## **IMPROVEMENT COST PER PROGRAM APPLICATION**

PROPERTY	BUSINESS IMPROVEMENT PROGRAM (PBIP) ESTIMATE #2679	Е	STIMATE
1	1300 DEMOLITION FAÇADE OF BUILDING	\$	9,650
1	1300 DEMOLITION PHASE 1	\$	26,040
1	1300 DEMOLITION PHASE 2	\$	35,350
1	SHELL SUPPLY/CONSTRUCTION	\$	276,322
6	DUMPSTER	\$	4,500
1	MECHANICAL	\$	113,362
1	PLUMBING	\$	52,760
1	ELECTRICAL	\$	142,400
1	6100 LANDSCAPE ALLOWANCE	\$	35,000
1	4720 ROOF & CEILING INSULATION	\$	48,962
1	3120 MATERIALS-WALL FRAMING	\$	37,622
1	5010 DRY WALL MATERIALS	\$	29,240
1	FINISH NEW DRY WALL	\$	67,730
		\$	878,938
	(CRA FUNDING LIMIT 90% or MAX \$225,000) CRA 25	5.6% \$	225,000
	DEVELOPER 74	1.4% \$	653,938

NON RES	SIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NFIP) EST	TIMATE # 267	8	ESTIMATE
1	WINDOWS			\$ 76,570.00
1	INSTALLATION			\$ 26,500
1	STUCCO			\$ 15,500
1	6300 EXTERIOR STRUCTURE			\$ 59,740
1	PAINT LABOR			\$ 3,500
1	4910 EXTERIOR PAINTING MATERIALS			\$ 4,760
1	SHELL SUPPLY/CONSTRUCTION			\$ 44,294
		FAÇADE	TOTAL	\$ 230,864
	CRA FUNDING LIMIT 90% OR MAX \$125,000	CRA	54.1%	\$ 125,000
		DEVELOPER	45.9%	\$ 105,864

STREETSC	APE IMPROVEMENT PROGRAM (SEP) ESTIMATE #2680		ESTIMATE
1	1300 DEMOLITION		\$ 6,960
1	3400 CONCRETE FORMING		\$ 24,490
1	6100 LANDSCAPE REMOVAL		\$ 3,820
1	6100 LANDSCAPING		\$ 15,804
2	MISC: STREET LIGHTING POLES, SUPPLY AND INSTALL		\$ 6,550
4	DUMPSTER		\$ 3,000
-		SEP TOTAL	\$ 60,624
	CRA FUNDING MAX 90% OR \$500,000	CRA 90%	\$ 54,562
		DEVELOPER 10%	\$ 6,062

OVERALL COST BREAKDOWN		
	CRA FUNDING REQUEST	\$ 404,562
	DEVELOPER CONTRIBUTION	\$ 765,864
	CONTRACTOR QUOTE LESS OVERHEAD	\$ 1,170,426
	DEVELOPER RESONSIBIILTY OVERHEAD	\$ 234,085
	DEVELOPER EXPENSES TO DATE	\$ 52,390

Boundless Builders LLC FL Statewide License CGC-1520937 230-1 SW 12 Avenue Pompano Beach, FL 33069 US +13057789846 amasso@boundless-builders.com \*\*\*.boundless-builders.com



## **Estimate**

ADDRESS SHIP TO ESTIMATE # 2709

DATE 01/27/2025

Ross Parker Ross Parker

Call of Africa Realty Inc.

Call of Africa Realty Inc.

920 NE 13 Street

920 NE 13 Street

Fort Lauderdale, FL 33304 USA Fort Lauderdale, FL 33304

USA

QTY	ITEM	UNIT PRICE	AMOUNT	
	PROPERTY AND BUSINESS IMPROVEMENT PROGRAM (PBIP)			
1	1300 Demolition and cutting of façade of building to be able to install new impact windows and new structural columns, beams and foundations.	9,650.00	9,650.00	
1	1300 DEMOLITION of phase 1 of project which involves the rear part of the warehouse	26,040.00	26,040.00	
1	1300 DEMOLITION of phase 2 of project which involves the front of the building including mezzanines and bathrooms	35,350.00	35,350.00	
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, Structural lumber, rough carpentry, flatwork/hardscape as per plans (S1-S1.1-S1.2-S2-S2.1-S2.2-S3-S4-S5 except front side walk. The Shell work doesn't include the interior framing and drywall which are not part of the shell. This is assuming that ALL existing columns indicated on plans are EXISTING and that we will not have to redo the front walls of building due to difficulty to hold them after the concrete cuts.	276,322.00	276,322.00	
6	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. ALLOWANCE	750.00	4,500.00	
1	Mechanical Mechanical for warehouse as per plans (M-1.1, M-1.2, M-2, M-3, M-4 dated 11- 12-22 Not including any demolition of existing equipment. These plans should have an updated date for construction. INCLUDES: MITSUBISHI MINI SPLIT 1 - MSZ-FS06NA-U1, 1 - MUZ-FS06NA-U1, 2 - MSZ-FS12NA-U1 1 - MXZ-3C24NA3-U1, 1 - MSZ-HM24NA-U1, 2 - MUZ-HM24NA-U2, 2 - MSZ-HM24NA-U1 MANUFACTURER WARRANTY TRANE SPLIT SYSTEMS: 2 - 4TTR6060N1000A, 2 - 4TTR6048N1000A, 1 - 4TTR6024N1000A, 2 - TEM8B0C60V51DA 2 - TEM8B0C60V51DA 2 - TEM8A0C48V41DC, 1 - TEM8A0B24V21DC 2 - BAYHTR1508BRKC, 2 - BAYHTR1505BRKC 1 - BAYHTR1504BRKC DUCTWORK: SINGLEWALL NO INSULATION METAL DUCT. CONNECTORS HANGERS, GRILLS, SEALER, ISOLATORS, RODS, STRAPS FAN SCHEDULE: EF-1 SP-B80, EF-2 AER-20-03-0605, EF-3 SP-B80 EF-4 AER-20-03-0605, EF-5 AER-20-03-0605, EF-6 SP-B80 PERMIT APPLICATIONS & INSPECTIONS ONE YEAR WARRANTY ON LABOR DURING NORMAL BUSINESS HOURS. OPENING, ROOF REPAIRS, WALL REPAIRS & TRASH DUMP BY OTHERS.	113,362.00	113,362.00	
1	Plumbing Plumbing for warehouse as per plans (P-1.1, P-1.2, P-2, P-3, P-4 dated 11-12-22 Not including any relocation of exterior piping. These plans should have an updated date for construction. Not including any irrigation work. All work according to above plans inside the warehouse	52,760.00	52,760.00	
1	Electrical Electrical for warehouse as per plans (E-1.1, E-1.2, E-2, E-3, E-4 dated 11-12-22 Not including any low voltage Lutron or other AV-Audio installations. These plans should have an updated date for construction.	142,400.00	142,400.00	

CAM #25-0081 Exhibit 3 Page 2 of 45

QTY	ITEM	UNIT PRICE	AMOUNT	
1	6100 LANDSCAPING ALLOWANCE. Landscaping must be discussed after all work is finish. there will be a lot of earth movement around the building and damage to existing (to remain) trees and shrubs.	35,000.00	35,000.00	
1	4720 Roof and Ceiling Insulation with Icynene R19 coverage of approximately 11584 sf and batt insulation for walls between store fronts and some internal walls and ceilings below mezzanine.	48,962.00	48,962.00	
1	3120 Materials - Wall Framing	37,622.00	37,622.00	
1	5010 Drywall Material	29,240.00	29,240.00	
1	Finish Finish new drywall and other existing walls/ceilings were repairs needs to be done. This doesn;'t include refinishing of the whole house, only the new areas and repairs. Probably will need whole house smooth finish. Will walk through when ready for finishing.  STREETSCAPE ENHANCEMENT PROGRAM (SEP)	67,730.00	67,730.00	
1	1300 DEMOLITION of existing side walk	6,960.00	6,960.00	
1	3400 CONCRETE Forming of front sidewalk and finish new side walk frontage according to plans.	24,490.00	24,490.00	
1	6100 LANDSCAPING REMOVAL. removal of existing trees that broke the existing side walk. Stomp grinding of it and disposal at dumpsters	3,820.00	3,820.00	
1	6100 LANDSCAPING for front of building and side walk trees (4) Silvester Palm Trees 15' H	15,804.00	15,804.00	
2	Misc Street Lighting Poles. Supply and install lighting poles with lamps similar to the ones down the street	3,275.00	6,550.00	
4	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. Allowance NON RESIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NRFIP)	750.00	3,000.00	
1	Windows Supply impact windows and doors for front façade manufactured in compliance with Miami Dade County Hurricane Codes with its approved NOA's and according to description on plan A9 Installation will be quoted separately (below)	76,570.00	76,570.00	
1	Installation Installation of the above described hurricane impact windows and doors.	26,500.00	26,500.00	
1	Stucco Apply stucco on whole front of warehouse, on two sides where new windows are located and where we covered previous openings. Can't guarantee perfect match between old and new stucco, will try the best possible match.	15,500.00	15,500.00	
1	Services EXTERIOR STRUCTURES. Trellis in aluminum for all 4 store fronts, west and east sides of the store fronts, includes fabrication and installation	59,740.00	59,740.00	
1	PAINT Labor to Apply 2 hands of professional primer and 2 hands of professional painting on the façade area	3,500.00	3,500.00	
1	4910 Exterior Painting Material	4,760.00	4,760.00	
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, rough carpentry, flatwork/hardscape for façade. Rebuild structural wall for all façade new 4 retail spaces with poured concrete columns and beams.	44,294.00	44,294.00	
0.20	OVERHD-PROFIT Overhead and Profit from the purchasing, management and coordination of General Contractor 20% including estimates 2678-2679 & 2680 Totals	1,170,426.00	234,085.20	
1	General:Unforeseen Conditions PLEASE NOTE: that in several projects what is called "Unforeseen Conditions" may happen and it's simply unanticipated or unexpected circumstance(s) or situation(s) that affects the final price and/or completion time of a contract or project. Everything will be discussed with client prior to addressing the issue unless it was determined urgency to solve. Services and materials will be charged accordingly.	0.00	0.00	
	determined digericy to solve. Services and materials will be charged accordingly.			

Boundless Builders LLC FL Statewide License CGC-1520937 230-1 SW 12 Avenue Pompano Beach, FL 33069 US +13057789846 amasso@boundless-builders.com \*\*\*.boundless-builders.com



## **Estimate**

ADDRESS SHIP TO ESTIMATE # 2679

DATE 04/01/2024

Ross Parker
Call of Africa Realty Inc.
Ross Parker
Call of Africa Realty Inc.

920 NE 13 Street 920 NE 13 Street
Fort Lauderdale, FL 33304 USA Fort Lauderdale, FL 33304

USA

QTY	ITEM	UNIT PRICE	AMOUNT	
	PROPERTY AND BUSINESS IMPROVEMENT PROGRAM (PBIP)			
1	1300	9,650.00	9,650.00	
·	Demolition and cutting of façade of building to be able to install new impact windows and new structural columns, beams and foundations.	0,000.00	0,000.00	
1	1300 DEMOLITION of phase 1 of project which involves the rear part of the warehouse	26,040.00	26,040.00	
1	1300 DEMOLITION of phase 2 of project which involves the front of the building including mezzanines and bathrooms	35,350.00	35,350.00	
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, Structural lumber, rough carpentry, flatwork/hardscape as per plans (S1-S1.1-S1.2-S2.4-S2.1-S2.2-S3-S4-S5 except front side walk. The Shell work doesn't include the interior framing and drywall which are not part of the shell. This is assuming that ALL existing columns indicated on plans are EXISTING and that we will not have to redo the front walls of building due to difficulty to hold them after the concrete cuts.	276,322.00	276,322.00	
6	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. ALLOWANCE	750.00	4,500.00	
1	Mechanical	113,362.00	113,362.00	
	Mechanical for warehouse as per plans (M-1.1, M-1.2, M-2, M-3, M-4 dated 11-12-22 Not including any demolition of existing equipment. These plans should have an updated date for construction. INCLUDES:  MITSUBISHI MINI SPLIT  1 - MSZ-FS06NA-U1, 1 - MUZ-FS06NA-U1, 2 - MSZ-FS12NA-U1  1 - MXZ-3C24NA3-U1, 1 - MSZ-HM24NA-U1, 2 - MUZ-HM24NA-U2, 2 - MSZ-HM24NA-U1  MANUFACTURER WARRANTY TRANE SPLIT SYSTEMS: 2 - 4TTR6060N1000A, 2 - 4TTR6048N1000A, 1 - 4TTR6024N1000A, 2 - TEM8B0C60V51DA 2 - TEM8B0C60V51DA 2 - TEM8A0C48V41DC, 1 - TEM8A0B24V21DC 2 - BAYHTR1508BRKC, 2 - BAYHTR1505BRKC 1 - BAYHTR1504BRKC DUCTWORK: SINGLEWALL NO INSULATION METAL DUCT. CONNECTORS HANGERS, GRILLS, SEALER, ISOLATORS, RODS, STRAPS FAN SCHEDULE: EF-1 SP-B80, EF-2 AER-20-03-0605, EF-3 SP-B80 EF-4 AER-20-03-0605, EF-5 AER-20-03-0605, EF-6 SP-B80 PERMIT APPLICATIONS & INSPECTIONS ONE YEAR WARRANTY ON LABOR DURING NORMAL BUSINESS HOURS. OPENING, ROOF REPAIRS, WALL REPAIRS & TRASH DUMP BY OTHERS.			
1	Plumbing Plumbing for warehouse as per plans (P-1.1, P-1.2, P-2, P-3, P-4 dated 11-12-22 Not including any relocation of exterior piping. These plans should have an updated date for construction. Not including any irrigation work. All work according to above plans inside the warehouse	52,760.00	52,760.00	
1	Electrical Electrical for warehouse as per plans (E-1.1, E-1.2, E-2, E-3, E-4 dated 11-12-22 Not including any low voltage Lutron or other AV-Audio installations. These plans should have an updated date for construction.	142,400.00	142,400.00	

CAM #25-0081 Exhibit 3 Page 4 of 45

QTY	ITEM	UNIT PRICE	AMOUNT
1	6100 LANDSCAPING ALLOWANCE. Landscaping must be discussed after all work is finish. there will be a lot of earth movement around the building and damage to existing (to remain) trees and shrubs.	35,000.00	35,000.00
1	4720 Roof and Ceiling Insulation with Icynene R19 coverage of approximately 11584 sf and batt insulation for walls between store fronts and some internal walls and ceilings below mezzanine.	48,962.00	48,962.00
1	3120 Materials - Wall Framing	37,622.00	37,622.00
1	5010 Drywall Material	29,240.00	29,240.00
1	Finish Finish new drywall and other existing walls/ceilings were repairs needs to be done. This doesn;'t include refinishing of the whole house, only the new areas and repairs. Probably will need whole house smooth finish. Will walk through when ready for finishing.	67,730.00	67,730.00
1	General:Unforeseen Conditions PLEASE NOTE: that in several projects what is called "Unforeseen Conditions" may happen and it's simply unanticipated or unexpected circumstance(s) or situation(s) that affects the final price and/or completion time of a contract or project. Everything will be discussed with client prior to addressing the issue unless it was determined urgency to solve. Services and materials will be charged accordingly.	0.00	0.00

TOTAL

\$878,938.00

Accepted By Accepted Date

Boundless Builders LLC FL Statewide License CGC-1520937 230-1 SW 12 Avenue Pompano Beach, FL 33069 US +13057789846 amasso@boundless-builders.com \*\*\*.boundless-builders.com



## **Estimate**

**ADDRESS** 

Ross Parker

Call of Africa Realty Inc.

920 NE 13 Street

Fort Lauderdale, FL 33304 USA

SHIP TO

Ross Parker

Call of Africa Realty Inc.

920 NE 13 Street

Fort Lauderdale, FL 33304

USA

ESTIMATE # 2678 DATE 03/18/2024

QTY	ITEM	UNIT PRICE	AMOUNT	
1	NON RESIDENTIAL FAÇADE IMPROVEMENT PROGRAM (NRFIP) Windows Supply impact windows and doors for front façade manufactured in compliance with Miami Dade County Hurricane Codes with its approved NOA's and according to description on plan A9 Installation will be quoted separately (below)	76,570.00	76,570.00	
1	Installation Installation of the above described hurricane impact windows and doors.	26,500.00	26,500.00	
1	Stucco Apply stucco on whole front of warehouse, on two sides where new windows are located and where we covered previous openings. Can't guarantee perfect match between old and new stucco, will try the best possible match.	15,500.00	15,500.00	
1	6300 EXTERIOR STRUCTURES. Trellis in aluminum for all 4 store fronts, west and east sides of the store fronts, includes fabrication and installation	59,740.00	59,740.00	
1	PAINT Labor to Apply 2 hands of professional primer and 2 hands of professional painting on the façade area	3,500.00	3,500.00	
1	4910 Exterior Painting Materials	4,760.00	4,760.00	
1	Shell Supply/construction of foundation, masonry, beam work, structural steel, rough carpentry, flatwork/hardscape for façade. Rebuild structural wall for all façade new 4 retail spaces with poured concrete columns and beams.	44,294.00	44,294.00	
1	General:Unforeseen Conditions PLEASE NOTE: that in several projects what is called "Unforeseen Conditions" may happen and it's simply unanticipated or unexpected circumstance(s) or situation(s) that affects the final price and/or completion time of a contract or project. Everything will be discussed with client prior to addressing the issue unless it was determined urgency to solve. Services and materials will be charged accordingly.	0.00	0.00	

**TOTAL** 

\$230,864.00

Accepted By

Accepted Date

Boundless Builders LLC FL Statewide License CGC-1520937 230-1 SW 12 Avenue Pompano Beach, FL 33069 US +13057789846 amasso@boundless-builders.com \*\*\*.boundless-builders.com



## **Estimate**

ADDRESS

Ross Parker

Call of Africa Realty Inc. 920 NE 13 Street

Fort Lauderdale, FL 33304 USA

SHIP TO

Ross Parker

Call of Africa Realty Inc.

