPROVAL FROM THE ELECTRICAL ENGINEER, CONTRACTOR WILL NOT BE COMPENSATED.



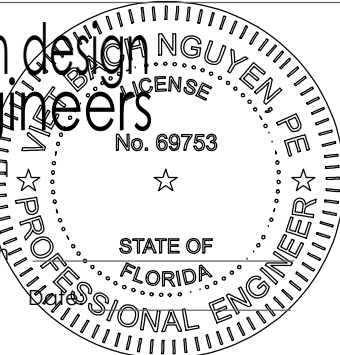
ELECTRICAL RISER

N.T.S.



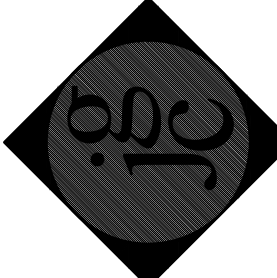
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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957
AA26001131

DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	
E-4	
OF	SHEETS

HVAC GENERAL NOTES

- GENERAL
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND WITH ALL APPLICABLE REGULATIONS.
 - DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK.
 - ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
 - WARRANTY: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.
- SHOP DRAWINGS: CONTRACTORS SHALL SUBMIT FOR APPROVAL, WITHIN 30 DAYS AFTER SIGNING CONTRACT, A MINIMUM OF FIVE COPIES OF FULLY DESCRIPTIVE LITERATURE, INCLUDING BUT NOT LIMITED TO: AIR CONDITIONING UNITS, FANS AND AIR OUTLETS. NO WORK SHALL PROCEED WITHOUT APPROVAL OF THESE SUBMITTALS.
- DESIGN PARAMETERS:
 - INDOOR DESIGN TEMPERATURE (SUMMER): 78° DB
 - INDOOR DESIGN TEMPERATURE (WINTER): 72° DB
- ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.
- ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.
- EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS SPECIFIED.
- MATERIALS:
 - REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
 - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
 - DUCTWORK:
 - ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL". R=6.0 MIN.
 - ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
 - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
 - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R=6.0 MIN.
- CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
- TEST AND BALANCE: CONTRACTOR SHALL TEST AND BALANCE ALL VENTILATION AND AIR CONDITIONING SYSTEMS. SUBMIT FOUR COPIES OF TEST AND BALANCE REPORT, TO OWNER FOR APPROVAL.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

AIR DISTRIBUTION SCHEDULE

A
CFM

DIFFUSER CFM

TAG MANUFACTURER & MODEL NO.

NOTES:

R.A.G

TITUS 50F

ALUMINUM RETURN GRILLE REGISTER

SW

TITUS 300

DOUBLE DEFLECTION
SIDE WALL
ALUMINUM DIFFUSER

NOTES:

- ALL GRILLS MUST BE APPROVED BY OWNER/ARCHITECT.
- G.C./HVAC SUBCONTRACTOR TO SUBMIT PRODUCT SAMPLES/CUTSHEETS FOR REVIEW PRIOR TO PURCHASING

SPLIT SYSTEM SCHEDULE

AIR HANDLING UNIT											AIR COOLED CONDENSING UNIT											SYSTEM DATA							
MARK	MODEL NO.	CFM		ESP	FAN			HEATER	UNIT		MAX	WT	MARK	MODEL NO.	WT	ELECTRICAL	COMPRESSOR			FAN			UNIT	MAX	COOLING CAPACITY		SEER2	REF. LINES	
		TOTAL	OA		HP	KW	STEP		MCA	MOCP							LBS	QTY.	TONS	RLA	QTY	FLA			MCA	MOCP		TMBH	SMBH
AHU-1	TRANE TAM9AOC60	2000		.5	1.0	7.2	1	53	60	163			CU-1	TRANE 4TRR6060N	275	208-1-60	1	5.0	26.9	1	1.3	35	50	55.0	45.0	15.6	1-1/8	3/8	
AHU-2	TRANE TAM9AOC48	1600		.5	3/4	5.8	1	42	45	162			CU-2	TRANE 4TRR6048N	259	208-1-60	1	4.0	20.4	1	2.8	28	45	47.0	37.0	16.2	7/8	3/8	
AHU-3	TRANE TAM9AOC48	1600		.5	3/4	5.8	1	42	45	162			CU-3	TRANE 4TRR6048N	259	208-1-60	1	4.0	20.4	1	2.8	28	45	47.0	37.0	16.2	7/8	3/8	
AHU-4	TRANE TAM9AOC60	2000		.5	1.0	7.2	1	53	60	163			CU-4	TRANE 4TRR6060N	275	208-1-60	1	5.0	26.9	1	1.3	35	50	55.0	45.0	15.6	1-1/8	3/8	
AHU-5	TRANE TAM9A0A24	800		.5	1/2	3.6	1	27	30	116			CU-5	TRANE 4TRR6024N	244	240-1-60	1	2.0	10.2	1	0.71	13.4	20	23.8	18.0	16.2	3/4	3/8	

SPLIT SYSTEM NOTES:

- OUTSIDE AIR DESIGN CONDITIONS: 91FDB - 79FDB.
 - PROVIDE A/C UNITS WITH PROGRAMMABLE HEATING AND COOLING THERMOSTAT WITH ON-OFF SWITCH SUB-BASE. (WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR)
 - PROVIDE PROPER VIBRATION ISOLATORS AS PER ISOLATION MANUFACTURER'S RECOMMENDATIONS. PROVIDE FILTER RACK UNDER AHU.
 - INSTALL CHEMICAL DRYER AND STRAINER IN REFRIGERANT LIQUID LINES.
 - PROVIDE BUILT-IN DISCONNECT WITH ALL AIR HANDLING UNITS.
- REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
 - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

6. MATERIALS:

MINI-DUCTLESS SYSTEM SCHEDULE

AIR HANDLING UNIT					AIR COOLED CONDENSING UNIT										SYSTEM DATA									
MARK	MODEL NO.	CFM	WT LBS	DIMENSION	MARK	MODEL NO.	WT LBS	ELECTRICAL VOLTS-PH-HZ	COMPRESSOR		FLA	FAN	UNIT MCA	MAX FUSE	COOLING CAPACITY		HEATING CAPACITY		REF. LINES					
		TOTAL		WAXDH					QTY.	TONS		QTY			SEER2	TMBH	HSPF2	SUCTION		LIQUID				
MS-1	MITSUBISHI MSZ-FS06NA	381	29.0	36X10X12	MSCU-1	MITSUBISHI MUZ-FS06NA	82	208-1-60	1	0.5	-	1	10	15	6.0	32.2	8.7	11.9	3/8"	1/4"				
MS-2-1	MITSUBISHI MSZ-FS12NA	381	29.0	36X10X12		MSCU-2	MITSUBISHI MUZ-3C24NA	137	230-1-60	1	2.0	-	1	22.1	25	22.0	20.0	25.0	9.5	3/8"	1/4"			
MS-2-2	MITSUBISHI MSZ-FS12NA	381	29.0	36X10X12																				
MS-3	MITSUBISHI MSZ-HM24NA	702	28.0	36X13X12	MSCU-3	MITSUBISHI MUZ-HM24NA	121	230-1-60	1	2.0	-	1	14	20	22.4	20.0	26.0	8.5	3/8"	1/4"				
MS-4	MITSUBISHI MSZ-HM24NA	702	28.0	36X13X12	MSCU-4	MITSUBISHI MUZ-HM24NA	121	230-1-60	1	2.0	-	1	14	20	22.4	20.0	26.0	8.5	3/8"	1/4"				

NOTES:

CONTRACTOR MUST PROVIDE MANUFACTURER WIND LOAD CERTIFICATE FOR CONDENSING UNITS

SPLIT SYSTEM NOTES:

- PROVIDE WIRELESS REMOTE CONTROLLER FOR EACH AHU.
- PROVIDE DRAIN PAN AND FLOAT SWITCH TO SHUT DOWN AC AS REQUIRED.
- FINAL LOCATION OF AIR HANDLERS AND CONDENSING UNIT ARE TO BE FIELD VERIFY.
- MTSUBISHI IS THE BASIC OF DESIGN. OTHER BRAND ARE ACCEPTABLE AS LONG AS THE PERFORMANCE AND SPECIFICATION ARE EQUAL.

5. MATERIALS:

- REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

FAN SCHEDULE

MARK	SELECTION BASED ON		TYPE/	CFM	TSP	MOTOR DATA		SONES
	MAKE	MODEL NO.				VOLTS-PH-HZ	DR NC	
EF-1	GREENHECK	SP-B80	BATHROOM	80	.125	115-1-60		1.1
EF-2	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60		9.1
EF-3	GREENHECK	SP-B80	STORAGE	80	.125	115-1-60		1.1
EF-4	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60		9.1
EF-5	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60		9.1
EF-6	GREENHECK	SP-B80	STORAGE	80	.125	115-1-60		1.1

GENERAL FAN NOTES:

- PROVIDE BACKDRAFT FOR ALL EXHAUST FANS.
- FIELD ADJUST OPENINGS WITH STRUCTURE.
- COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT.
- SEE GENERAL, AIR CONDITIONING, DUCTWORK, AND COORDINATION NOTES FOR OTHER FIELD SUPPLIED ITEMS.
- PROVIDE BIRDSCREEN ON ALL INLETS AND OUTLETS.
- SWITCH WITH LIGHTS

MINIMUM VENTILATION RATE (2020 7TH ED. FBC MECHANICAL TABLE 403.3)

AREA	SYSTEM	GR/NET SQ. FT.	PERS/ 1000 SF	TOTAL PERS	CFM/ PERS	CFM/ SQ. FT.	CFM REQ'D	CFM PROVIDED
WAREHOUSE	AHU-(1 THRU 4)	1,590/-	-	-	10	.06	96	100
WAREHOUSE	AHU-(1 THRU 4)	1,590/-	-	-	10	.06	96	100
OFFICE	AHU-5	560/-	5	5*	5	.06	59	100
WAREHOUSE	EF-2	870/-	-	-	10	.06	53	100
STORAGE	EF-3	375/-	-	-	-	.12	45	80
WAREHOUSE	EF-4	1,130/-	-	-	10	.06	68	100
WAREHOUSE	EF-5	1,010/-	-	-	10	.06	61	100
STORAGE	EF-6	210/-	-	-	-	.12	26	80

ADJUST OUTSIDE AIR TO VALUE AS SHOWN

AHU-1=100 CFM
AHU-2=100 CFM
AHU-3=100 CFM
AHU-4=100 CFM
AHU-5=100 CFM

AIR DISTRIBUTION SCHEDULE

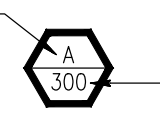
MARK	TYPE	MAKE	MODEL	SIZE	BORDER TYPE	MATERIAL	REMARKS
A	CEILING REGISTER	TITUS	300/350	SEE PLANS	SURFACE FRAME AND BORDER	ALUMINUM	SEE NOTES
B	RETURN GRILL	TITUS	300/350	SEE PLANS	SURFACE FRAME AND BORDER	ALUMINUM	SEE NOTES

GENERAL NOTE:

- TITUS IS THE BASIS OF DESIGN AND STANDARD FOR COMPARISON.
- REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE.
- PROVIDE OFF WHITE FINISH UNLESS OTHERWISE NOTED (SUBJECT TO ARCH. APPROVAL).
- SEE FLOOR PLANS FOR VARIATIONS OF THROW & DIRECTIONS.
- ALL AIR DISTRIBUTION DEVICES ARE ALUMINUM UNLESS OTHERWISE SPECIFIED.
- ALL SUPPLY REGISTERS AND DIFFUSERS SHALL BE 4-WAY THROW UNLESS OTHERWISE INDICATED ON THE FLOOR PLANS.
- PROVIDE SQUARE TO ROUND ADAPTOR WHERE ROUND NECK IS SPECIFIED
- WHERE APPLICABLE, ROUND NECK SIZE ON DIFFUSERS SHALL BE THE SAME SIZE AS THE CONNECTING FLEXIBLE DUCT.