920 NE 13 Street

Fort Lauderdale, FL 33304

USA

ESTIMATE # 2680 DATE 04/01/2024

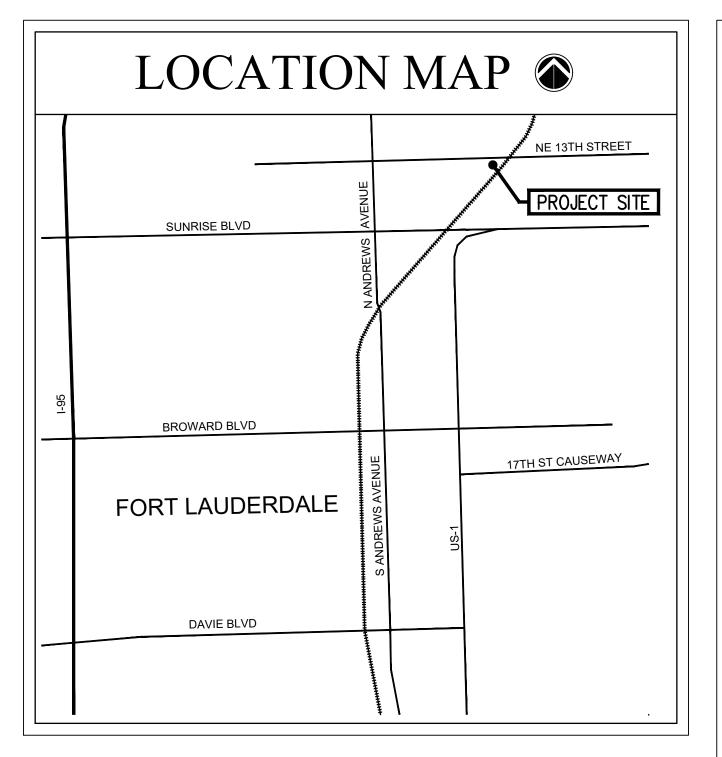
QTY	ITEM	UNIT PRICE	AMOUNT	
	STREETSCAPE ENHANCEMENT PROGRAM (SEP)			
1	1300 DEMOLITION of existing side walk	6,960.00	6,960.00	
1	3400 CONCRETE Forming of front sidewalk and finish new side walk frontage according to plans.	24,490.00	24,490.00	
1	6100 LANDSCAPING REMOVAL. removal of existing trees that broke the existing side walk. Stomp grinding of it and disposal at	3,820.00	3,820.00	
1	6100 LANDSCAPING for front of building and side walk trees (4) Silvester Palm Trees 15' H	15,804.00	15,804.00	
2	Misc Street Lighting Poles. Supply and install lighting poles with lamps similar to the ones down the street	3,275.00	6,550.00	
4	DUMPSTER Drop off and pick up of 20 CuYd Dumpster for debris disposal. ALLOWANCE	750.00	3,000.00	
1	General:Unforeseen Conditions PLEASE NOTE: that in several projects what is called "Unforeseen Conditions" may happen and it's simply unanticipated or unexpected circumstance(s) or situation(s) that affects the final price and/or completion time of a contract or project. Everything will be discussed with client prior to addressing the issue unless it was determined urgency to solve. Services and materials will be charged accordingly.	0.00	0.00	

**TOTAL** 

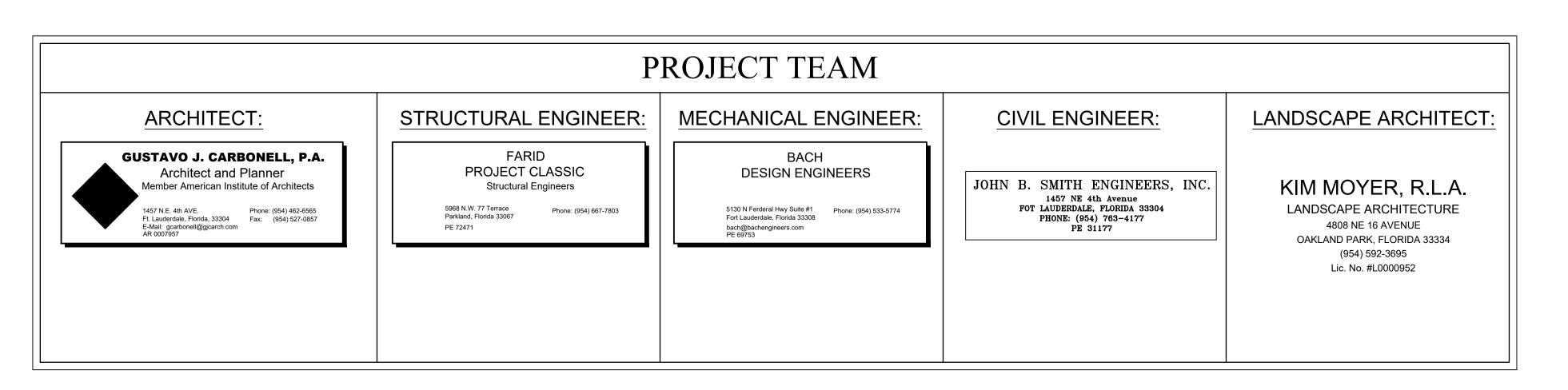
\$60,624.00

Accepted By Accepted Date

# REMODELING FOR: CALL OF AFRICA 920 N.E. 13th Street FORT LAUDERDALE, FLORIDA







## SHEET INDEX

COV-1 COVER SHEET

SURVEY

## SITE/DATA

SP-1 SITE PLAN AND DATA

- C-1 PAVING, GRADING AND DRAINAGE WATER AND SEWER SERVICE CONNECTIONS PLAN
- C-2 PAVING AND DRAINAGE DETAILS
- C-3 EROSION CONTROL PLAN
- C-4 CITY OF FORT LAUDERDALE STANDARD DETAILS

## LANDSCAPING

L-1 LANDSCAPE PLAN, TYP. DETAILS & NOTES

## ARCHITECTURAL

- A-0 ABBREVIATIONS, NOTES, DATA A-1.0 GROUND FLOOR/SECOND FLOOR DEMO PLANS A-2.0 GROUND FLOOR/SECOND FLOOR PLANS A-2.1 WALL TYPES
- A-3.0 EXTERIOR ELEVATIONS A-4.0 LIFE SAFETY PLANS AND NOTES
- A-5.0 WALL SECTIONS
- A-6.0 WALL SECTIONS
- A-7.0 WALL SECTIONS
- A-8.0 STAIR SECTION & DETAILS A-9.0 DOOR AND WINDOW SCHEDULES
- STRUCTURAL
- S-1 FOUNDATION & FIRST FLOOR COLUMN PLAN & DETAILS S-2 2ND FLOOR FRAMING PLANS & DETAILS
- S-2.1 2ND FLOOR FRAMING PLAN
- S-2 2ND FLOOR FRAMING PLAN S-3 STRUCTURAL NOTES & DETAILS
- S-4 DETAILS S-5 DETAILS
- ST-1 STAIR DETAILS

ELECTRICAL

ST-2 STAIR DETAILS

## E-1.1 ELECTRICAL 1ST FLOOR PLAN – SECTION A

- E-1.2 ELECTRICAL 1ST FLOOR PLAN SECTION B E-2 ELECTRICAL 2ND FLOOR PLAN
- E-3 ELECTRICAL PANELS
- E-4 ELECTRICAL NOTES, RISER, AND DETAILS

## MECHANICAL

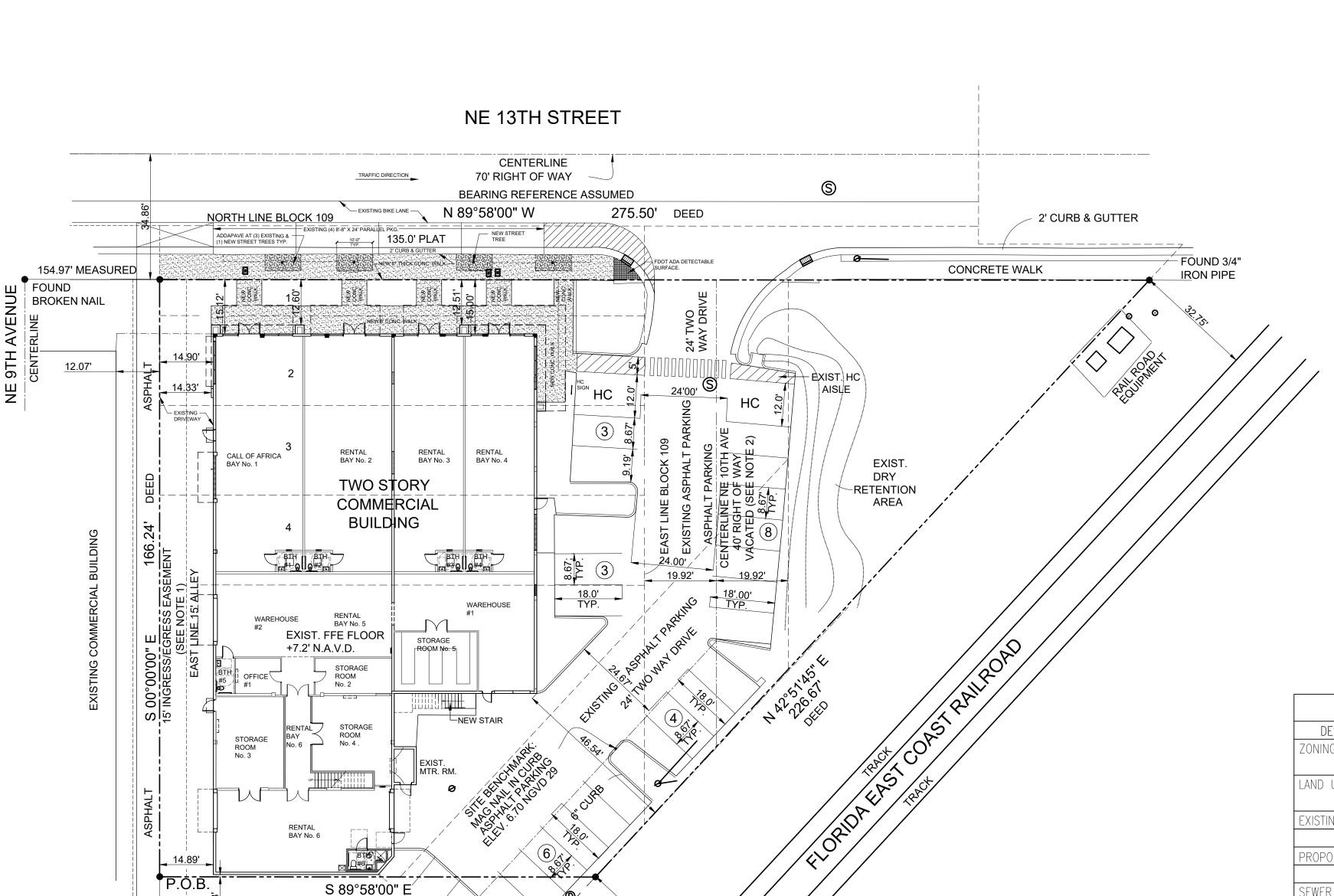
- M-1.1 MECHAINCAL 1ST FLOOR PLAN SECTION A M-1.2 MECHANICAL 1ST FLOOR PLAN – SECTION B
- M-2 MECHANICAL 2ND FLOOR PLAN
- M-3 MECHANICAL SCHEDULES AND NOTES
- M-4 MECHANICAL DETAILS

## PLUMBING

- P-1.1 PLUMBING 1ST FLOOR PLAN SECTION A P-1.2 PLUMBING 1ST FLOOR PLAN – SECTION B
- P-2 WATER PIPING ISOMETRIC
- P-3 PLUMBING RISERS, NOTES, AND DETAILS

P-4 SANITARY PIPING ISOMETRIC

COV-1



## LEGAL DESCRIPTION:

A PORTION OF BLOCK 109 AND ADJOINING LANDS LYING EAST OF BLOCK 109, "PROGRESSO", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY CORNER OF SAID BLOCK 109, A DISTANCE OF 198.46 FEET TO A POINT ON THE CENTERLINE OF A 15 FOOT ALLEY AS SHOWN ON SAID PLAT, AND AS VACATED BY BROWARD COUNTY ORDINANCE NUMBER C-86101, THENCE NORTH ALONG SAID CENTERLINE A DISTANCE OF 72.19 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH ALONG SAID ALLEY CENTERLINE A DISTANCE OF 166.24 FEET TO A POINT 15 FEET SOUTH OF THE NORTH LINE OF SAID BLOCK 109; ALSO BEING THE SOUTH RIGHT OF WAY LINE SOUTH OF AND PARALLEL WITH THE NORTH LINE OF WAY OF NE 13TH STREET, A DISTANCE OF 275.50 FEET TO A POINT ON THE NORTH WESTERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILROAD AS SHOWN ON SAID PLAT; THENCE S42°51'45"W ALONG SAID FLORIDA EAST COAST RAILROAD RIGHT OF WAY A DISTANCE OF 226.67 FEET TO A POINT 166.00 FEET SOUTH OF THE SOUTH RIGHT OF WAY LINE OF NE 13TH STREET; THENCE N89°58'00"W ALONG A LINE 166.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH RIGHT OF WAY LINE OF NE 13TH STREET, A DISTANCE OF 121.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA CONTAINING 32,982 SQUARE FEET, MORE OR LESS.

DESCRIPTION	SITE DATA			·DIDTION
ZONING:	B-3 - HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS	109 & ADJ LANDS LYING ELY OF BLK 109 DES		9-42 POR BLK BLK 109 DESC
LAND USE:	B-3 - HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS	AS: COMM ATMOST SLY COR BLK 109, NE		
EXISTING USE:	HEAVY COMMERCIAL/LIGHT INDUSTRIAL BUSINESS			
PROPOSED USE:	RETAIL. OFFICE, WAREHOUSE	SAID BLK 109,1 37.16,NW 40.10	NE 296.92 TO POB,	E 54.67,SW
SEWER PROVIDER:	CITY OF FORT LAUDERDALE	1	TAX FOLIO NUMBER	
WATER PROVIDER:	CITY OF FORT LAUDERDALE		494234030570	
GARBAGE PROVIDER:	CITY OF FORT LAUDERDALE	PERMITTED	PROVIDED	
BUILDING HEIGHT		150'-0"	24'-0"	
DESCRIPTION	FACTOR	PERMITTED	PROVIDED	% OF SITE
SITE AREA	32,982 SF		32,982 S.F. OR .76 ACRES	100%
BUILDING FOOTPRINT	11,584 SF		11,584 S.F.	35.12%
DRIVEWAYS V.U.A.			9,798 S.F.	29.70%
SIDEWALKS			1,190 S.F.	3.61%
LANDSCAPED AREA			10,410 S.F.	38.23%
PARKING		REQUIRED	PROVIDED	~~~~
RETAIL	5,874 S.F. @ 1/250 S.F.	24 SPACES		
OFFICE	723 S.F. @ 1/250 S.F.	3 SPACES		
WAREHOUSE	6,465 S.F. @ 1/250 S.F.	26 SPACES		
TOTAL PARKING		53 SPACES	28 SPACES	
SETBACKS		PERMITTED	PROVIDED	
FRONT - NORTH		5.00 FT	15.0 FT	
SIDE - EAST		0 FT	46.54 FT	
SIDE - WEST		0 FT	14.32 FT	

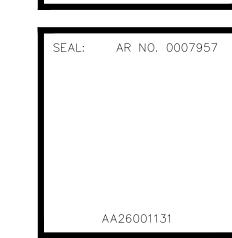
Chitect and Planner
1457 N.E. 4th AVE.
auderdale, Florida, 33304
(954) 462-6565

GUSTA GUSTA Ft.

PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET



DBK
G.J.C.
11-12-22
22-053
_
<b>SP-1</b>
SHEETS

**NORTH** 

SITE PLAN

SCALE: 1" = 10'

## LANDSCAPE NOTES

1- All plant material shall be Florida No. 1 or better as given inthe current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.

2- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to

specification. 3- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and

Landscape Architect for final approval. 4-All plants shall be exceptionally heavy, symmetrical, tight knit and so trained

in appearance as to be superior to form, branching and symmetry. 5. Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner. 6- Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'- 4' around their base. All

mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage. 7- Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.

8- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease. 9- All sodded areas to have a minimum of 2" of planting soil as described in

10- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance. 11- All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.

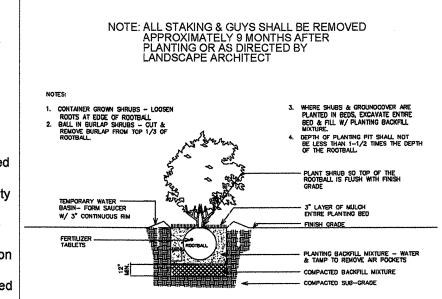
12- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.

13- All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with the top of their rootballs TREE STAKING DETAIL no deeper than the final grade surrounding the planting area. 14- In areas where paved surfaces abut sod or mulch, the final level of both

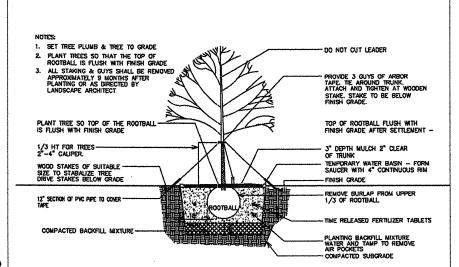
surfaces should be even. 15- All planting shall be installed with fertilizer at time of planting. 16- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at

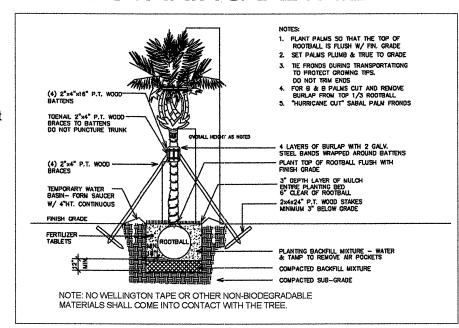
17- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device. 18- All landscape and irrigation shall be installed in compliance with all local

19- The plan shall take precedence over the plant list, should there be any discrepancy between the two.



## SHRUB PLANTING DETAIL

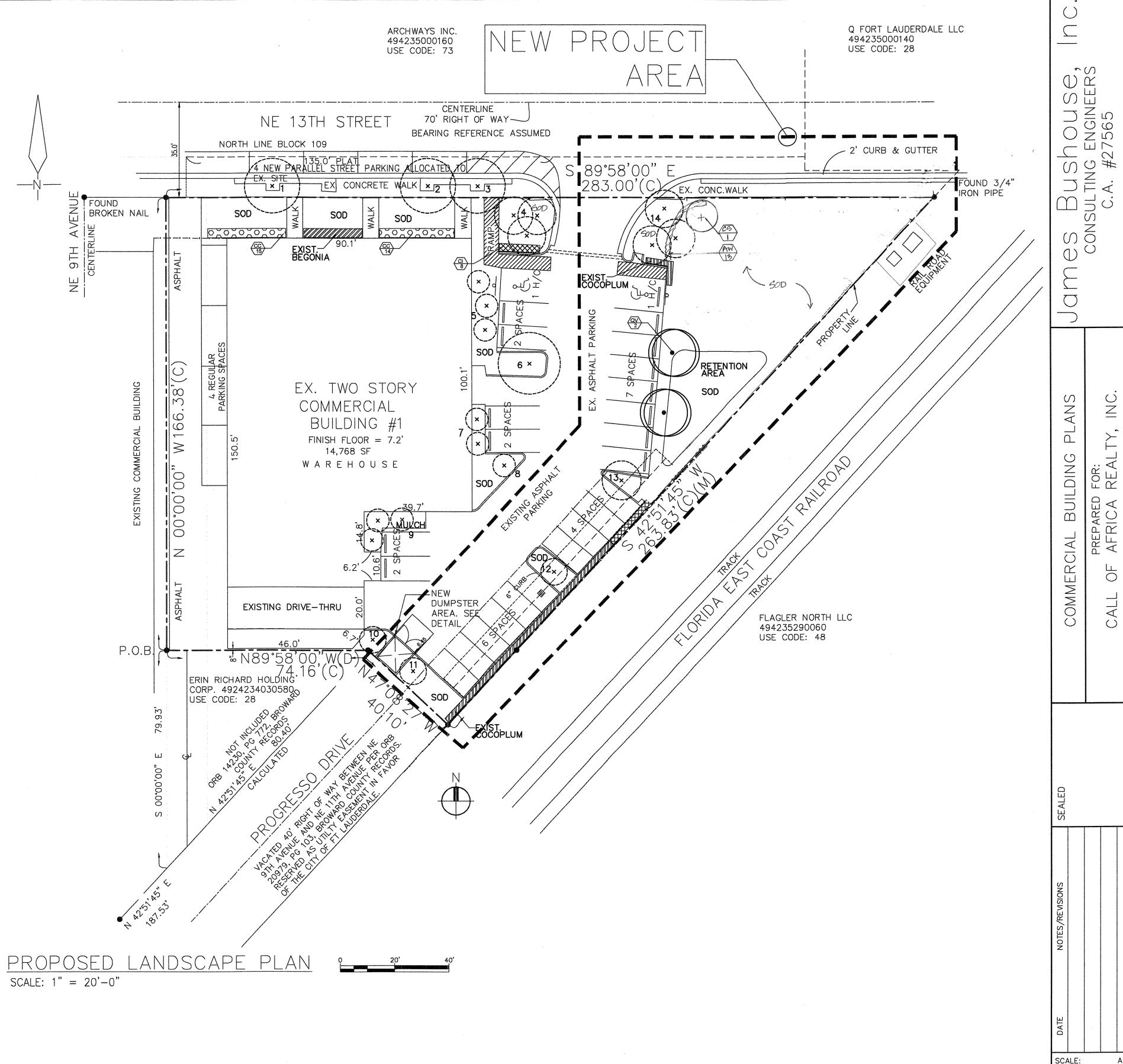




## PALM PLANTING DETAIL

Existing tree number	Qty	Botanical/ Common Name	Size (dbh, ht x spr)	Disposition
1	1	Senna sp./ Cassia	17", 25' x 40'	Remain
2	1	Delonix regia/ Royal Poinciana	8", 30' x 22'	Remain
3	1	Delonix regia/ Royal Poinciana	12", 30' x 26'	Remain
4	3	Sabal palmetto/ Sabal Palm	20' CT	Remain
5	3	Sabal palmetto/ Sabal Palm	24' CT	Remain
6	1	Quercus virginiana/ Live Oak	9", 30'x 25'	Remain
7	2	Sabal palmetto/ Sabal Palm	26' CT	Remain
8	1	Sabal palmetto/ Sabal Palm	12' CT	Remain
9	3	Sabal palmetto/ Sabal Palm	16' CT	Remain
10	1	Sabal palmetto/ Sabal Palm	28' CT	Remain
11	1	Sabal palmetto/ Sabal Palm	28' CT	Remain
12	1	Sabal palmetto/ Sabal Palm	20' CT	Remain
13	1	Tabebuia heterophylla/ Pink Tabebuia	9", 18' x 18'	Remain
14	3	Sabal palmetto/ Sabal Palm	20' CT	Remain

rees/ Palr	ns				
<u>Sym</u>	Qty	<u>Botanical / Common Name</u>	Size	<u>Native</u>	Drought Tolerance
CS	1	Cordia sebestena/ Orange Geiger Tree	12' Ht x 3' Spr, 2" cal	Yes	High
QV	2	Quercus virginiana/ Live Oak	12' Ht x 4' Spr, 2" cal	Yes	High
Shrubs/ Gr	oundcove	rs			
AW	13	Acalypha wilkesiana/ Copperleaf	24" x 24", 24" O.C.	No	Low
CC	29	Capparis cynophallophora/Jamaica Caper	24" x 24", 24" O.C.	Yes	High
Cl	8	Chysobalanus icaco/ Cocoplum	24" x 24", 24" O.C.	Yes	Medium
Sod		St. Augustine			
Mulch		Shredded Melaleuca or Eucalyptus and pine straw			



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AS NOTED

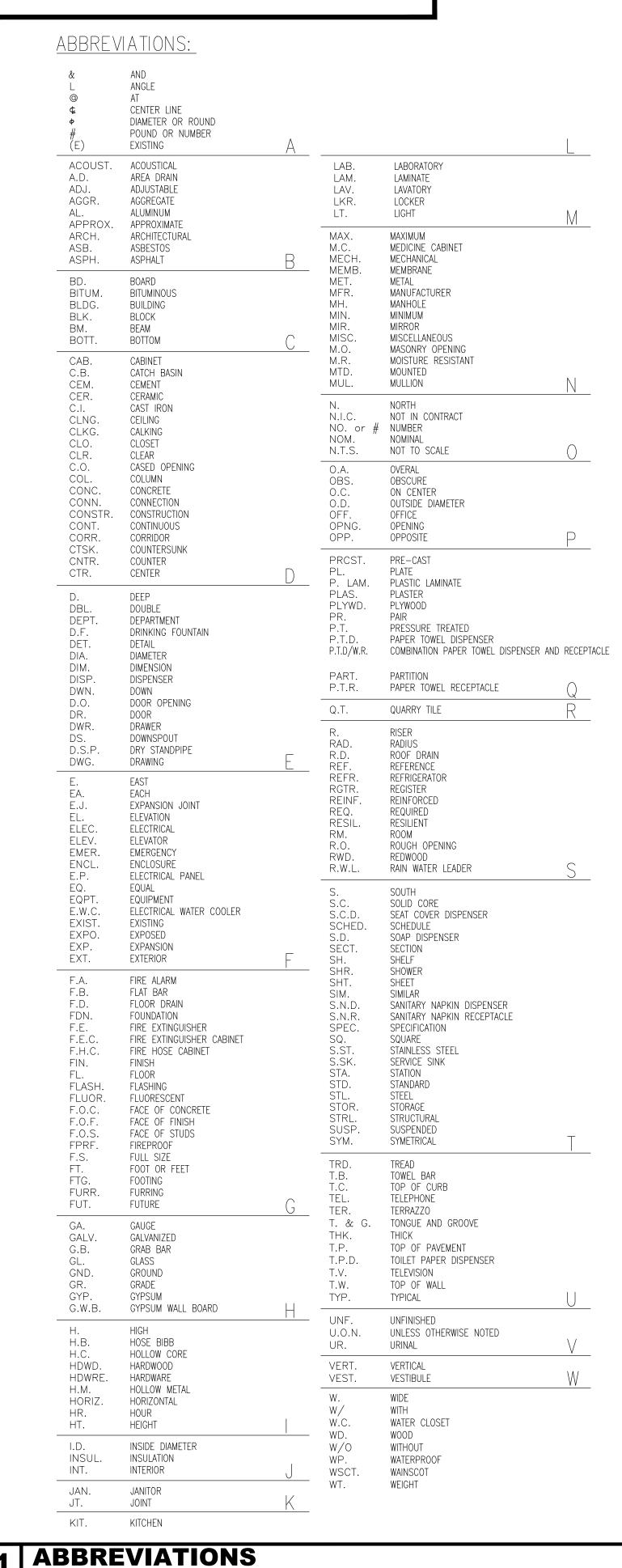
DRAWN BY: J.G.

CHECKED BY: K.M.

SHEET No.

LANDSCAPE PLAN

NE 10th TER ANO BEACH, (954) 956-2



- 1. THE WORK OF THIS PROJECT WILL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR AND IS TO BE PERFORMED BY SEVERAL VARIOUS CONTRACTORS TO WHOM THE GENERAL CONTRACTOR MAY ALLOCATE THE VARIOUS PARTS AS WILL BEST SUIT HIS INTERESTS AND AS WILL BE SET FORTH IN THE AGREEMENTS TO BE MADE BETWEEN THE GENERAL CONTRACTOR AND PARTIES DESIGNATED BY HIM.
- 2. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE SUPERVISION OR THE ADMINISTRATION OF THE EXECUTION OF WORK OF THIS PROJECT.
- THE DRAWINGS AND THE NOTATIONS THEREON SHALL APPLY TO THE WORK OF THIS PROJECT AND SHALL BE CAREFULLY REVIEWED BY EACH CONTRACTOR AND EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH WORK OF ALL OTHER CONTRACTORS. THE GENERAL NOTES SHALL APPLY TO EACH CONTRACTOR.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR SAFETY PRECAUTIONS AND SHALL COMPLY WITH THE REQUIREMENTS OF O.S.H.A. ALL APPLICABLE BUILDING CODES AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION INSOFAR AS APPLICABLE TO HIS PORTION OF THE WORK.
- 5. ALL MATERIALS SHALL BE NEW AS CALLED FOR IN THE NOTES AND DRAWINGS AND THE BEST OF THEIR RESPECTIVE KINDS. NO SUBSTITUTIONS SHALL BE MADE BY CONTRACTORS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE GENERAL CONTRACTOR. SUBSTITUTIONS OR "APPROVED EQUAL" PRODUCTS SHALL BE LISTED AND APPROVED BY THE ARCHITECT PRIOR TO CONTRACT SIGNING. ALL MATERIALS SHALL BE ORDERED IN A TIMELY FASHION AND WILL NOT CONSTITUTE REASON FOR SUBSTITUTION. DELAYS FOR MATERIALS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL, BUT WHICH ARE SHOWN GENERALLY OR ARE REASONABLY INFERABLE AS BEING REQUIRED FOR A PROPER AND COMPLETE INSTALLATION. THE MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM AS A MINIMUM TO THE TYPICAL OR REPRESENTATIVE DETAIL THROUGHOUT CORRESPONDING PARTS OF THE BUILDING.
- 6. THE GENERAL CONTRACTOR WILL FURNISH TO THE JOB SITE CERTAIN PLUMBING FIXTURES AND FITTINGS, BATHROOM ACCESSORIES. THESE SHALL BE INSTALLED BY THE CONTRACTOR SO DESIGNATED AND BE INCORPORATED INTO THE VARIOUS SYSTEMS IN ACCORDANCE WITH THE REQUIREMENTS OF THE BEST TRADE PRACTICES, AND RELEVANT CODE REQUIREMENTS.
- EACH CONTRACTOR OR PARTY ENGAGED ON THE PROJECT SHALL CARRY WORKER'S COMPENSATION INSURANCE IN STATUTORY AMOUNTS, LIABILITY, BODILY INJURY, AUTOMOBILE, AND OTHER INSURANCES IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR CERTIFICATIONS OF INSURANCE SHALL BE SUBMITTED BEFORE COMMENCING WORK FIRE INSURANCE WILL BE CARRIED BY THE GENERAL CONTRACTOR, TO THE FULLEST EXTENT PERMITTED BY LAW. CONTRACTORS, SUBCONTRACTORS, AND ALL PARTIES ENGAGED IN PORTIONS OF THE WORK SHALL INDEMNIFY AND HOLD HARMLESS THE GENERAL CONTRACTOR AND ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, INCLUDING DEATH, AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- 8. EACH CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED FOR HIS PORTION OF WORK.
- 9. ARRANGEMENTS AND PAYMENT FOR TEMPORARY ELECTRICITY WATER TOILET FACILITIES, FENCING, BARRICADES, SECURITY AND CLEANUP WILL BE AS AGREED UPON IN THE AGREEMENTS BETWEEN GENERAL CONTRACTOR AND CONTRACTOR.
- O. EQUIPMENT AND DEVICES OF A TEMPORARY NATURE REQUIRED FOR THE CONSTRUCTION PROCESS AND FOR THE PROTECTION OF THE WORKERS ENGAGED ON THE PROJECT AND FOR THE PUBLIC, (SCAFFOLDS, STAGING, PLATFORMS, RUNWAYS, HOISTS, GUARDS, RAILINGS, OPENING PROTECTIVE, ETC.) SHALL BE PROVIDED, ERECTED, AND MAINTAINED BY THE VARIOUS CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTORS SHALL OBTAIN AND PAY FOR THE REQUISITE PERMITS, INSPECTIONS, AND APPROVALS THEREOF. ALL SUCH ITEMS SHALL BE REMOVED BY CONTRACTORS WHEN ITEMS HAVE SERVED THEIR PURPOSE AND WHEN DIRECTED BY THE GENERAL CONTRACTOR.
- 11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTORS, AND SHALL NOT DO SO WITHOUT THE PRIOR WRITTEN CONSENT OF THE GENERAL CONTRACTOR ANY COSTS CAUSED BY DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFOR.
- 12. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH AS WILL PREVENT HIM FROM COMPLETING HIS WORK IN A FIRST—CLASS MANNER HE SHALL NOTIFY THE GENERAL CONTRACTOR OF SUCH BEFORE PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION.
- 13. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE.
- 4. CONTRACTORS SHALL SUBMIT SAMPLES, MATERIAL LISTS, EQUIPMENT LISTS, AND SHOP DRAWINGS AS CALLED FOR IN THE DRAWINGS AND INCLUDING BUT NOT LIMITED TO: CONCRETE REINFORCEMENT, FORMWORK, POST—TENSIONED WORK, WOOD TRUSSES, STAIRS, STAIR ANCHORAGES, RAILINGS, WOOD FENCES, WINDOWS, ALUMINUM AND GLASS SLIDING DOORS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, APPLIANCES, STAINS AND PAINTS AND CABINETRY. THESE ITEMS SHALL BE SUBMITTED SUFFICIENTLY IN ADVANCE TO THE GENERAL CONTRACTOR FOR APPROVAL TO ALLOW FOR REVIEW AND POSSIBLE CORRECTION. FABRICATION SHALL NOT START UNTIL SHOP DRAWINGS ARE APPROVED. COMPLETED WORK SHALL BE IN ACCORDANCE WITH THE APPROVED DOCUMENTS. WHERE REVIEWED AND APPROVED BY THE ARCHITECT AND OR ENGINEER IN BEHALF OF THE GENERAL CONTRACTOR SUCH REVIEW AND APPROVAL WILL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR QUANTITY, FIT, DIMENSIONS, MEANS, SEQUENCES, METHODS, AND PROCEDURES, NOR FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE DRAWINGS AND AGREEMENTS.
- 15. PLUMBING, AIR—CONDITIONING, AND ELECTRICAL WORK SHALL BE INSTALLED IN BEST TRADE PRACTICES, IN ACCORDANCE WITH APPLICABLE CODES, AND AS SHOWN ON
- RELEVANT DRAWINGS, AND THE ARCHITECTURAL DRAWINGS.