DEVICE TYPE

DIFFUSER LEGEND



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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

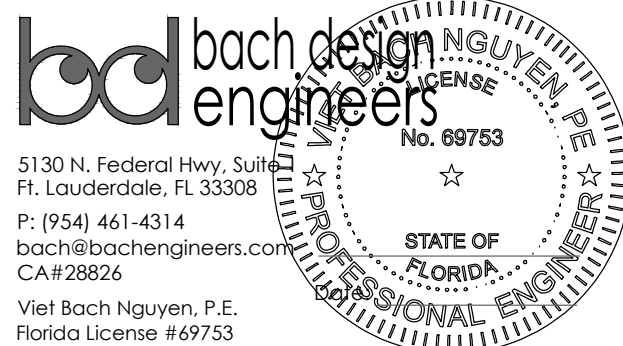
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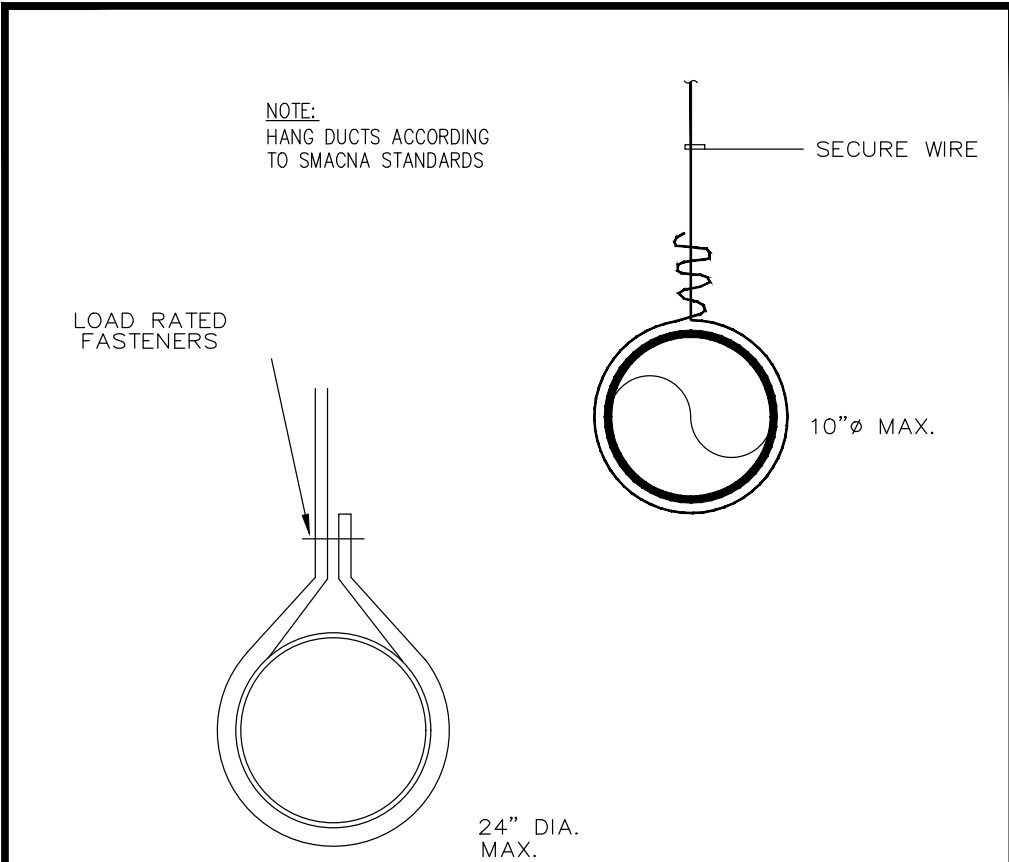
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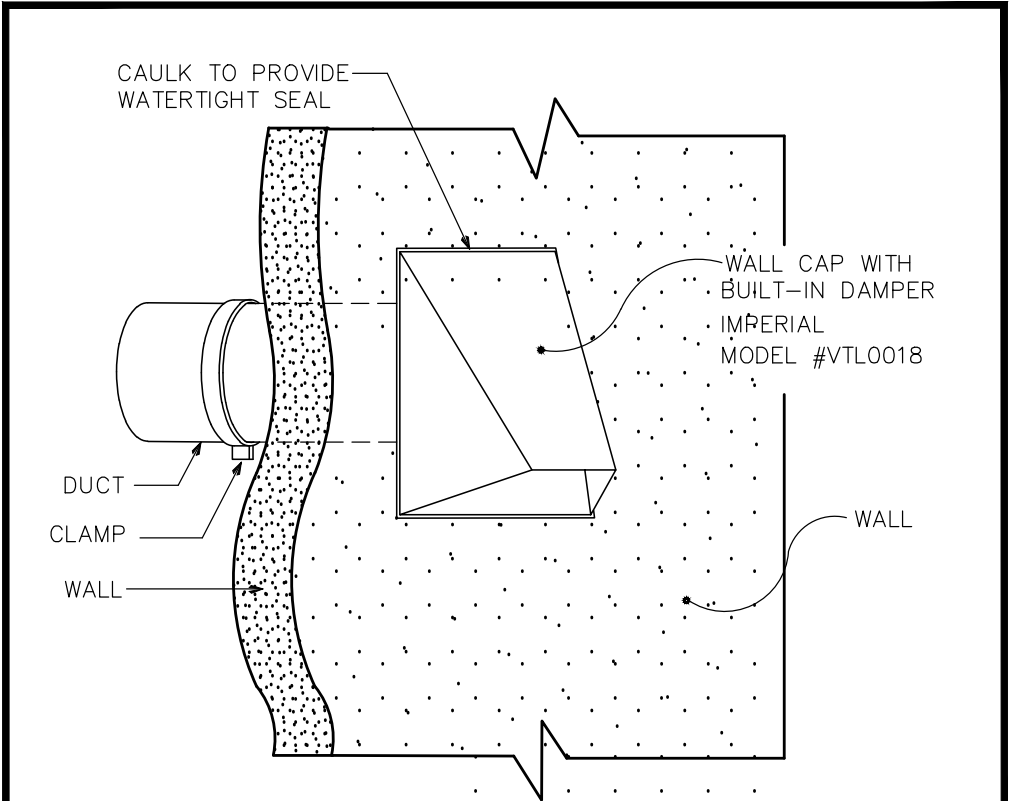
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FLEXIBLE DUCT SHALL BE SUPPORT PER FBC W1601.4.4.4
1. HORIZONTAL DUCT SHALL BE SUPPORT AT INTERVALS NOT GREATER THAN 5 FEET
2. DUCT SAG BETWEEN SUPPORT SHALL NOT BE EXCEED 1/2" PER FOOT OF LENGTH
3. DUCT STRIP SHALL BE DIVERSITECH DUCT 1-3/4" POLYPROPYLENE HANGER STRAP OR EQUAL

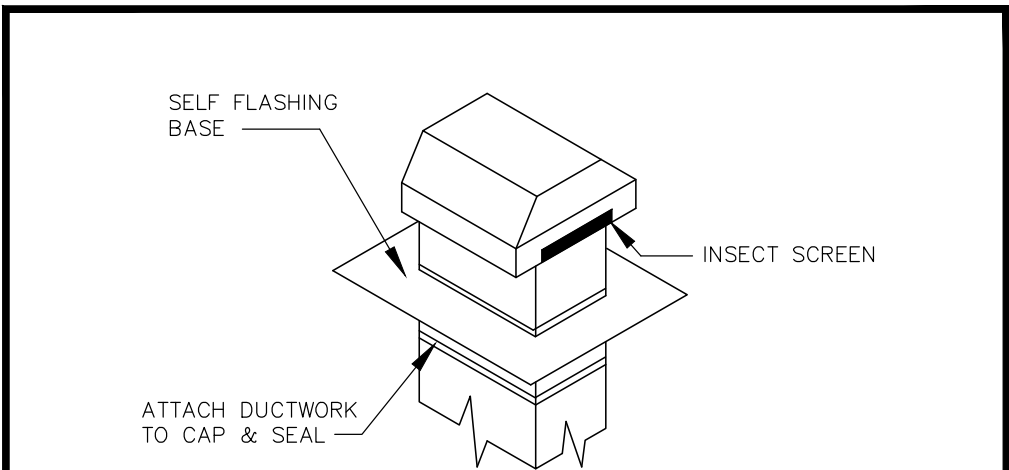
METHODS OF HANGING
DUCTS DETAIL

N.T.S.



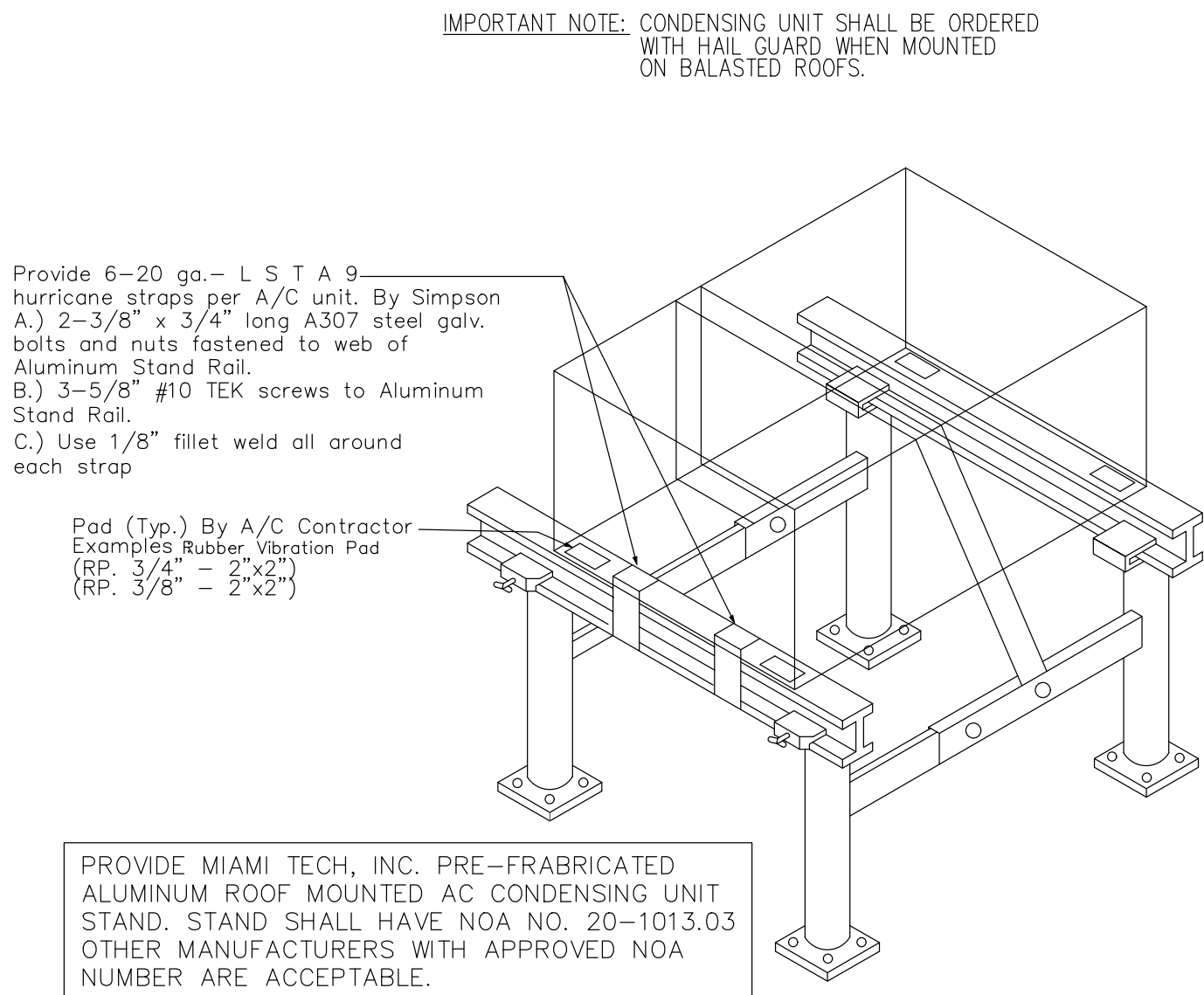
WALL CAP DETAIL

NOT TO SCALE



ROOF CAP DETAIL

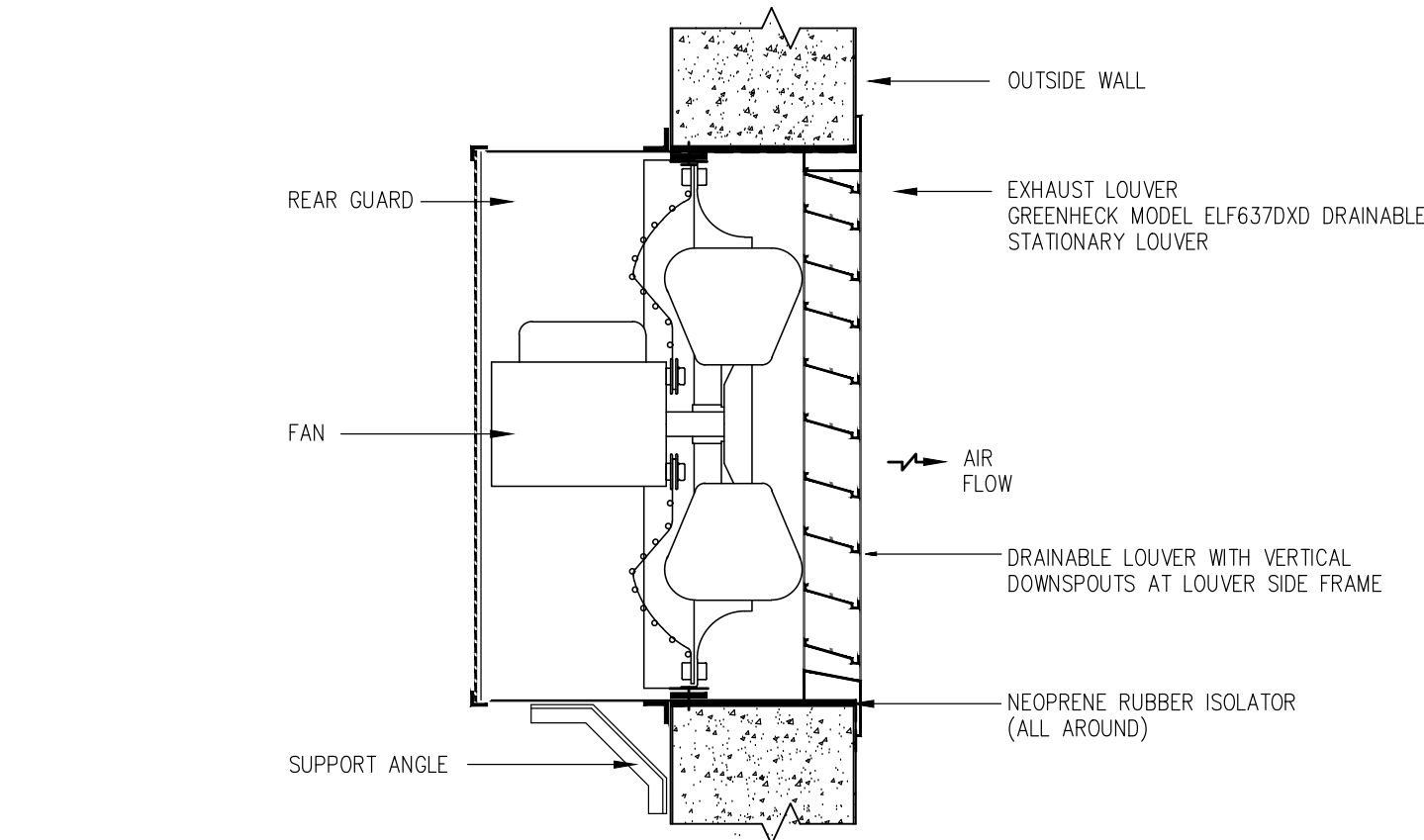
NOT TO SCALE



PROVIDE MIAMI TECH, INC. PRE-FRABRICATED
ALUMINUM ROOF MOUNTED AC CONDENSING UNIT
STAND. STAND SHALL HAVE NOA NO. 20-1013.03
OTHER MANUFACTURERS WITH APPROVED NOA
NUMBER ARE ACCEPTABLE.

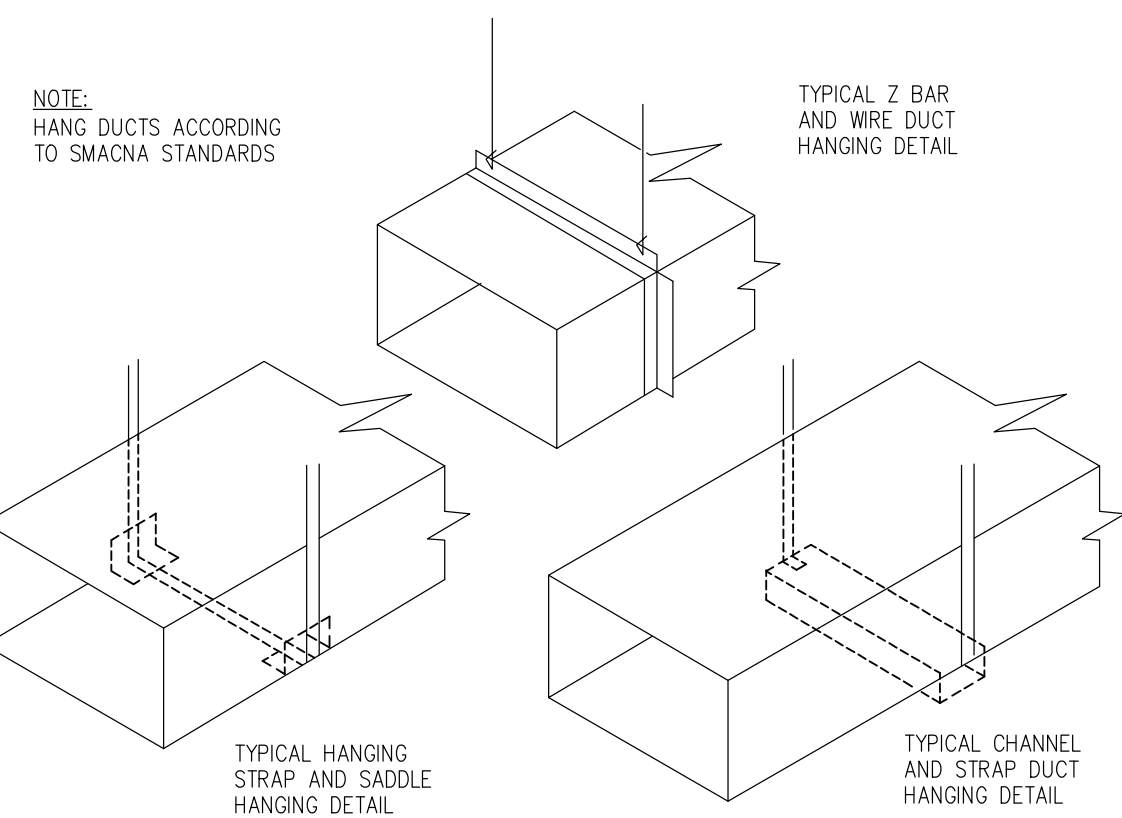
CONDENSING UNIT MOUNTING DETAIL

N.T.S.



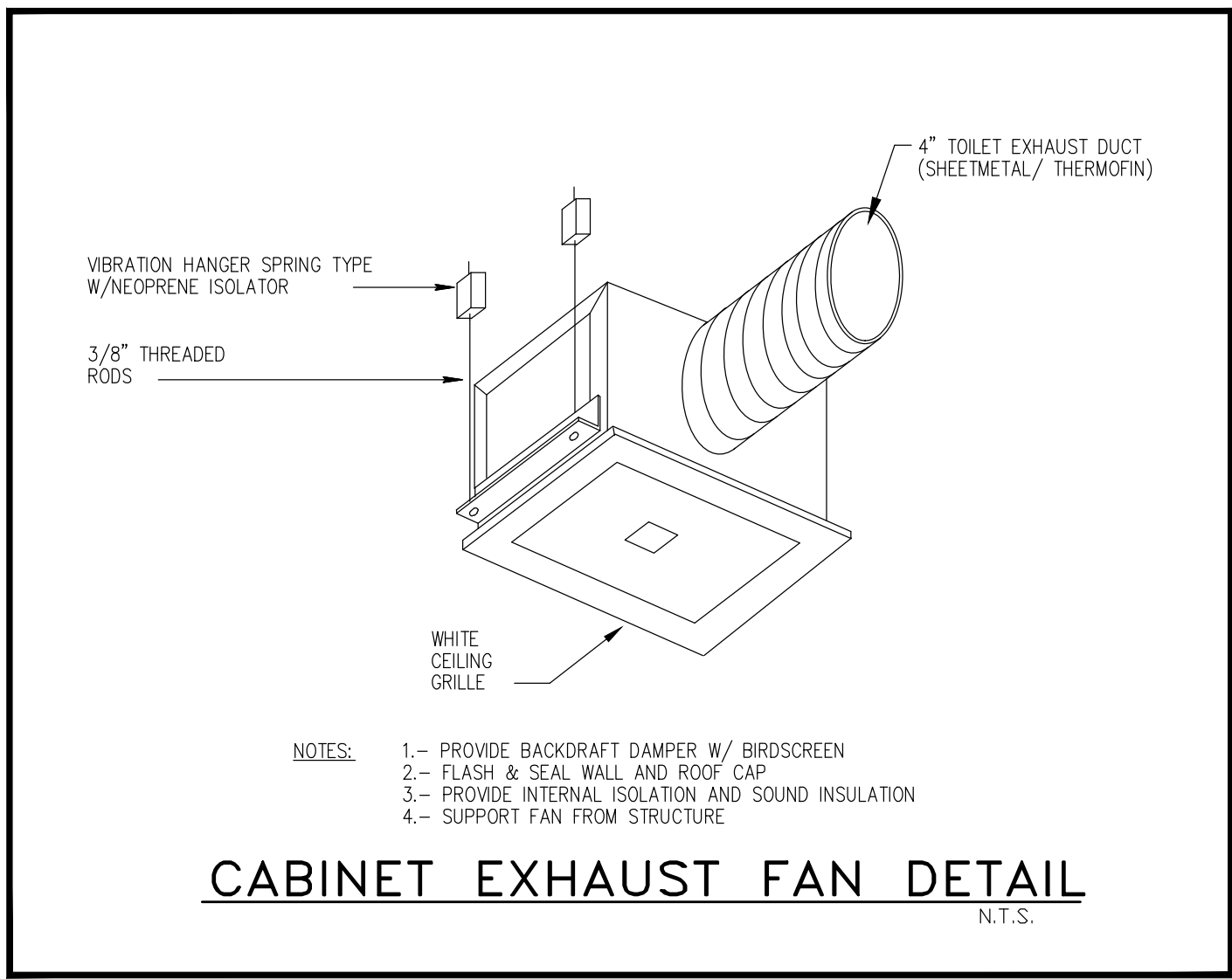
WALL FAN MOUNTING DETAIL

N.T.S.