  16. DRYWALL WORK SHALL INCLUDE THE FURNISHINGS & INSTALLING OF GALVANIZED STEEL RUNNERS, STUDS, ACOUSTICAL SEALANT. PRODUCTS OF U.S. GYPSUM OR EQUAL AND THE SURFACING OF INTERIORS OF EXTERIOR MASONRY WALLS ON WOOD FURRING. THE INTERIOR OF WOOD EXTERIOR WALLS, AND INTERIOR PARTITIONS AND CEILINGS. DRYWALL SHALL BE U.S. GYPSUM OR EQUAL (STANDARD, FIRE—CODE OR MOISTURE RESISTANT AS REQ'D. BY CONDITIONS SHOWN), OF THICKNESSES SHOWN, HAVING TAPERED EDGES, APPLIED WITH LENGTHS VERTICAL WHERE REQUIRED FOR FIRE RATING. PROVIDE BLOCKING FOR WALL—MOUNT CABINETS PRIOR TO INSTALLING WALLBOARD JOINTS SHALL BE TAPED AND SPAKLED USING TECHNIQUES & MATERIALS RECOMMENDED AND PRODUCED BY U.S. GYPSUM AFTER COMPLETION OF SPAKLING. APPLY BY SPRAY OR ROLLER TO ALL WALLBOARD SURFACES A COAT OF JOINT COMPOUND ORANGE PEAL COAT, SMOOTH OR KNOCK DOWN TEXTURED AS INDICATED ON PLANS.
- 17. ALL FINISHES SHALL BE SELECTED BY OWNER AND/OR ARCHITECT, UNLESS OTHERWISE PROVIDED IN AGREEMENT.
- 18. CAULKING SHALL BE BY TREMCO OR EQUAL SILICON—TYPE PRODUCT AND SHALL BE APPLIED AT ALL JUNCTIONS OF WALL AND WINDOW AND DOOR FRAMES WITH ABUTTING WALL SURFACES TO PROVIDE A WEATHERTIGHT WATER—RESISTANT INSTALLATION.
- 19. INTERIOR PAINTED GYP. WALL BD. SURFACES SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS OF WALL PAINT AS SELECTED AND APPROVED BY OWNER. INTERIOR WOOD TRIM AND DOORS SHALL RECEIVE ONE COAT ENAMEL UNDERCOAT AND FINISH COAT OF SEMI-GLOSS ENAMEL. INTERIOR AND EXTERIOR FERROUS METAL EXPOSED TO VIEW SHALL RECEIVE TWO COATS RUST-INHIBITIVE PAINT. ALL PAINT TO BE PRODUCTS OF SHERWIN WILLIAMS, BENJAMIN MOORE OR EQUAL. EXTERIOR STUCCO SHALL RECEIVE TWO COATS PAINT. COLOR AS SELECTED BY OWNER OR ARCHITECT.

20. DIMENSIONING RULES:

a. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD, AND DOES NOT INCLUDE FINISH MATERIALS, U.O.N.
b. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE PRECISELY MAINTAINED. THOSE NOTED "HOLD" SHALL NOT VARY FROM STATED DIMENSION.
c. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED ±.
d. DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF THE EXTERIOR WINDOW FRAMES, UNLESS OTHERWISE NOTED.
e. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER

e. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, UNLESS OTHERWISE NOTED.

f. DO NOT SCALE DRAWINGS. IF ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CONSENT OF THE ARCHITECT.

g. DIMENSIONS MARKED V.I.F. SHALL BE "VERIFIED" IN FIELD BY THE CONTRACTOR.

- 21. IN THE CASE OF CONFLICT BETWEEN WRITTEN NOTES/SPECIFICATIONS AND THE DRAWINGS, THE NOTES/SPECIFICATIONS GOVERN. DETAILS SHALL GOVERN GENERAL DRAWINGS. DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE. ANY WORK AND MATERIALS SHOWN ON EITHER SHALL BE EXECUTED BY THE CONTRACTOR. ANY UNRESOLVED CONFLICT BETWEEN DOCUMENTS SHALL BE RESOLVED BY THE ARCHITECT AS TO INTENT AND EXECUTION.
- THE WORK TO BE PERFORMED CONSIST OF FURNISHING ALL SUPERVISION, PLANT LABOR, MATERIALS, TRANSPORTATION AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN, AND EQUIPMENT REQUIRED FOR THE BUILD OUT OF THE TENANT IMPROVEMENTS DEPICTED HEREIN. IN ADDITION, THIS INCLUDES THE CONCEALED REROUTING OF ANY PIPING, WIRING, DUCTING, ETC., IN THE WALLS, CEILING OR FLOORS BEING WORKED IN OR REMOVED AND WORK NOT SHOWN HEREIN WHICH IS REQUIRED BY THE CITY AUTHORITIES TO OBTAIN FINAL INSPECTION AND APPROVAL BY THE CITY, ALSO INCLUDING PATCHING, REPAINTING, ETC., OF ALL SURFACES BROKEN INTO OR MARRED BY THESE INSTALLATIONS, ETC.
- 23. WHEN PORTIONS OF THIS PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR, RATHER THAN THE ARCHITECT, IS SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS WHO SHALL BE ENGINEERS OF RECORD FOR SUCH SYSTEMS.
- 24. DRAWINGS INDICATE GENERAL DETAILS OF CONSTRUCTION. WHERE FIELD CONDITIONS ARE NOT IDENTICAL TO THE CONTRACT DOCUMENTS, BUT ARE OF SIMILAR CHARACTER TO THE DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY ARCHITECT PRIOR TO CONSTRUCTION. WHERE CONSTRUCTION DETAILS ARE SHOWN FOR SPECIFIC LOCATIONS, THEY SHALL ALSO APPLY TO SIMILAR CONDITIONS THROUGHOUT, WHETHER SPECIFICALLY MENTIONED IN THE DRAWINGS OR NOT.
- 25. THE CONTRACTOR SHALL EXAMINE, READ, AND BE THOROUGHLY FAMILIAR WITH THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, OR SHOULD BE IN DOUBT AS TO THEIR INTENT OR MEANING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- 26. PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR AND EVALUATE EXISTING CONDITIONS RELATING TO THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO FURNISH EQUIPMENT, MATERIALS, LABOR, AND SERVICES AS NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT.
- 27. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE, AND IN PROPER ALIGNMENT.
- 28. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- 29. MAINTAIN STRICT CONTROL OF DUST AND DEBRIS EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA BROOM CLEAN AND CLEAR OF DEBRIS DAILY. AT ALL TIMES CONDUCT OPERATIONS AS TO ENSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC. COMPLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY. SCHEDULE AND PERFORM THE WORK SO THAT OTHER TENANTS IN THE BUILDING WILL NOT BE DISTURBED, DAMAGE TO EXISTING WORK OUTSIDE OF THE PROJECT AREA WILL NOT OCCUR, AND TO COMPLY WITH THE BUILDING OWNER'S REQUIREMENTS.
- 30. PROTECT AND KEEP SAFE ALL PRODUCTS UNDER THIS CONTRACT THAT ARE STORED ON THE SITE.
- 31. COORDINATE ACCESS TO BUILDING WITH AND PROVIDE FOR BUILDING SECURITY AS REQUIRED. PROVIDE ADEQUATE PROTECTION OF EXISTING AREAS; UTILIZE TEMPORARY ENCLOSURES AS NECESSARY.
- 32. SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS, UNLESS OTHERWISE APPROVED BY THE BUILDING OWNER/LANDLORD.
- 33. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED.
- 34. OBTAIN FIELD MEASUREMENTS REQUIRED FOR THE ACCURATE FABRICATION AND INSTALLATION OF THE WORK INCLUDED IN THIS CONTRACT. VERIFY IN THE FIELD DIMENSIONS INDICATED IN THE CONTRACT DOCUMENTS. EXACT MEASUREMENTS ARE THE CONTRACTOR'S RESPONSIBILITY. NO ADDITIONAL COSTS WILL BE PAID TO THE CONTRACTOR DUE TO REASONABLE MODIFICATIONS CAUSED BY DISCREPANCIES.
- 35. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE, AND SHALL DIRECT AND SCHEDULE THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, CODE COMPLIANCE, INTERFACE, AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.
- 36. PERFORM CUTTING AND PATCHING AS REQUIRED TO CONSTRUCT AND COMPLETE WORK OF THIS PROJECT. CUTTING OF STRUCTURAL MEMBERS REQUIRES PRIOR APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- 37. ITEMS OF EQUIPMENT, FIXTURES, AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR COMPLETION OF THE WORK, SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE BUILDING.
- 38. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS FOR WINDOWS AND DOORS PRIOR TO ORDERING PRODUCTS TO ENSURE PROPER SIZE AND FIT.
- 39. AT END OF JOB CLEAN ALL SURFACES EXPOSED TO VIEW. REMOVE TEMPORARY LABELS, STAINS AND FOREIGN MATERIALS. POLISH TRANSPARENT AND GLOSSY SURFACES, VACUUM CARPETED AND SOFT SURFACES.
- 40. PRIOR TO APPLICATION FOR FINAL PAYMENT SUBMIT TO ARCHITECT COPIES OF AS-BUILTS FOR ALL TRADES, ALL WARRANTIES (1 YEAR MIN.), OPERATIONS MANUALS, MAINTENANCE INSTRUCTIONS, CERTIFICATE OF OCCUPANCY (OR EQUIVALENT DOCUMENT ISSUED BY GOVERNING AGENCY) COPIES OF ALL SIGNED-OFF PERMITS AND INSPECTIONS, ETC.
- 41. PRIOR TO MOVE—IN CONTRACTOR TO HOLD COMMISSIONING MEETING WITH TENANT AND OWNER'S REPRESENTATIVES TO REVIEW OPERATION PROCEDURES FOR ALL BUILDING SYSTEMS INSTALLED.
- 42. NEW WALLS, CEILINGS, AND FLOORS INTERSECTING EXISTING WALLS, CEILINGS, AND FLOORS SHALL BE FLUSH, CLEAN AND LEVEL. ALL TIE-INS SHALL BE ADEQUATELY SECURE FOR STRUCTURAL INTEGRITY AND SAFETY.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
ELEVATION No.  SHEET No.	INTERIOR ELEVATION MARK (SINGLE VIEW)		NORTH ARROW
ELEVATION No.  SHEET No.	INTERIOR ELEVATION MARK (MULTIPLE VIEWS)	ELEVATION RELATIVE TO ROOM'S TOP OF SLAB.	CEILING HEIGHT
SECTION No.  SHEET No.	BUILDING / WALL SECTION MARK	KEY NOTE No.	KEYED NOTE
GRID No. GRID LINE	COLUMN GRID LINE	FINISH FLOOR  ELEV.=+ 0'-0" A.F.F.  ELEV. RELATIVE TO 1ST. FLOOR TOP OF SLAB.	ELEVATION DATUM
DETAIL No. SHEET No.  DETAIL OR AREA BOUNDARY	DETAIL OR ENLARGED AREA INDICATOR	REVISION No.  REVISION CLOUD	REVISION IDENTIFICATION
101) DOOR No.	DOOR TAG		CONTRACT LIMIT LINE
A101 WINDOW No.	WINDOW TAG	PT-I FINISH TYPE	FINISH TAG
ROOM NAME ROOM NAME  101 ROOM No.  00.00 SQ. FT. ROOM AREA	ROOM TAG		
WALL / PART. No.	WALL / PARTITION TYPE		

## 3 SYMBOL LEGEND

# TYPE OF CONSTRUCTION: TYPE III-B NON-SPRINKLERED OCCUPANCY GROUP: GROUP B/M/S-1/F-1 No. OF STORIES: 2 PROPOSED USE: STORAGE WAREHOUSE, OFFICES AND RETAIL DESIGN PER:

2020 F.B.C. - BUILDING AND RESIDENTIAL - 7TH EDITION ASCE -7-10 170 MPH WIND 2020 F.F.P.C. - 7TH EDITION

BUILDING AREA: TOTAL BUILDING AREA (AFTER REMODELING) = 12.612 SQ. FT. (GROSS)

ALLOWABLE BUILDING HEIGHT & AREA:

GROUP B WITH A TYPE III—B CONSTRUCTION, NON—SPRINKLERED
B = 55' HIGH, 3 STORIES, 19,000 SQ. FT. MAX. FLOOR AREA AS PER
TABLES 504.3, 504.4 AND 506.2 OF THE 2020 F.B.C.—BUILDING.

TYPE III-A FIRE-RESISTANCE RATING REQUIREMENTS: AS PER TABLE 601 OF THE 2020 F.B.C.—BUILDING	REQ'D FIRE RATING/HR.	PROVIDED FIRE RATING/HR.
STRUCTRAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	0	0
BEARING WALLS		
EXTERIOR	2	2
INTERIOR	0	0
NON BEARING WALLS AND PARTITIONS EXTERIOR	0	0
NON BEARING WALLS AND PARTITIONS INTERIOR	0	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0	1

FIRE STOPPING: PROVIDE FIRE STOPS AT 10'-0" O.C. VERTICALLY AND HORIZONTALLY WHERE CONCEALED COMBUSTIBLE STUDS OR FURRING STRIPS ARE INSTALLED AND AT CEILING HEIGHT. TYPICAL.

4 PROJECT INFO. & CODE DATA

GUSTAVO J. CARBONELL, P./
Architect and Planner
1457 N.E. 4th AVE.
Ft. Lauderdale, Florida, 33304

REVISION

CALL OF AFRICA

920 N.E. 13TH STREET

SEAL: AR NO. 0007957

DRAWN
DBK
CHECKED
G.J.C.

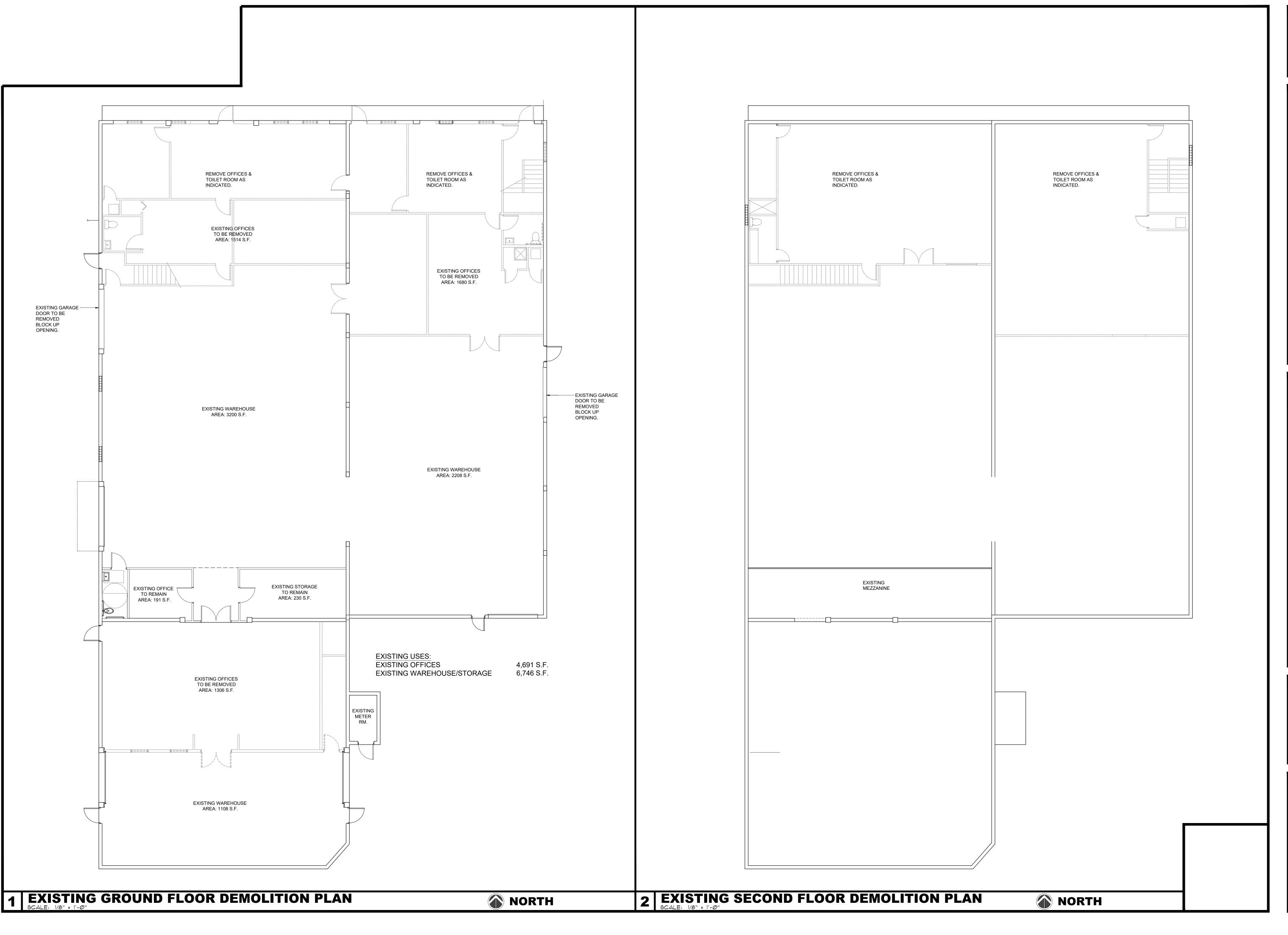
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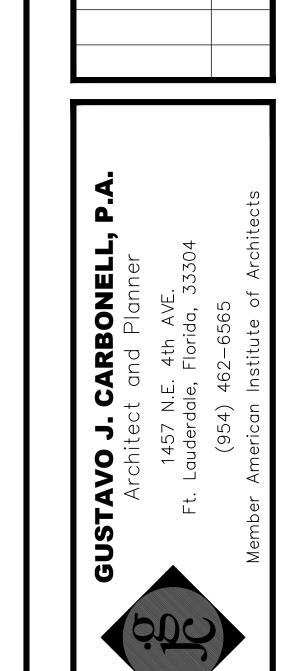
JOB. NO.
22-053
SHEET

BBREVIATIONS

2 GENERAL JOB NOTES
SCALE:

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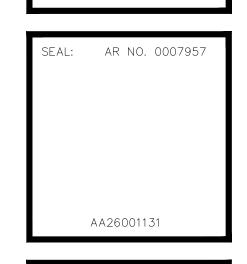


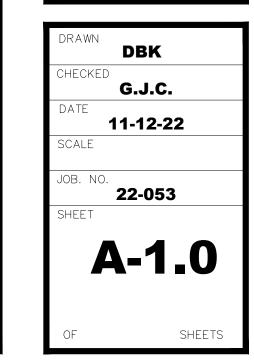


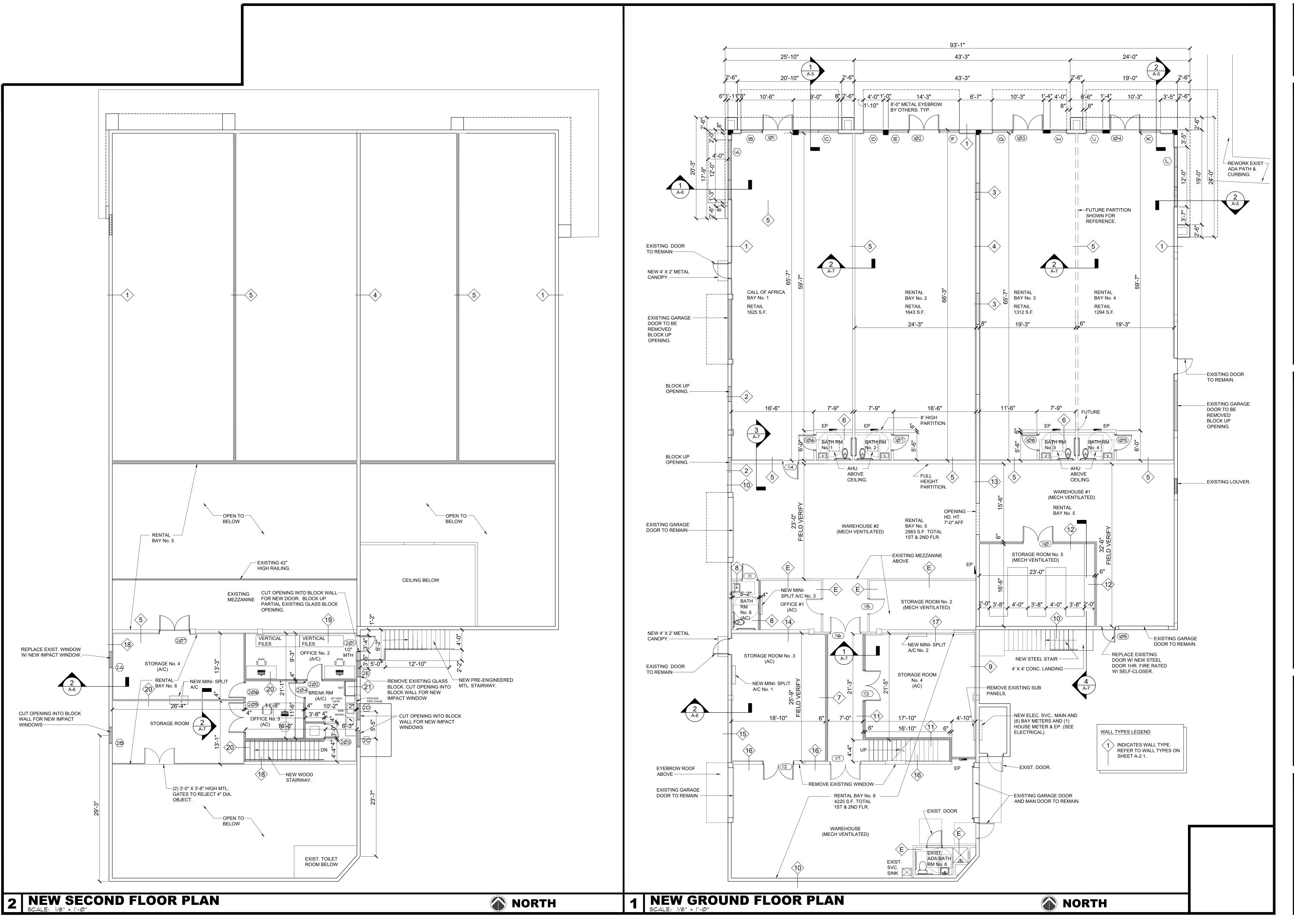
PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA





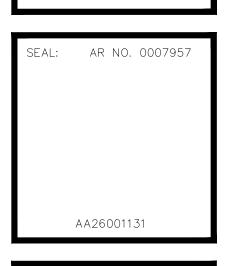


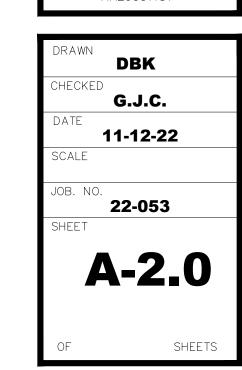


PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA





ROOM FINIS	H SCHEDUL	E				
GROUND FLO	OOR					
ROOM	FLOOR	WALLS	BASE	CEILING	REMARKS	
RETAIL BAY 1	CONCRETE	GYP W.B	VINYL	EXPOSED		
RETAIL BAY 2	CONCRETE	GYP W.B	VINYL	EXPOSED		
RETAIL BAY 3	CONCRETE	GYP W.B	VINYL	EXPOSED		
RETAIL BAY 4	CONCRETE	GYP W.B	VINYL	EXPOSED		
WAREHOUSE 1	CONCRETE	GYP W.B	VINYL	EXPOSED	EXIST MASONRY NO BASE	
WAREHOUSE 2  OFFICE 1	CONCRETE CARPET	GYP W.B. GYP W.B.	VINYL VINYL	EXPOSED GYP W.B.	EXIST MASONRY NO BASE	
STORAGE RM 2	CONCRETE	GYP W.B.	VYNIL	GYP W.B.	EXIST MASONRY NO BASE	
STORAGE RM 3	CONCRETE	GYP W.B.	VINYL	GYP W.B.		
STORAGE RM 4	CONCRETE	GYP W.B.	VINYL	GYP W.B.		
STORAGE RM 5	CONCRETE	GYP W.B.	VINYL	GYP W.B.	EXIST MASONY NO BASE.	
WAREHOUSE	CONCRETE	EXPOSED	N.A.	EXPOSED	WAREHOUSE BAY 6.	
STAIR	CARPET	GYP W.B.	WOOD	EXPOSED	EVICTING NO MORE	
BATH 5 BATH 6	EXIST C.T. C.T.	EXIST C.T. GYP W.B.	C.T VINYL	GYP W.B. GYP. W.B.	EXISTING NO WORK.	
METER RM	C.I. CONCRETE	MASONRY		EXPOSED	EXISTING NO WORK.	
	<b></b>	. =	<del></del>			
SECOND FLO	OR					
STORAGE RM	EXP PLYWD	GYP W,B.	VINYL	EXPOSED	EXIST MASONRY NO BASE	
STORAGE 4	EXP PLYWD		VINYL	EXPOSED		
OFFICE 2	CARPET	GYP W.B.	VINYL	EXPOSED		
OFFICE 3	CARPET	GYP W.B.	VINYL	EXPOSED		
BREAK RM STAIR	VINYL CARPET	GYP W.B. GYP W.B.	VINYL WOOD	EXPOSED.		

2 FINISH SCHEDULE

## **WALL TYPES**

## SYMBOL DESCRIPTION

## **GROUND FLOOR**

- E EXISTING INTERIORS WALLS OR PARTITIONS TO REMAIN. NO WORK UNLESS NOTED OTHERWISE.
- 1 EXISTING MASONRY WALL WITH STUCCO FINISH ON EXTERIOR. ADD P.T 1 X 2 FULL HEIGHT TO ROOF DECK FURRING STRIPS, R-4.1 FOIL INSULATION, AND 5/8 TYPE X GYPSUM WALLBOARD.
- NEW 8 INCH MASONRY WALL TO FILL IN OPENING. FINISH EXTERIOR WITH STUCCO FINISH TO MATCH EXISTING. ADD P.T 1 X 2 FULL HEIGHT TO ROOF DECK FURRING STRIPS, R-4.1 FOIL INSULATION, AND 5/8 TYPE X GYPSUM WALLBOARD.
- NEW 8 INCH MASONRY WALL TO FILL IN OPENING. FINISH BOTH SIDES WITH P.T 1 X 2 FULL HEIGHT TO ROOF DECK FURRING STRIPS, R-4.1 FOIL INSULATION ON BOTH SIDES, AND 5/8 TYPE X GYPSUM WALLBOARD ON BOTH SIDES.
- 4 EXISTING 8 INCH MASONRY ADD P.T 1 X 2 FULL HEIGHT TO ROOF DECK FURRING STRIPS, R-4.1 FOIL INSULATION ON BOTH SIDES, AND 5/8 TYPE X GYPSUM WALLBOARD ON BOTH SIDES.
- NEW 6 INCH 20 GAGE FULL HEIGHT STEEL STUDS, 5/8" TYPE X GYPSUM WALLBOARD TO THE EXISTING CON CRETE DECK ADD R-11 BATT INSULATION FULL HEIGHT.
- 6 NEW 8 FOOT HEIGHT PARTITON AT TOILET ROOMS. 25 GAGE STUDS AT 16 INCHES ON CENTER, R-11 BATT INSULATION, AND 5/8" TYPE X GYPSUM WALLBOARD ON BOTH SIDES.
- 7 NEW 6 INCH 20 GAGE STEEL STUDS FULL HEIGHT TO THE ROOF DECK WITH 5/8" TYPE X GYPSUM WALLBOARD AND R-11 BATT INSULATION.
- FOUR INCH 25 GAGE STEEL STUDS AT 16 INCHES ON CENTER WITH 5/8" GYPSUM WALLBOARD EACH SIDE AND R-11 BATT INSULATION TO UNDERSIDE OF NEW SECOND FLOOR.
- 9 EXISTING 8 INCH MASONRY WALL WITH STUCCO FINISH ON THE EXTERIOR. ADD PT 1 X2 FULL HEIGHT FURRING STRIPS WITH 5/8" TYPE X GYPSUM WALLBOARD AND R-4.1 FOIL INSULATION.
- 10 EXISTING MASONRY WALL TO REMAIN AS EXISTING.
- 11 NEW 6 INCH X 20 GAGE STEEL STUDS TO UNDERSIDE OF THE SECOND FLOOR WITH 5/8" TYPE X GYPSUM WALLBOARD AND R-11 BATT INSULATION.
- TEN FOOT HIGH 6 INCH 14 GAGE STEEL STUDS AT 16 INCHES ON CENTER WITH 5/8" TYPE X GYPSUM WALLLBOARD AND R-11 BATT INSULATION.
- 13 EXISTING MASONRY WALL TO REMAIN AS EXISTING.
- 14 EXISTING MASONRY WALL, ADD P.T. 1 X2 FURRING AND 5/8" TYPE X GYSPUM WALLBAORD ON EACH SIDE WITH R-4.1 FOIL INSULATION TO UNDERSIDE OF THE SECOND FLOOR.
- 15 EXISTING MASONRY WALL, ADD P.T. 1 X2 FURRING AND 5/8" GYPSUM WALLBOARD ON THE INTERIOR WITH R-4.1 FOIL INSULATION TO TH EUDERSIDE OF THE SECOND FLOOR.

- EXISTING MASONRY WALL, ADD P.T. 1 X2 FURRING AND 5/8" TYPE X GYPSUM WALLBOARD WITH R-4.1 FOIL INSULATION TO THE UNDERSIDE OF THE SECOND FLOOR ON STORAGE ROOM NO. 3 SIDE.
- 17 EXISTING MASONRY WALL ADD PT 1 X2 FURRING WITH 5/8" GYPSUM WALLBOARD WITH R-4.1 FOIL INSULATION TO THE UNDERSIDE OF THE SECOND FLOOR ON STORAGE ROOM 4 SIDE.

## SECOND FLOOR

**1 WALL TYPES** 

- 18 EXISTING MASONRY WALL ADD PT 1 X2 FURRING AT 16 INCHES ON CENTER WITH 5/8" TYPE X GYPSUM WALLBOARD AND R-4.1 FOIL INSULATION TO THE ROOF DECK.
- 19 EXISTING MASONRY WALL ADD PT 1 X2 FURRING AT 16 INCHES ON CENTER WITH 5/8" GYPSUM. WALLBOARD AND 4.1 FOIL INSULATION ON THE STORAGE ROOM 4 SIDE ONLY.
- NEW 4 INCH X 25 GAGE STEEL STUDS AT 16 INCHES ON CENTER WITH R-11 BATT INSULATION TO THE UNDERSIDE OF THE ROOF DECK.
- 21 EXISTING MASONRY WALL ADD PT 1 X 2 FURRING AT 16 INCHES ON CENTER WITH 5/8" TYPE X GYPSUM WALLBOARD AND R-4.1 FOIL INSULATION TO THE ROOF DECK ON THE INTERIOR ONLY

REVISION BY:

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Member Member

CALL OF AFRICA

920 N.E. 13TH STREET

SEAL: AR NO. 0007957

DBK

CHECKED

G.J.C.

DATE

11-12-22

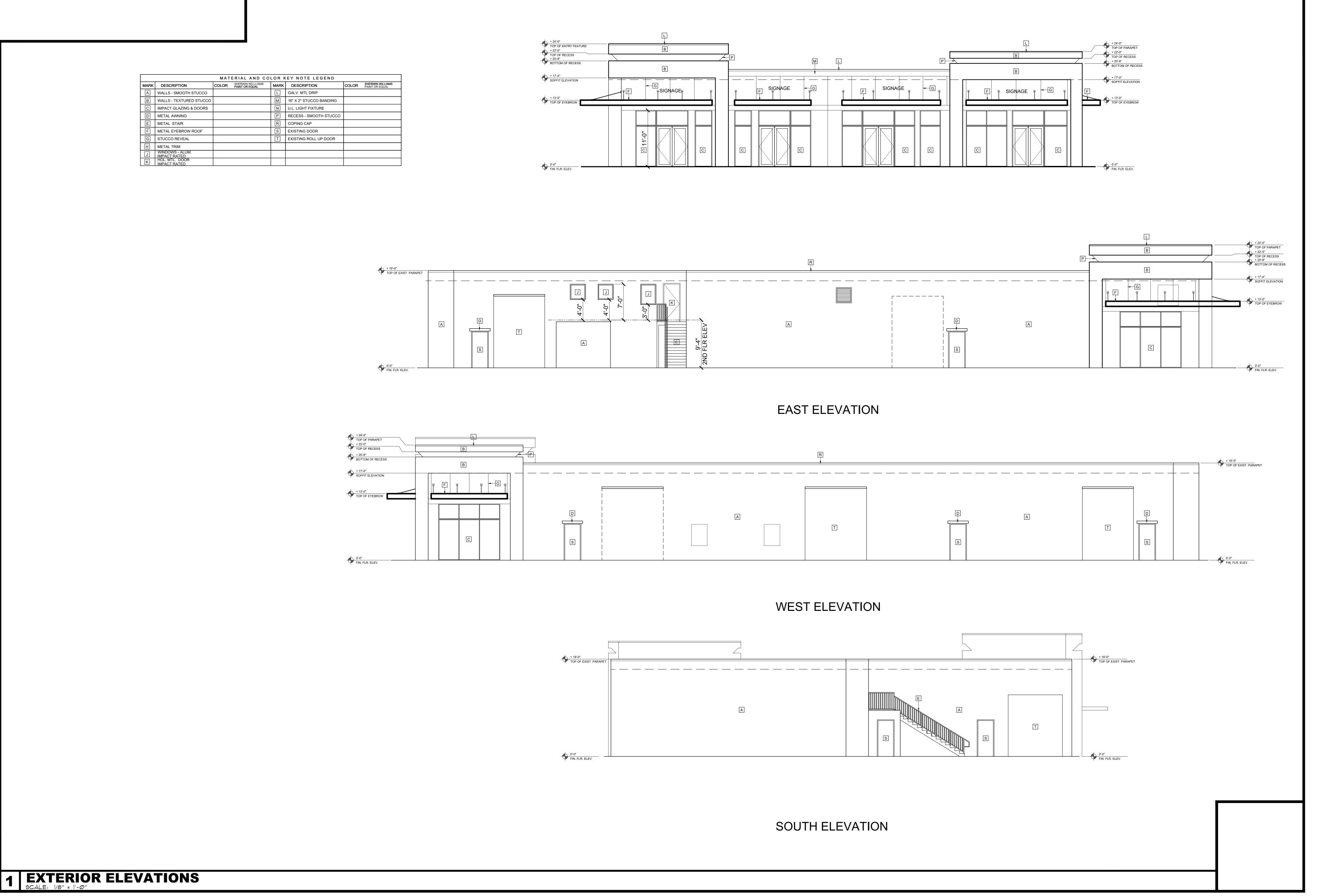
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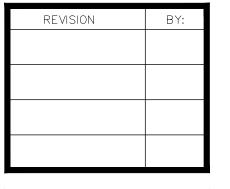
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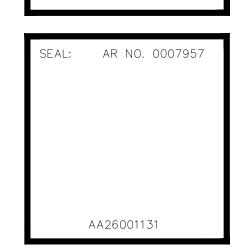
Architect and Planner
1457 N.E. 4th AVE.