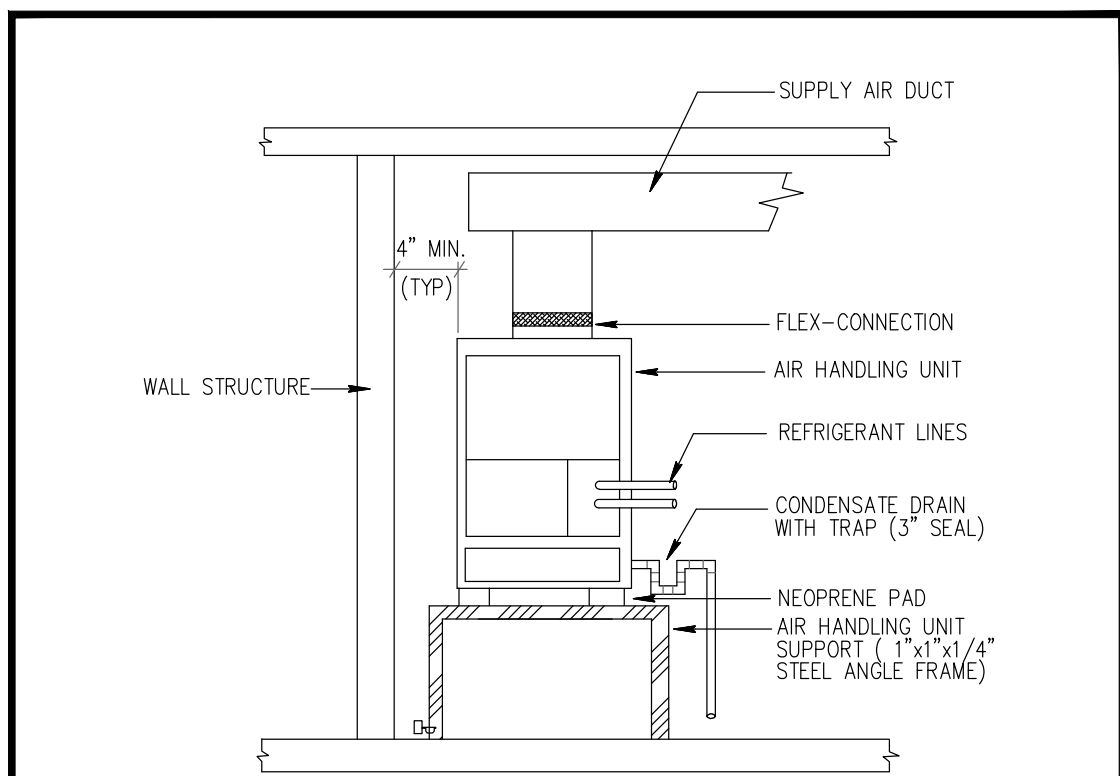
METHODS OF HANGING
DUCTS DETAIL

N.T.S.



CABINET EXHAUST FAN DETAIL

N.T.S.



TYPICAL VERTICAL AIR
UNIT DETAIL

N.T.S.

NOTE:
1. PROVIDE MINIMUM 4" SERVICE/ MAINTENANCE AREA AROUND AIR HANDLING UNIT.
2. PROVIDE FLOAT SWITCH IN DRAINPAN WIRED TO SHUT DOWN AC UNIT IN CASE OF
CONDENSATE STOPPAGE.

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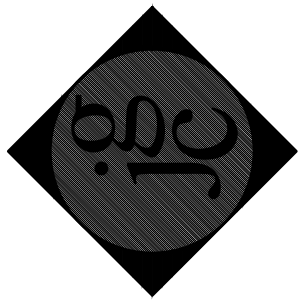
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PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

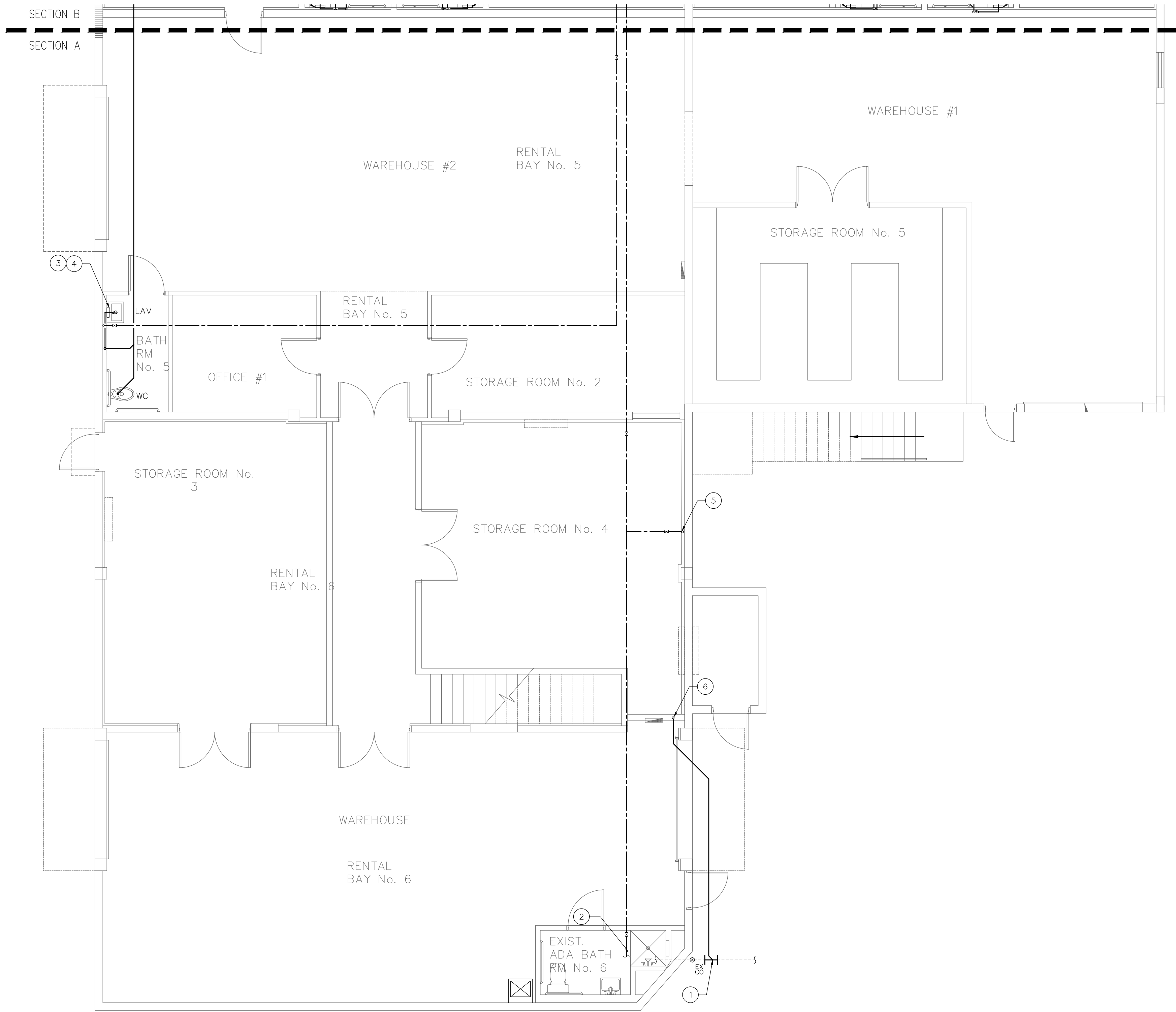
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DATE **11-12-22**
SCALE
JOB. NO. **22-053**
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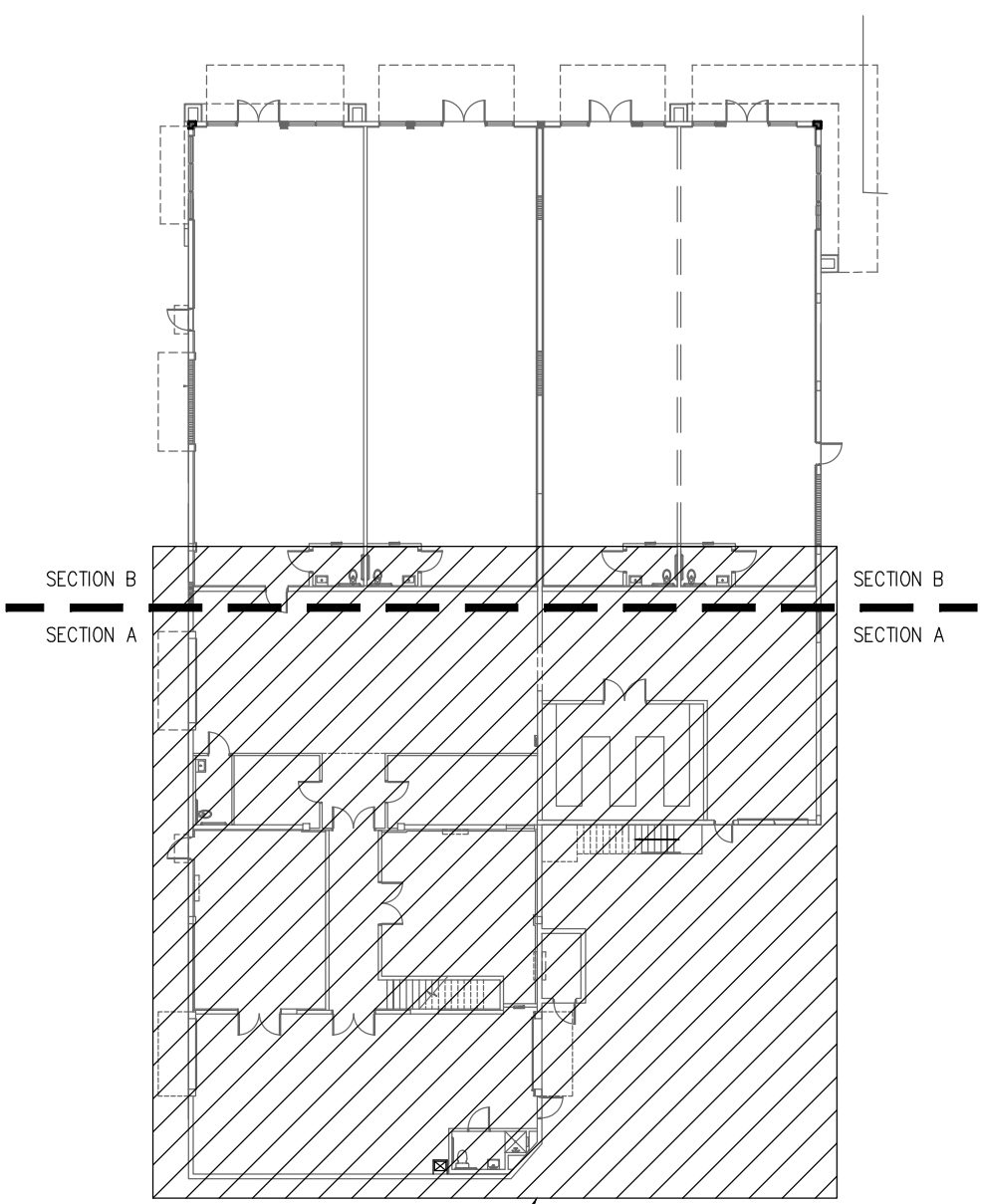
M-4