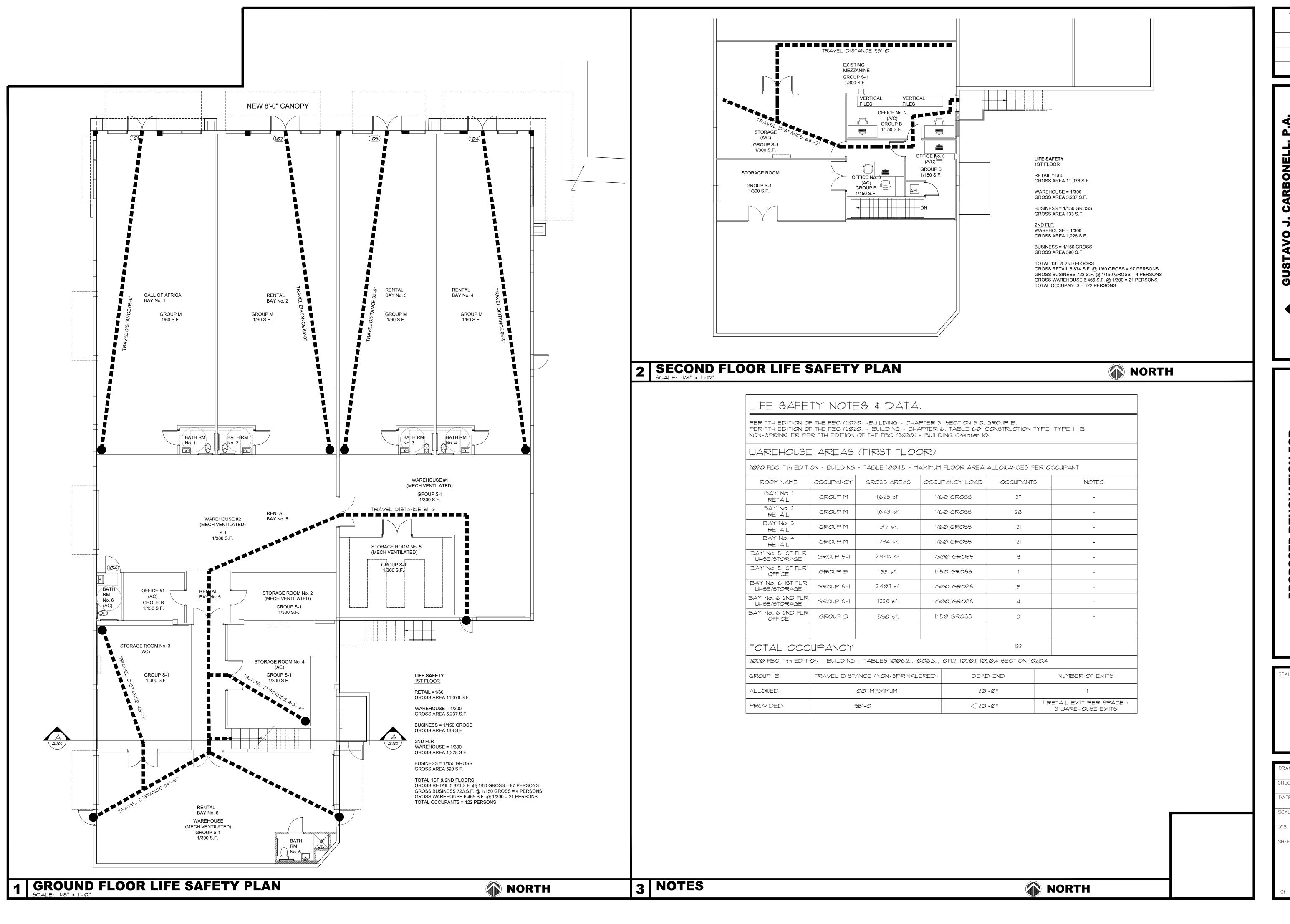
Ft. Lauderdale, Florida, 33304
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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET





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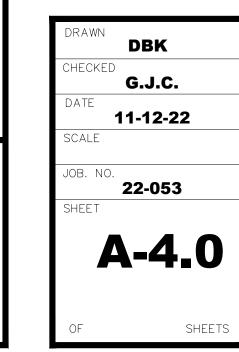
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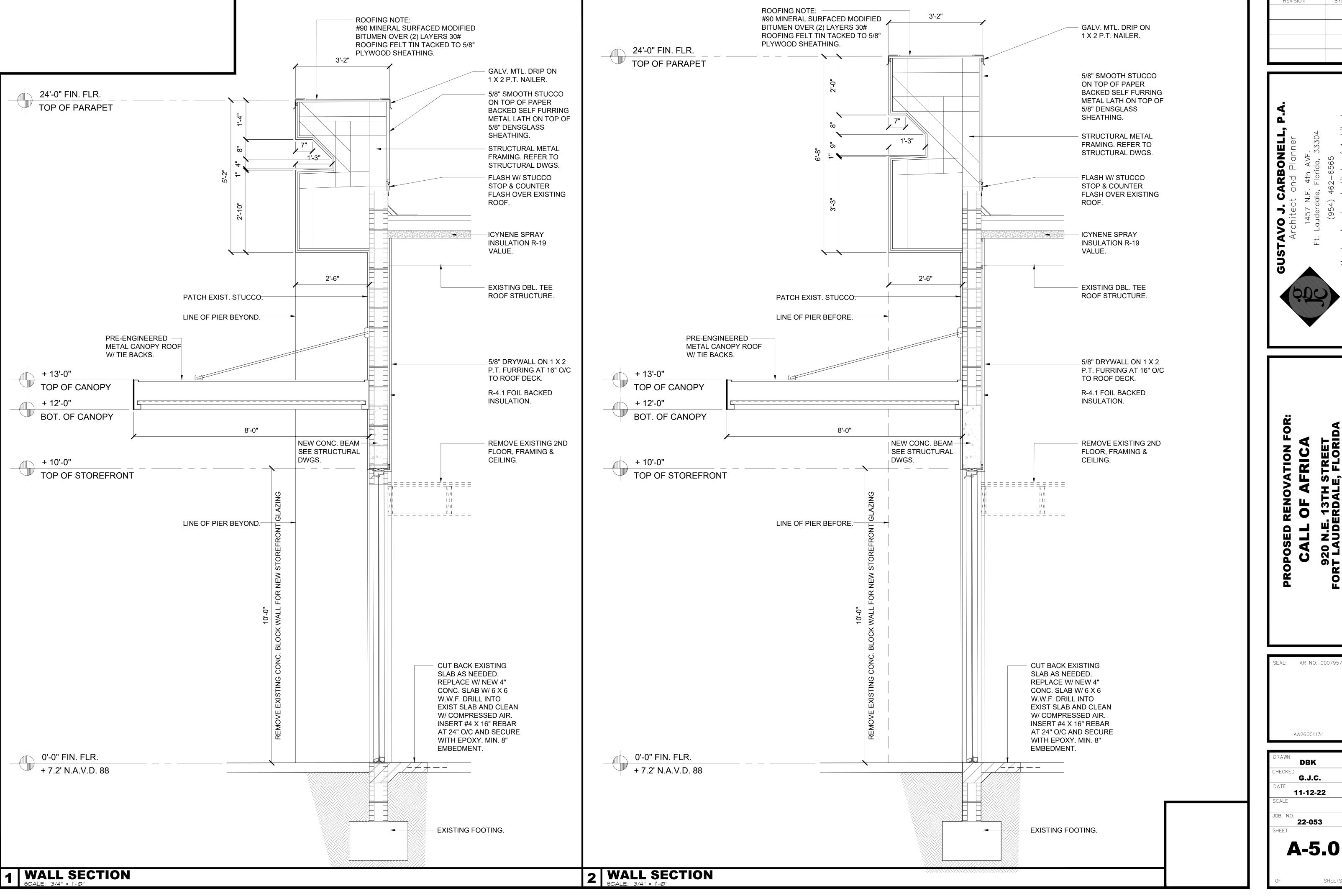
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920 N.E. 13TH STREET

SEAL: AR NO. 0007957

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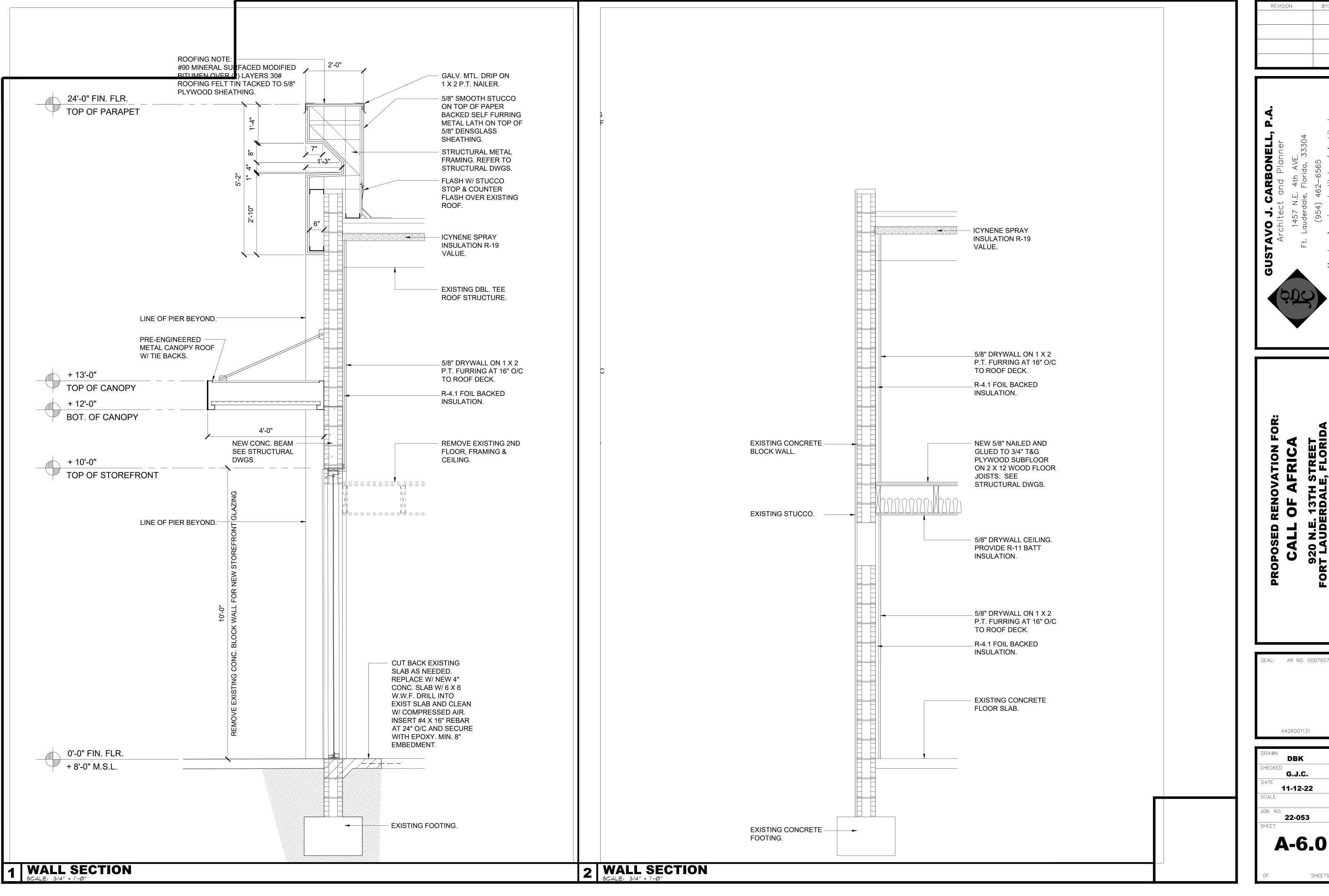
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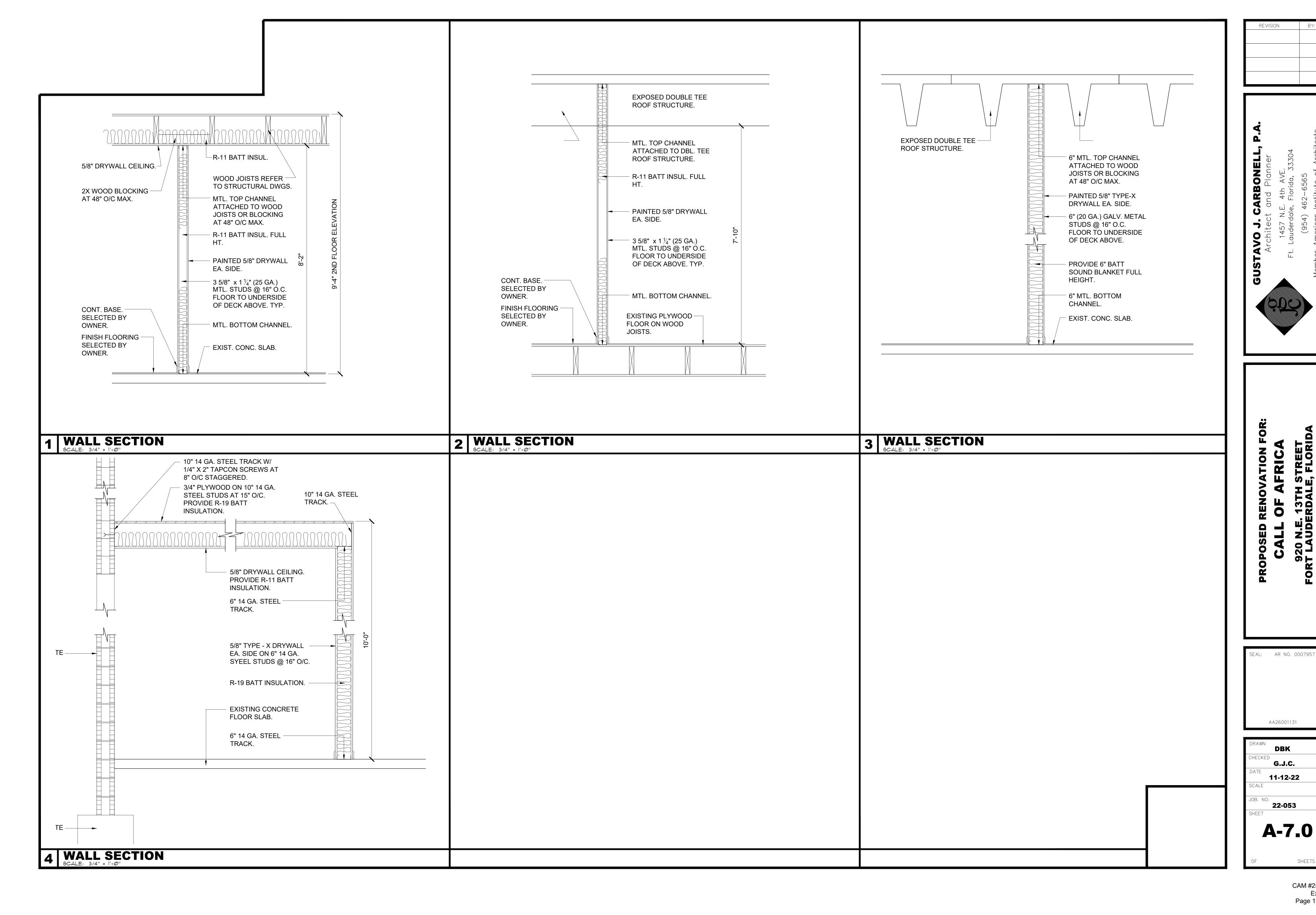
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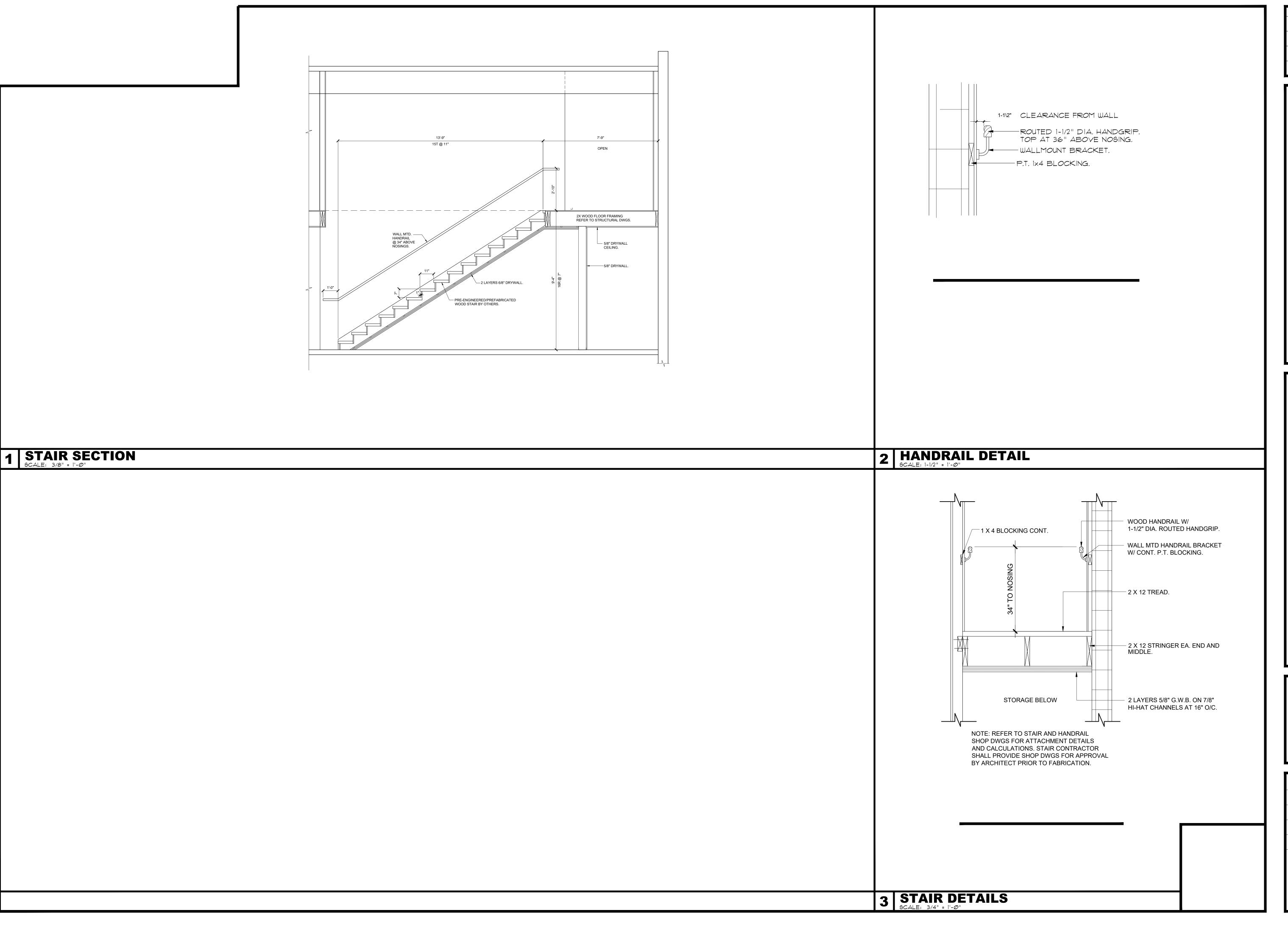
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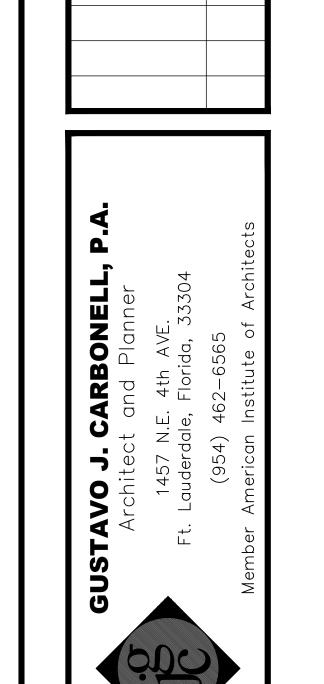
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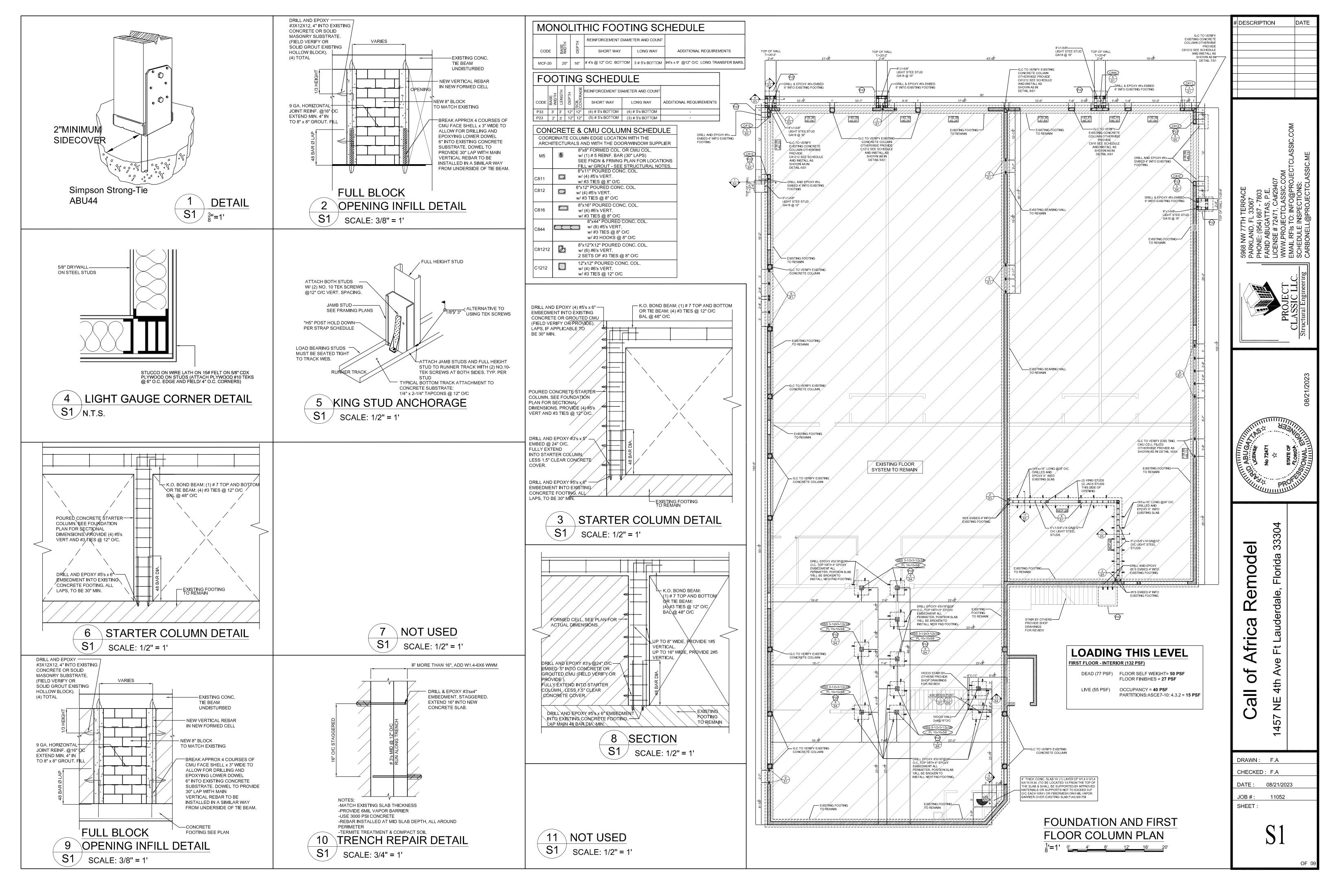


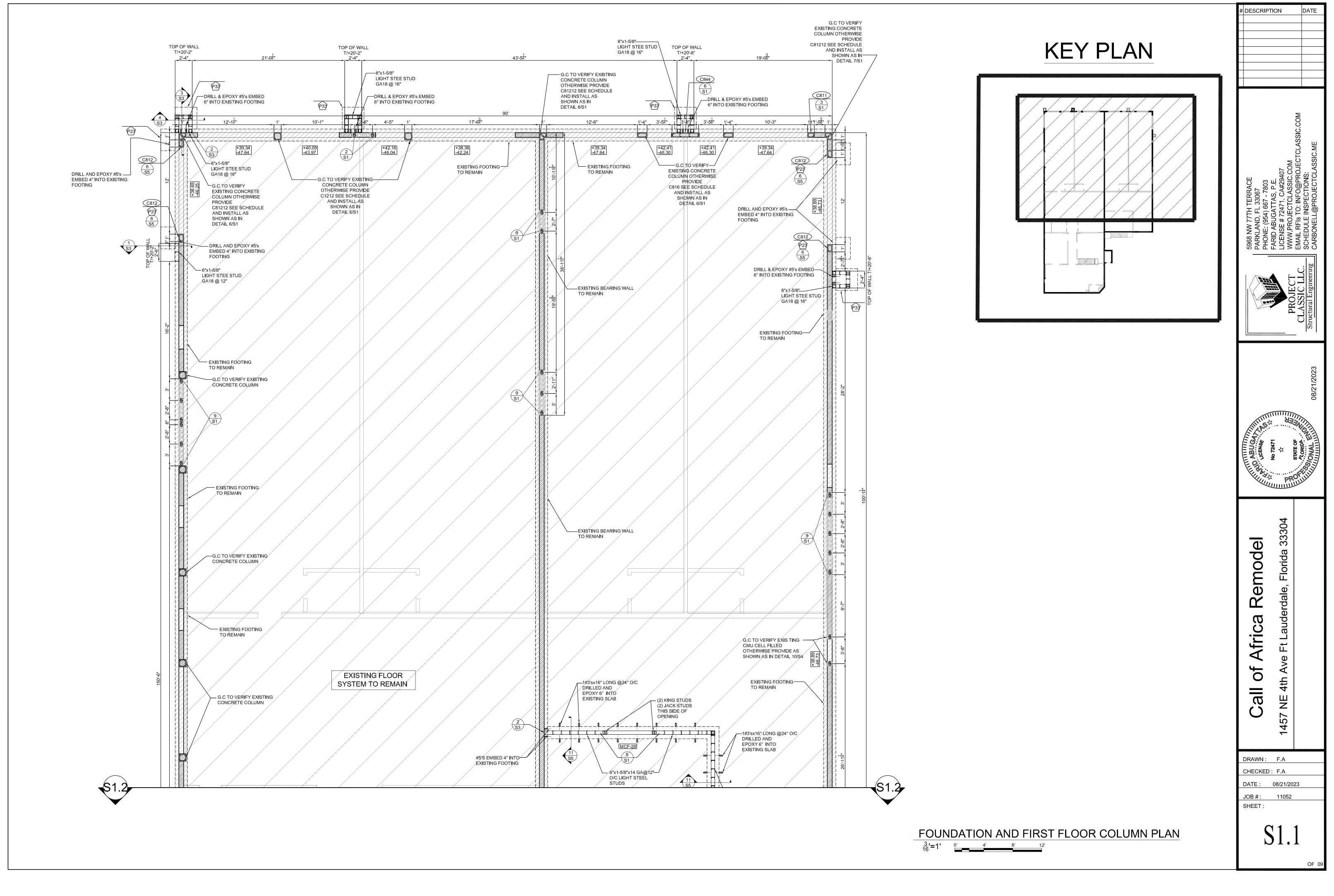
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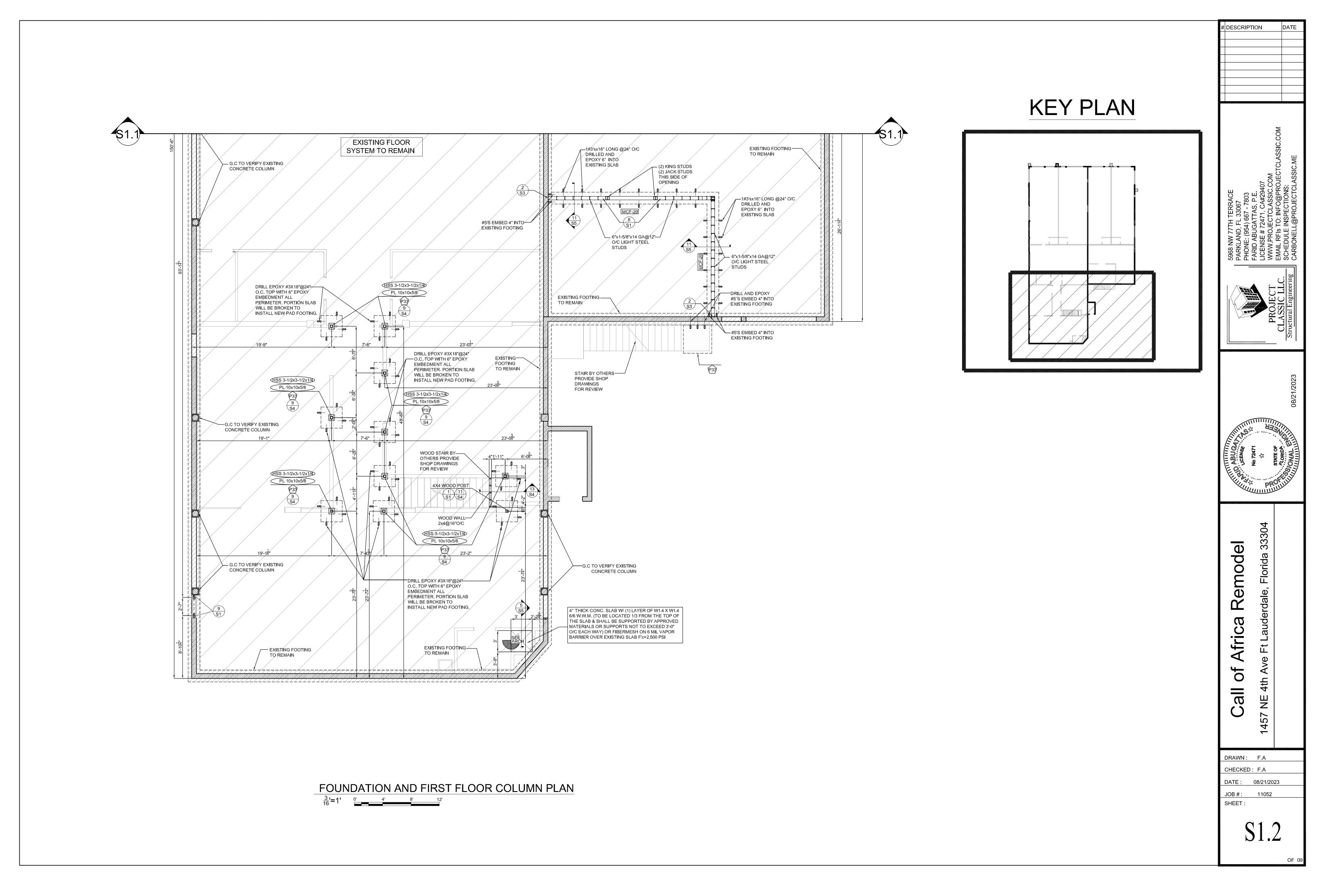
CALL OF AFRICA