OF

SHEETS




PLUMBING 1ST FLOOR PLAN - SECTION A
scale: 3/16" = 1'-0"



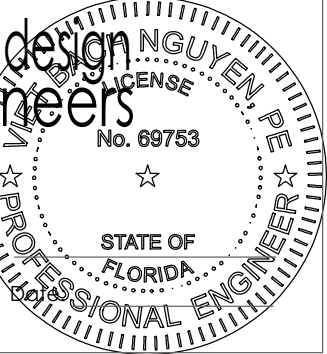
KEY PLAN
scale: NTS

PLUMBING KEY NOTES

- 1 TIE NEW 2" SANITARY TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 2 TIE NEW 1/2" CW TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 3 ECOSMART TANKLESS WATER HEATER MODEL POU 3.5 (3.5 KW @ 120V)
- 4 PROVIDE MIXING VALVE POWERS MODEL LFG480 AND SET @110F.
- 5 1/2" CW UP TO SECOND FLOOR.
- 6 2" SANITARY UP TO SECOND FLOOR.



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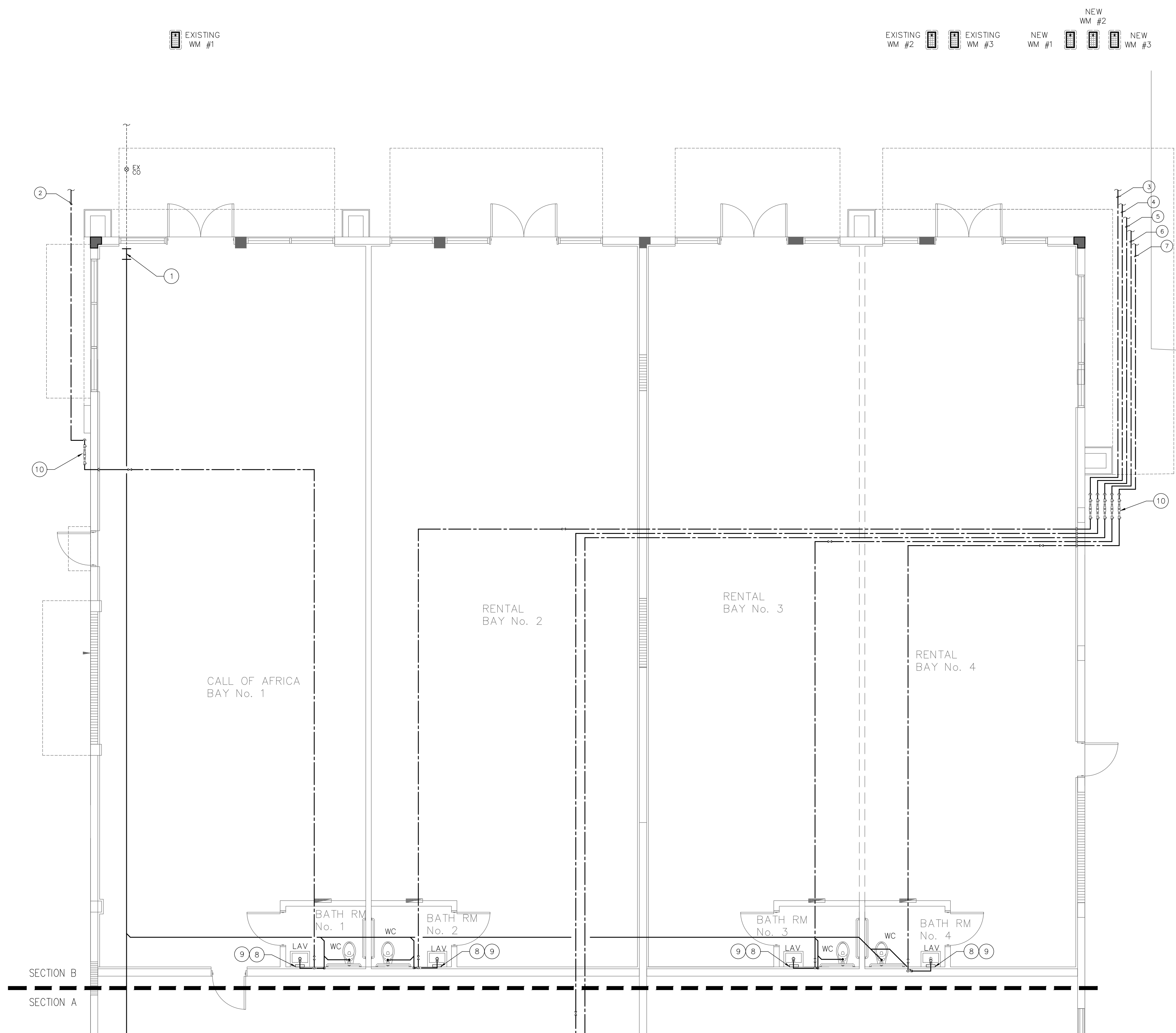
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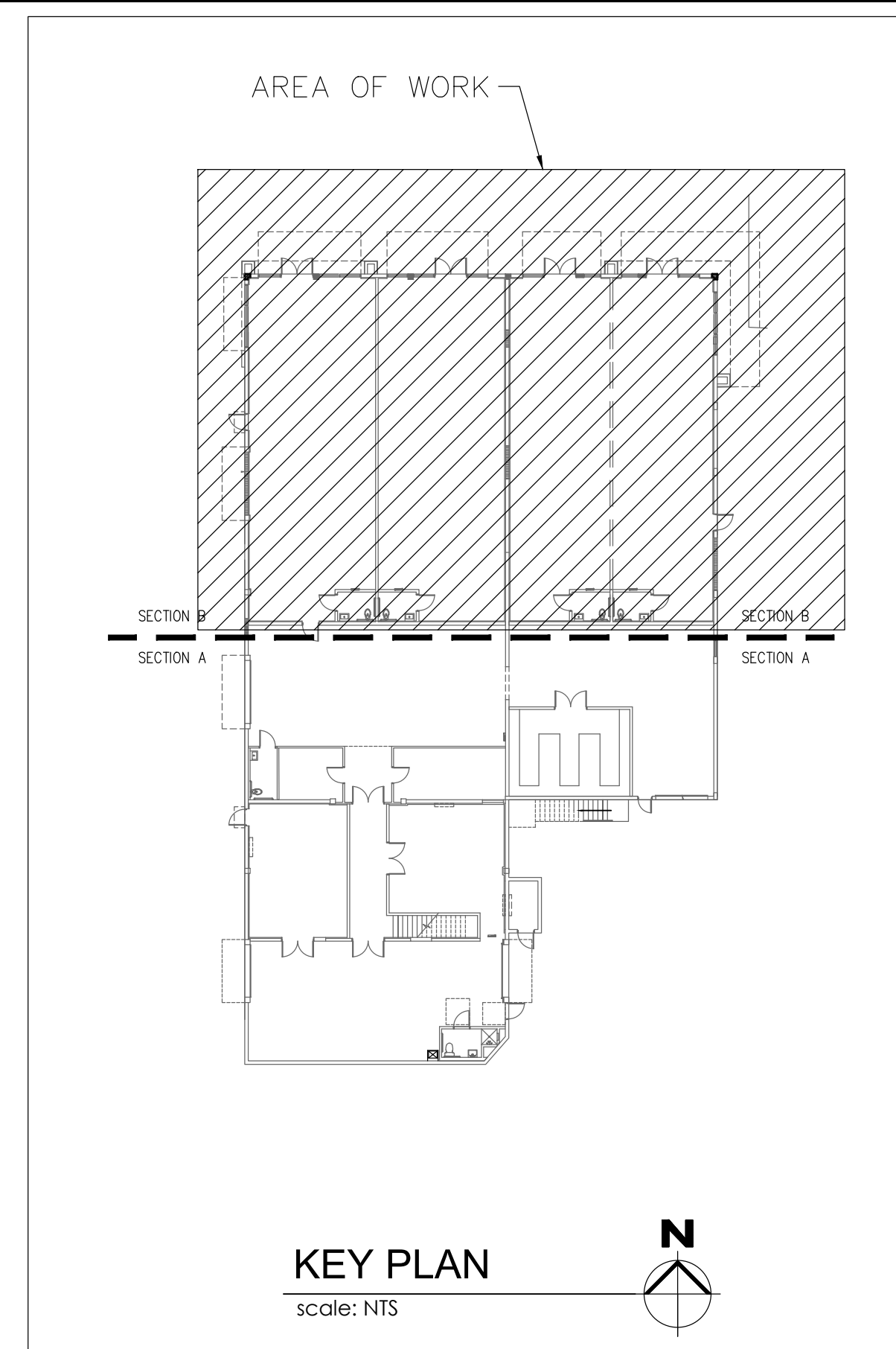
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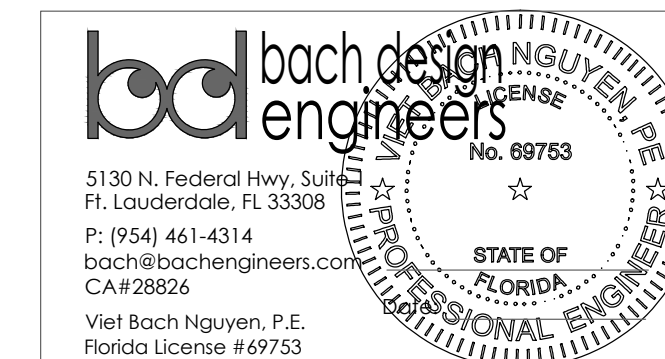


PLUMBING 1ST FLOOR PLAN - SECTION B
scale: 3/16" = 1'-0"



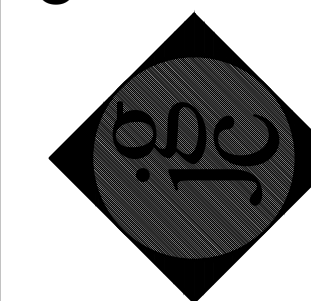
PLUMBING KEY NOTES

- 1 TIE NEW 4" SANITARY TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 2 TIE NEW 1" CW TO EXISTING WATER METER #1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 3 TIE NEW 1" CW TO EXISTING WATER METER #2. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 4 TIE NEW 1" CW TO EXISTING WATER METER #3. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 5 TIE NEW 1" CW TO NEW WATER METER #1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 6 TIE NEW 1" CW TO NEW WATER METER #2. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 7 TIE NEW 1" CW TO NEW WATER METER #3. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 8 ECOSMART TANKLESS WATER HEATER MODEL POU 3.5 (3.5 KW @ 120V)
- 9 PROVIDE MIXING VALVE POWERS MODEL LFG480 AND SET @110F.
- 10 PROVIDE 1" BACKFLOW PREVENTOR.



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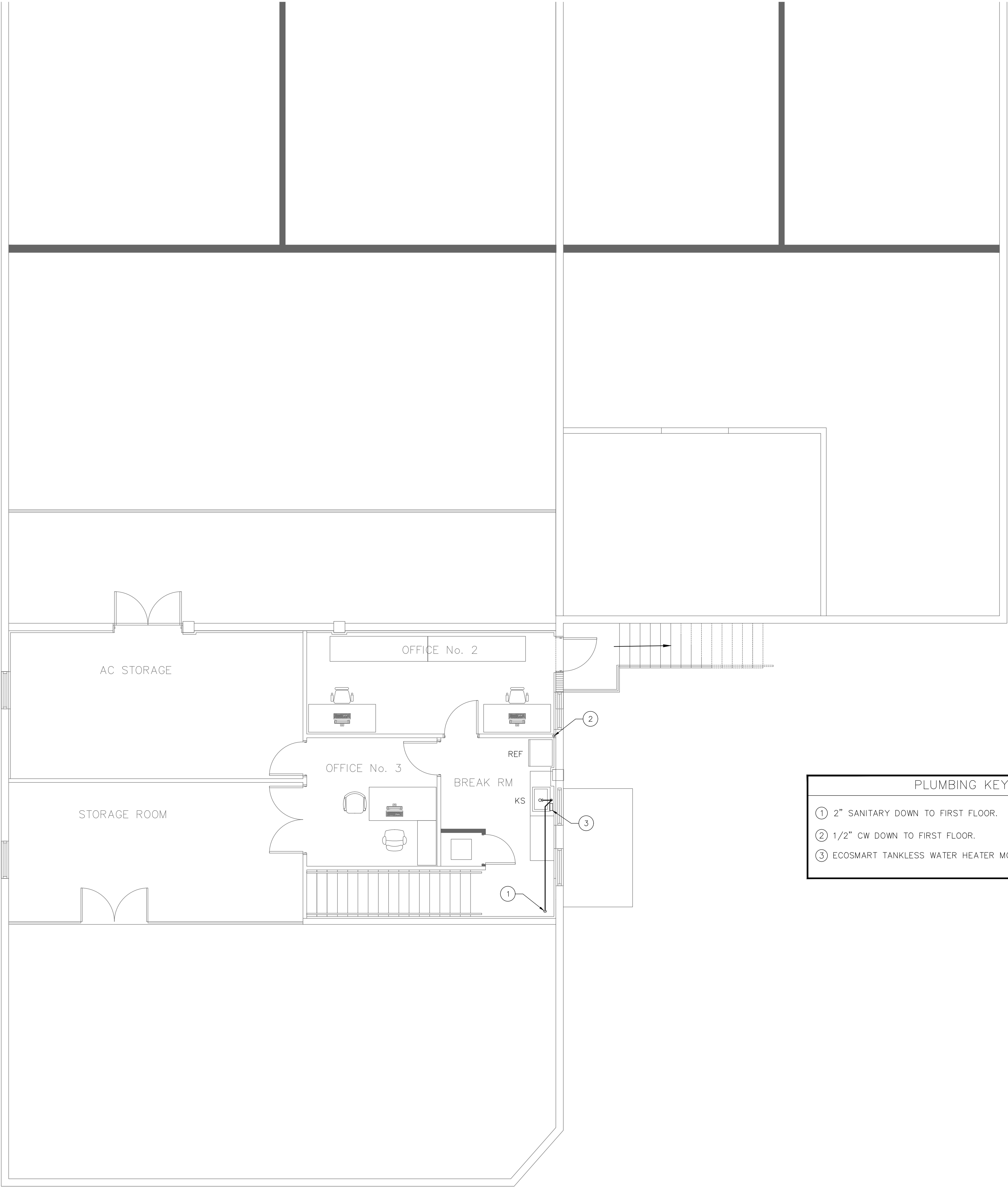
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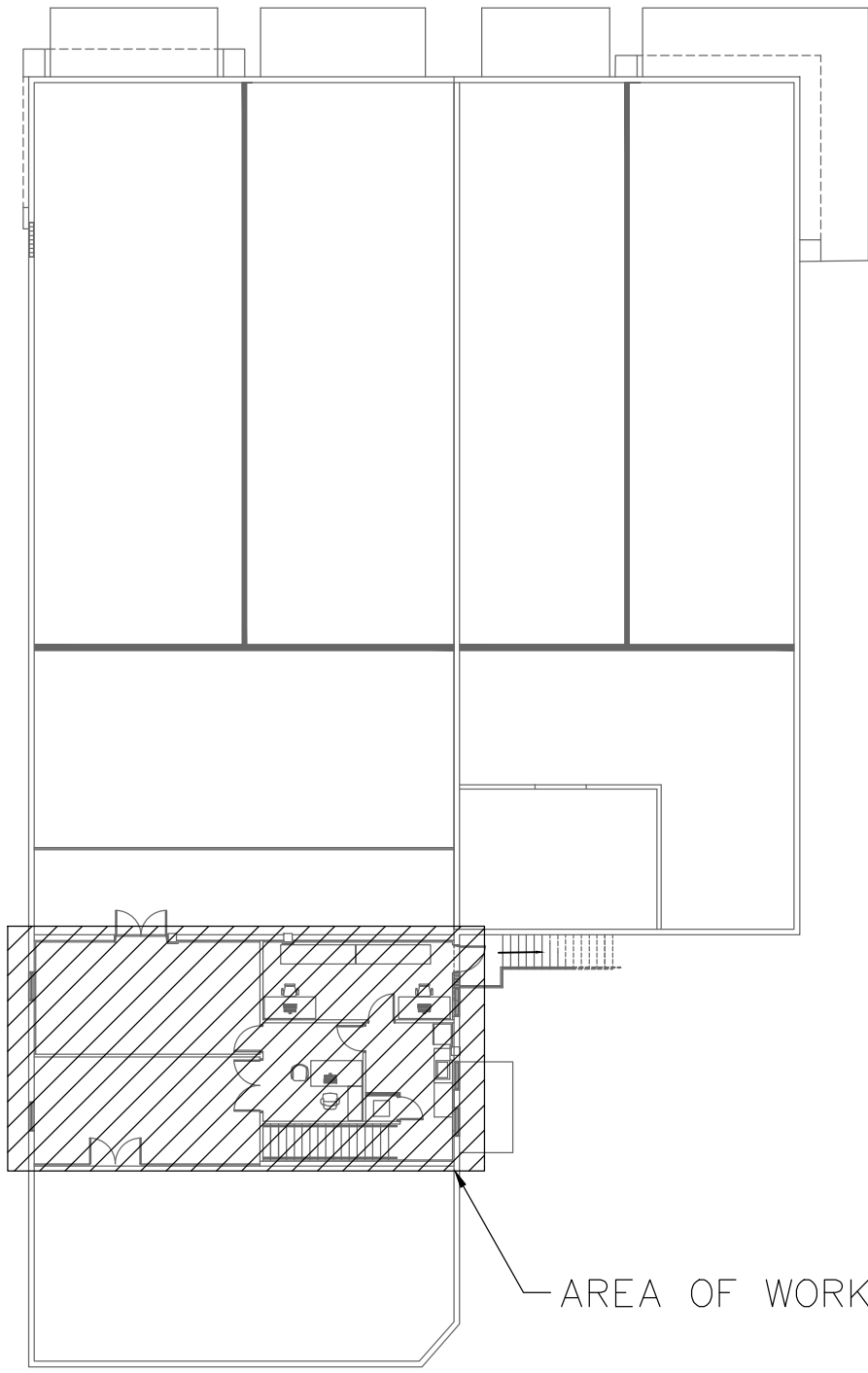
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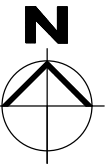
PLUMBING 2ND FLOOR PLAN

scale: 3/16" = 1'-0"




KEY PLAN

scale: NTS

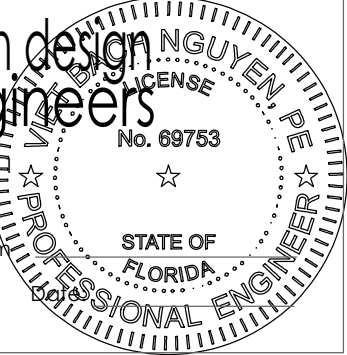


PLUMBING KEY NOTES

- ① 2" SANITARY DOWN TO FIRST FLOOR.
- ② 1/2" CW DOWN TO FIRST FLOOR.
- ③ ECOSMART TANKLESS WATER HEATER MODEL POU 3.5 (3.5 KW @ 120V)

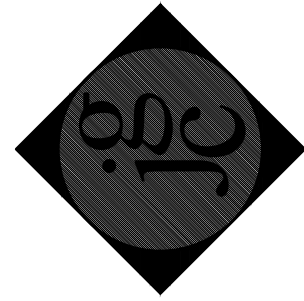


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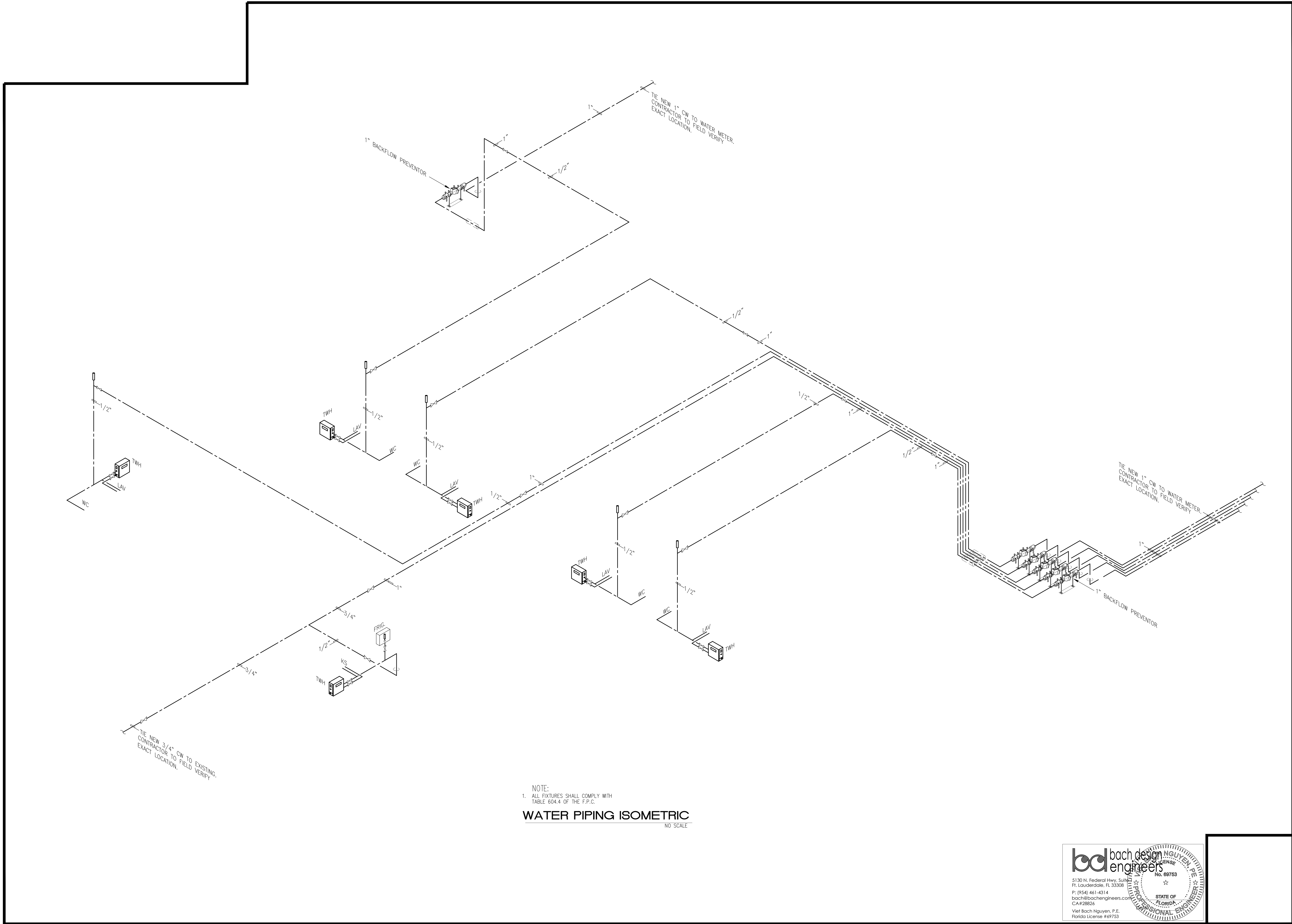
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OF SHEETS



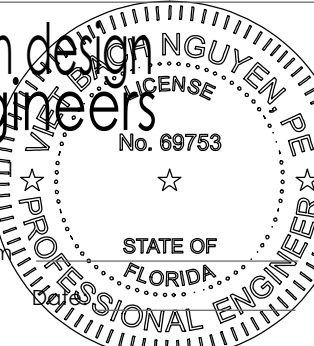
NOTE:
1. ALL FIXTURES SHALL COMPLY WITH
TABLE 604-4 OF THE F.P.C.

WATER PIPING ISOMETRIC
NO SCALE



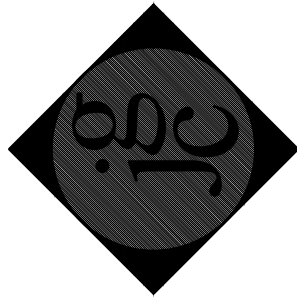
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OF SHEETS

- GENERAL PLUMBING NOTES:**
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FBC (PLUMBING 2020 7TH ED.) AND WITH ALL APPLICABLE REGULATIONS.
B. DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
C. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
D. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
E. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
 - PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC 2020 7TH ED. WATER SAVING STANDARDS.
 - MATERIALS:
 - PIPEING:
 - STORM, SOIL, WASTE AND VENT: SANITARY PIPE, PVC, DWV, SCHEDULE 40.
 - DOMESTIC WATER: COPPER PIPE, TYPE L WITH SWEAT WROUGHT COPPER FITTINGS, TYPE "M" IN CONCEALED SPACES IS ACCEPTABLE. ISOLATE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
 - DOMESTIC WATER SUPPLY ASSEMBLY: STAINLESS STEEL BRAIDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
 - ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
 - PIPING TEST AND DISINFECTIONS:
 - TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
 - DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWWA STANDARDS.
 - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY, AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.

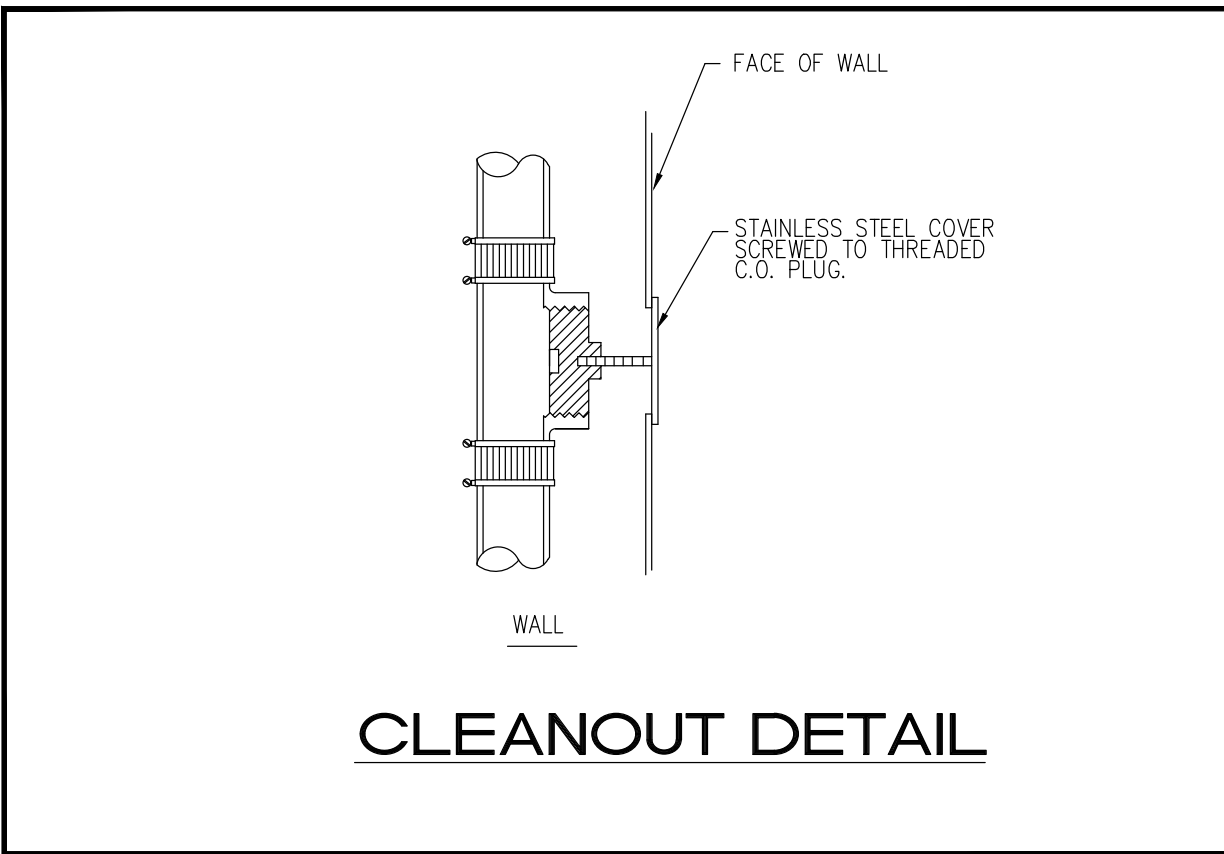
PLUMBING SYMBOL LEGEND		
SYMBOL	DESCRIPTION	
	SANITARY LINE	
	VENT LINE	
	SEWER LINE	
	CONDENSATE LINE	
	GATE VALVE	
	COLD WATER LINE	
	HOT WATER LINE	
	PLUMBING FIXTURE DESIGNATION	
	FLUSH CLEAN OUT	
	FLOOR PENETRATION	
	AIR CHAMBER	
	WALL CLEANOUT	
	VENT THRU ROOF	
	CLEANOUT ON GRADE	
	HOSE BIBB W/VB	

PLUMBING FIXTURE SCHEDULE		
NAME	FIXTURE	MODEL #
WC	WATER CLOSET (TANK)	BY OWNER
LAV	DROP-IN LAVATORY	BY OWNER
MS	MOP SINK	BY OWNER
SHR	SHOWER	BY OWNER

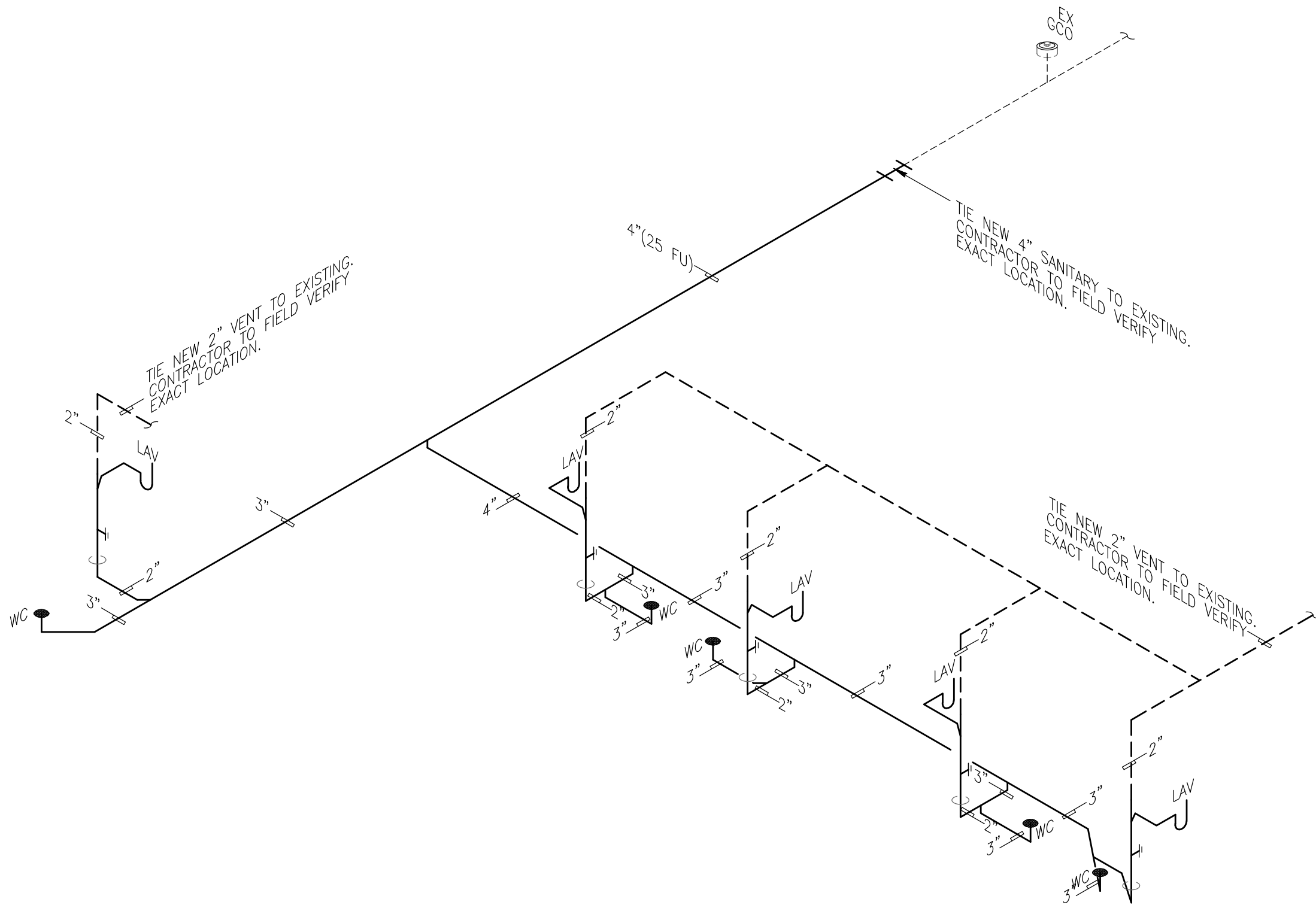
ALL TUB AND SHOWER VALVE SHALL BE ANTI-SCALD AND SHALL COMPLY WITH ASSE 1016.

FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
WATER CLOSET (TANK)	1/2"	3"	128 GPF
LAVATORY	1/2"	1 1/4"	15 GPM

* ALL PLUMBING FIXTURES SHALL BE SELECTED BY AND INSTALL BY CONTRACTOR



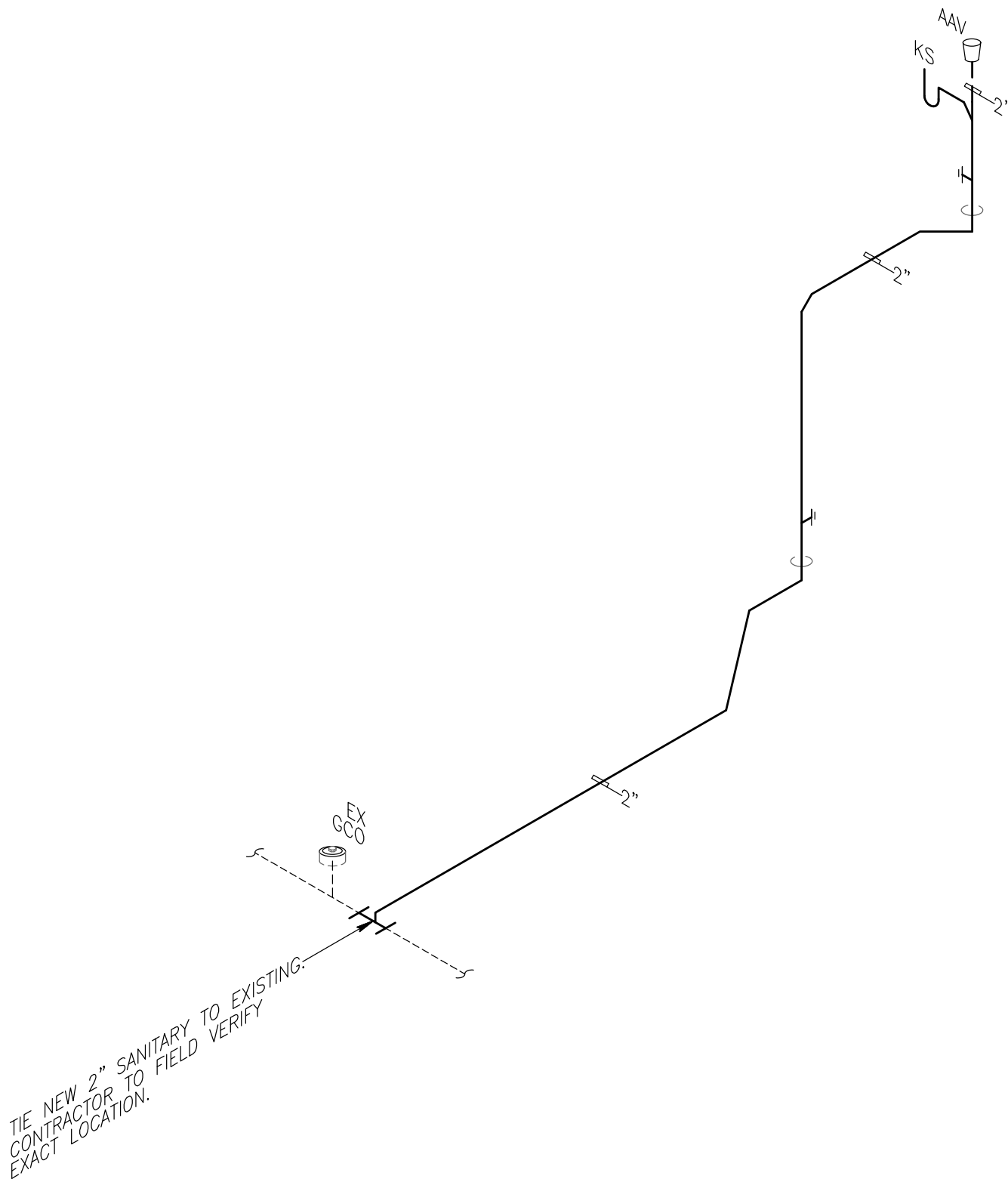
CLEANOUT DETAIL



NOTE:
SLOPE ALL PIPING 2" AND LESS @ 1/4" PER L.F.
SLOPE ALL PIPING 3" AND ABOVE @ 1/4" OR 1/8" PER L.F.

SANITARY PIPING ISOMETRIC

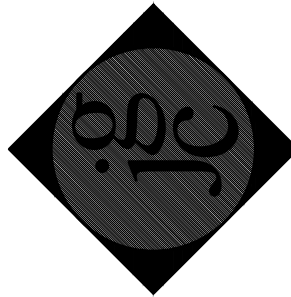
NO SCALE



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**PROPOSED RENOVATION FOR:
CALL OF AFRICA
920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA**

SEAL: AR NO. 0007957

AA26001131

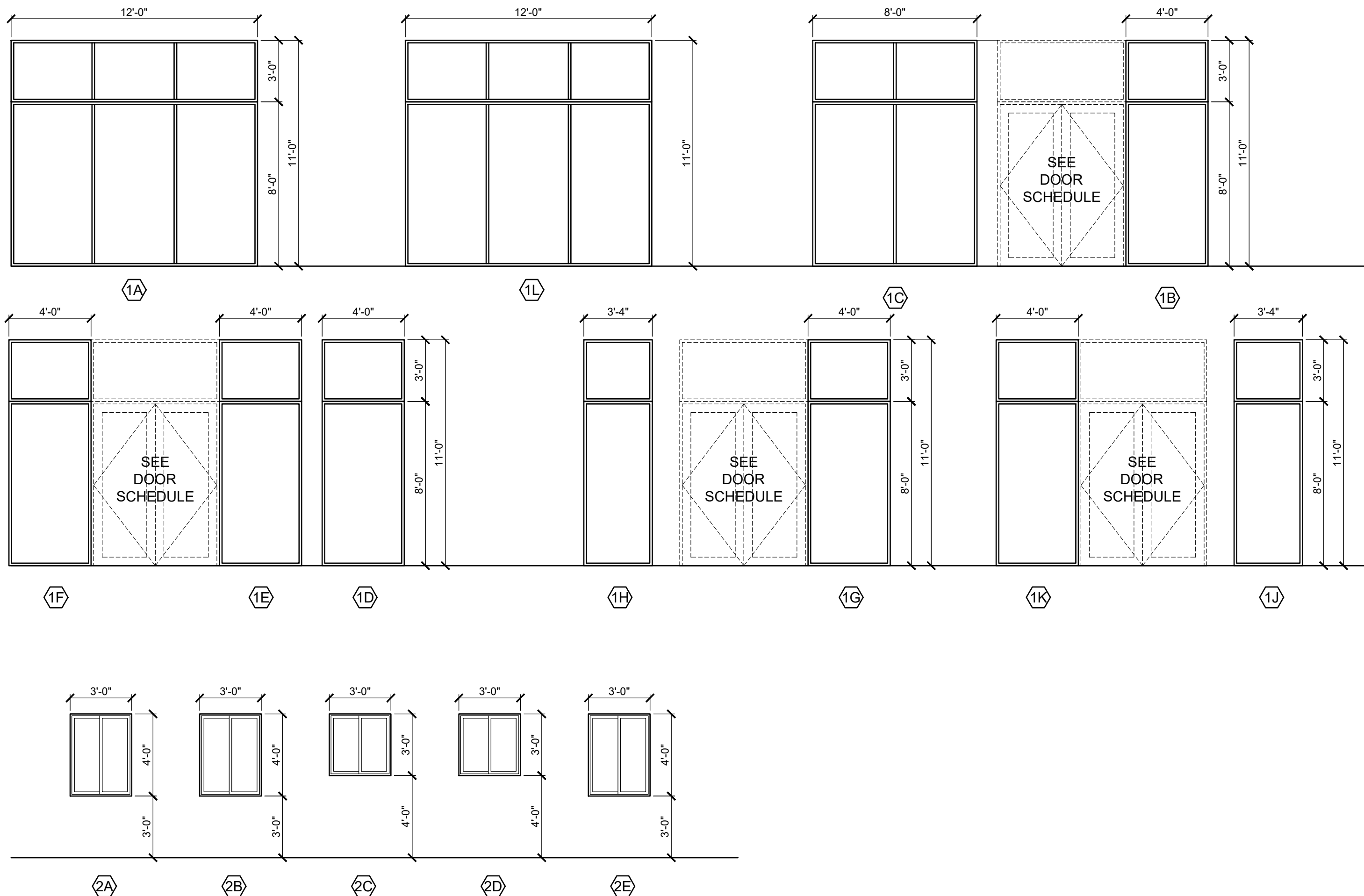
DRAWN	DBK
CHECKED	G.J.C.
DATE	11-12-22
SCALE	
JOB. NO.	22-053
SHEET	

P-4

OF SHEETS

1. ALL EXTERIOR WINDOWS UNLESS OTHERWISE NOTED SHALL BE PRE-FINISHED (E.S.P.) FINISH - COLOR SELECTED BY OWNER. GLASS SHALL HAVE A SHADING COEFFICIENT TO BE CONFIRMED WITH ENERGY CODE.
2. IMPACT RESISTANT CONSTRUCTION
3. WINDOW SIZES BASED ON PG&T MANUFACTURER. GENERAL CONTRACTOR SHALL VERIFY WITH MANUFACTURER ALL ROUGH OPENINGS PRIOR TO FABRICATION AND INSTALLATION AND MASONRY OPENING COORDINATION.
4. SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL WINDOWS. PRIOR TO INSTALLATION HIGHLIGHTING THE COMPONENTS, GLAZING AND PRESSURES TO BE USED.
5. CONFIRM EGRESS WINDOWS COMPLY WITH EGRESS CODE REQUIREMENTS.
6. COORDINATE DOORS AND WINDOWS 'U' & SHGC VALUES WITH ENERGY CODE CALCULATIONS.

2 WINDOW ELEVATIONS

[illegible]

1. INCLUDE 1-1/2" HINGES (3 PER DOOR), LOCK, LOCKSET.
2. PROVIDE MIAMI DADE PRODUCT APPROVAL BY DOOR MANUFACTURER FOR ALL EXTERIOR DOORS.
3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS FOR WINDOWS & DOORS PRIOR TO SHOP DRAWINGS SUBMITTAL AND MASONRY OPENINGS COORDINATION.
4. KEY LOCK DOOR HARDWARE SHALL HAVE THUMBTURN INSIDE & KEYED OUTSIDE BY SCHLAGE OR APPROVED EQUAL
5. ALL WINDOWS, EXTERIOR DOORS, & O.H. DOORS SHALL BE WEATHERTIGHT.
6. FOR EXTERIOR DOORS, PROVIDE WEATHER STRIP AROUND THE ENTIRE DOOR.
7. HARDWARE STYLE, COLOR AND FINISH AS SELECTED BY OWNER.
8. VERIFY TINTING AND SHADING COEFFICIENT WITH ENERGY CODE 'U' & SHGC VALUES.
9. SLIDING GLASS DOOR OPENINGS ARE BASED ON PGT MANUFACTURER W/ 1" X BUCK JAMB & HEAD AND MAX. AND 1/4" GROUT SILL. CONTRACTOR SHALL CONFIRM AND FIELD VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER PRIOR TO FABRICATION AND INSTALLATION.
10. PROVIDE TREMCO VULKEM 350 WATER PROOFING ON CONCRETE BALCONIES, SILLS AND UP THE WALL A MINIMUM OF 6" SLIDING GLASS DOOR SILL SCREWS AT BALCONIES SHALL BE CAULKED UNDER SILL WITH CAULKING COMPATIBLE W/ TREMCO VULKEM 350 WATER PROOFING

3 | DOOR SCHEDULE