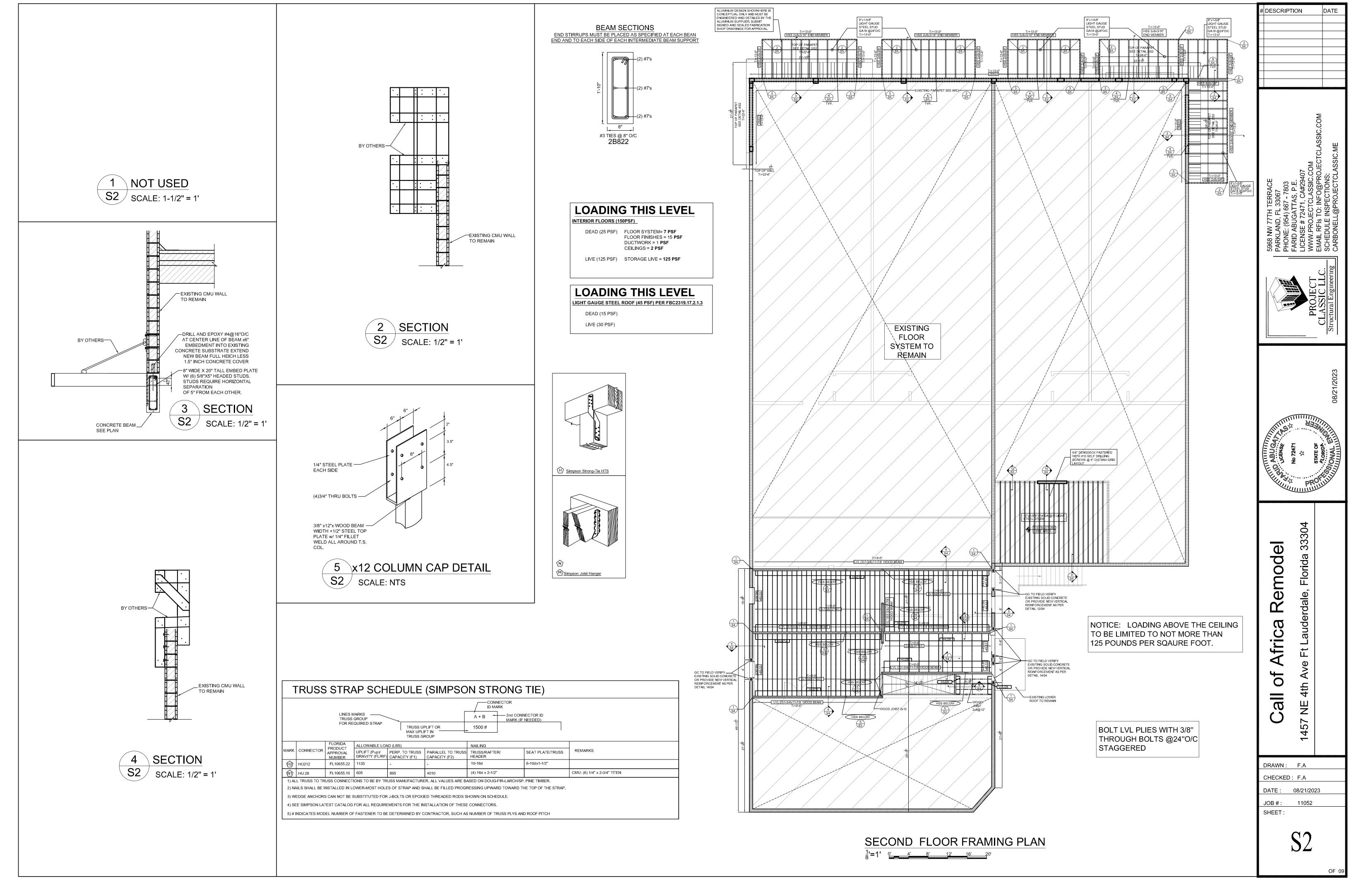
920 N.E. 13TH STREET
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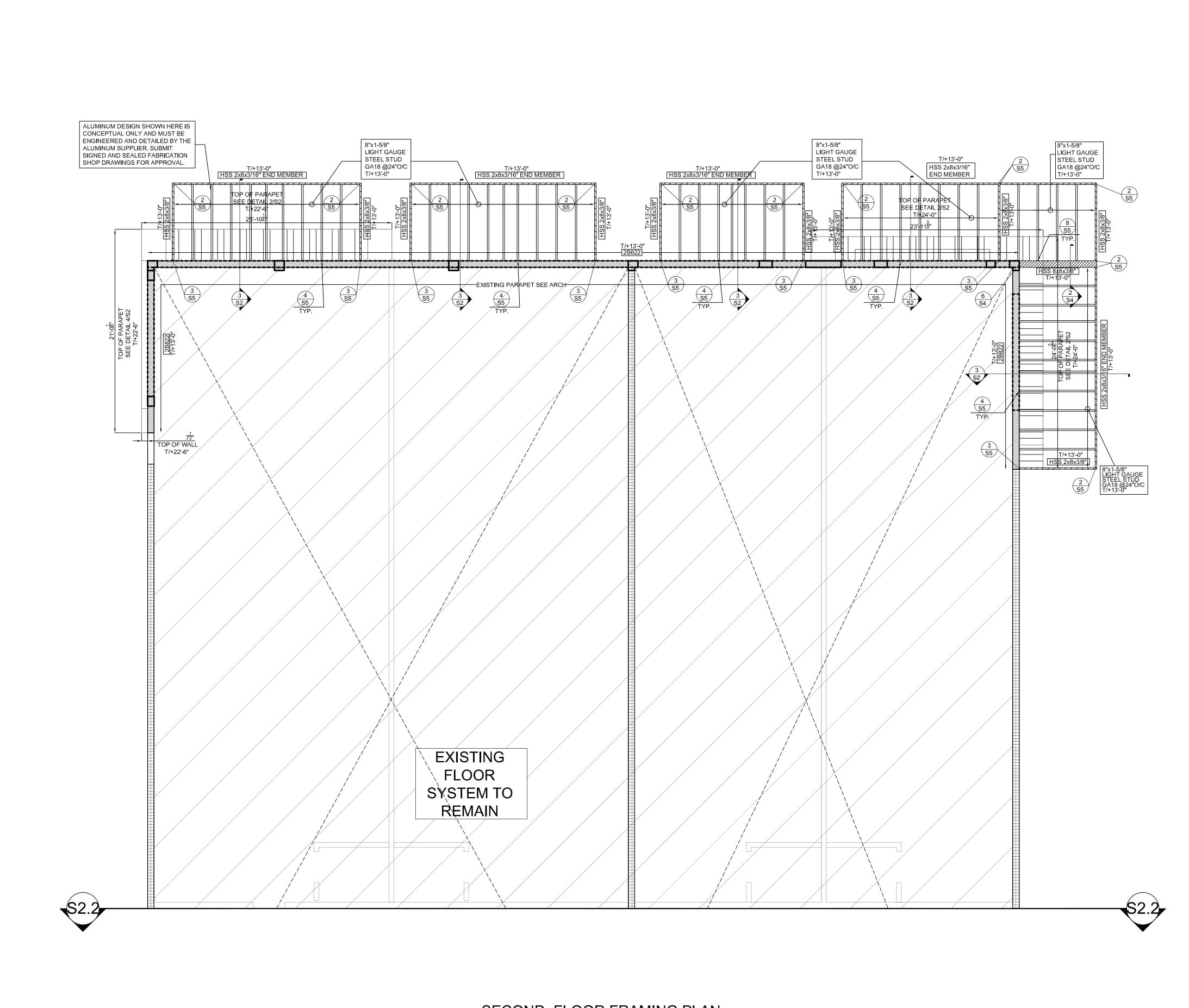




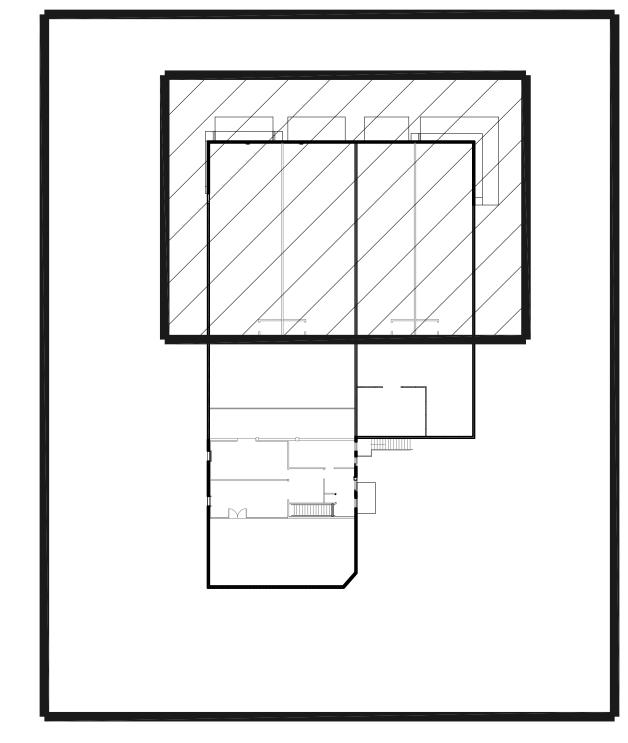




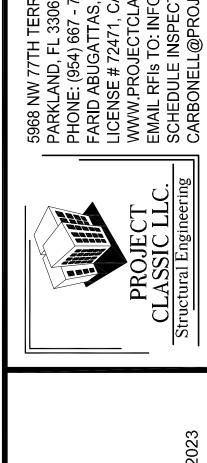








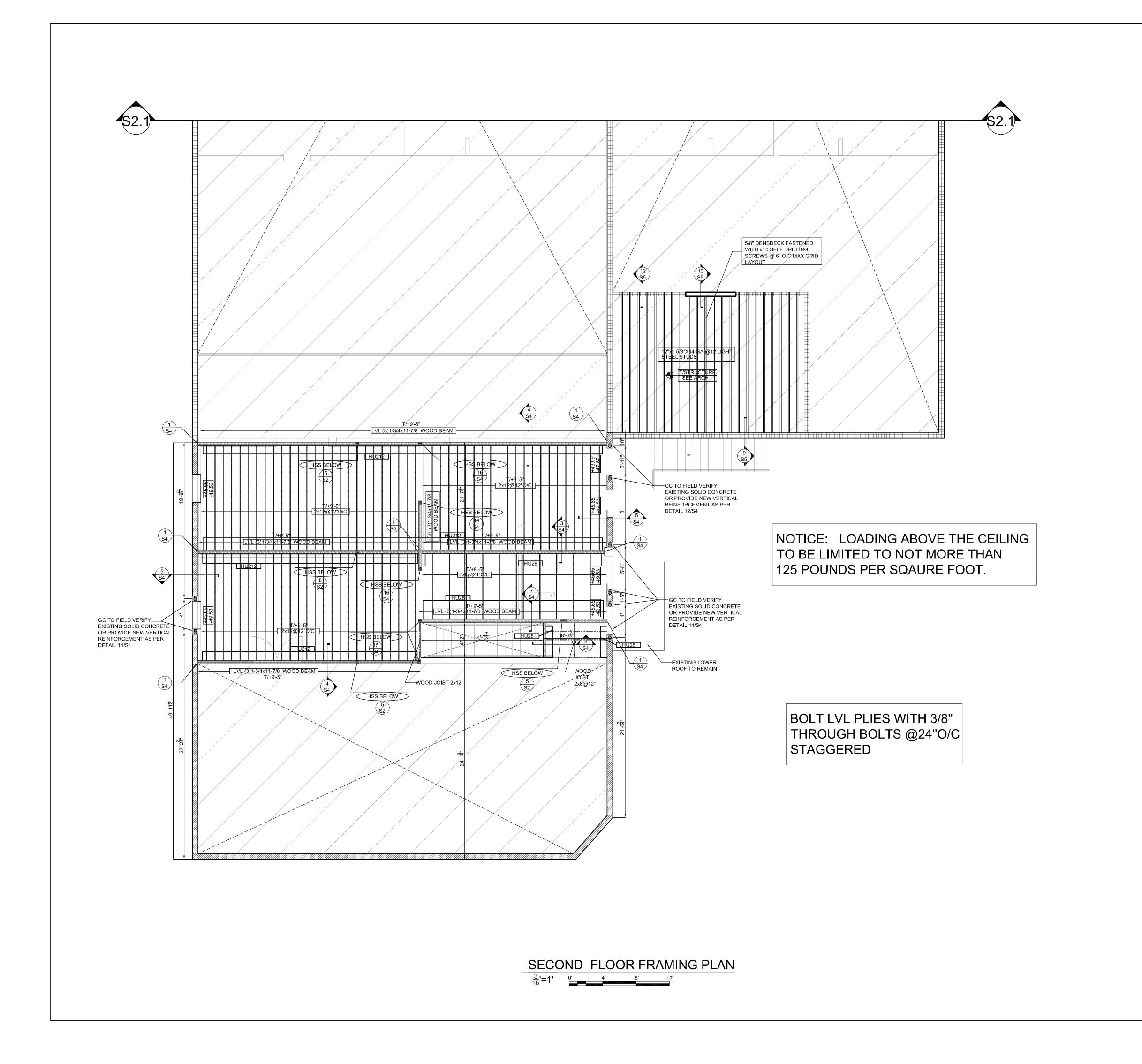
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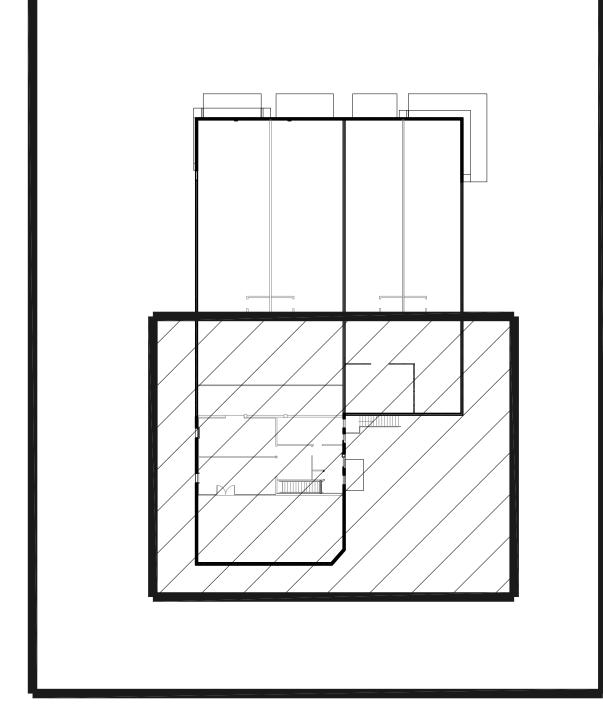


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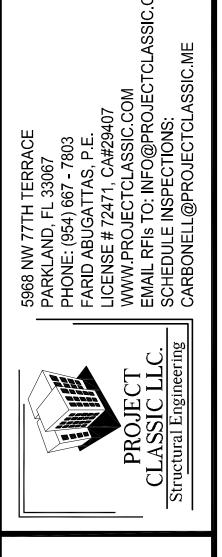
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## STRUCTURAL NOTES

**GENERAL** 

ALL INFORMATION THAT IS STRUCTURAL IN NATURE SHOWN IN THESE STRUCTURAL SHEETS SHALL TAKE PRECEDENCE OVER STRUCTURAL ITEMS IN OTHER TRADES' PLANS.

EXCEPTION: NOTES IN OTHER TRADES' PLANS ADDRESSING SPECIAL ITEMS (SUCH AS MINIMUM CONCRETE STRENGTH FOR FIRE RATING) SHALL GOVERN WHEN MORE STRINGENT THAN HERE SHOWN.

PLEASE USE HAND SKETCHES AND OTHER VISUAL/WRITTEN METHODS TO COMMUNICATE A CONSTRUCTION QUESTION. SEND TO US VIA FMAIL OR FAX

THE CONTRACTOR SHALL INCLUDE IN HIS INITIAL BID A 1% ADDITIONAL (BASED ON THE TOTAL AMOUNT OF THE SHELL BID) AS AN ALLOWANCE FOR ADDITIONAL REINFORCEMENT, CONCRETE, WOOD, STRAPPING, FORMWORK, STRUCTURAL STEEL PARTS, WELDING, CONNECTORS, SAWCUTTING OR GRINDING CONCRETE AND ITS ASSOCIATED LABOR. SAID ALLOWANCE SHALL BE USED FOR REWORKS REQUIRED BY THE INSPECTOR OR ENGINEER IN ORDER TO ENSURE THE INTEGRITY OF THE STRUCTURE, PROPERLY CONSTRUCT THE SHELL AND CORRECT ANY MISINTERPRETATIONS OR INCONSISTENCIES IN THE PLAN VIEWS, NOTES AND DETAILS. GENERAL CONTRACTOR MUST FAMILIARIZE HIMSELF WITH THE STRUCTURAL PLANS AND HOW THEY INTERACT WITH OTHER SPECIALTIES PLANS (ARCHITECTURAL, M.E.P., ETC), ALTHOUGH TRADE COORDINATION HAS BEEN PERFORMED, THIS OFFICE SHALL BE CONTACTED IN CASE THE CONTRACTOR FINDS MISSING, AMBIGUOUS, UNCLEAR OR CONFLICTING INFORMATION.

THE CONTRACTOR SHALL ALWAYS KEEP ON SITE THE LATEST REVISION OF THE SIGNED AND SEALED STRUCTURAL PLANS, APPROVED SHOP DRAWINGS AND PRODUCT APPROVALS.
ALL OPENINGS BELOW 60'-0" TO BE PROTECTED FROM IMPACT OF WINDBOURNE DEBRIS GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL ACTIVITIES RELATED TO WORK SAFETY. CONSTRUCTION LOADS SHOULD BE CAREFULLY DISTRIBUTED TO AVOID LOADING ANY MEMBERS IN EXCESS OF THEIR CAPACITY.

THE APPROVAL BY THE STRUCTURAL INSPECTOR OF ANY WORK DOES NOT RELIEVE THE CONTRACTOR

HE APPROVAL BY THE STRUCTURAL INSPECTOR OF ANY WORK DOES NOT RELIEVE THE CONTRACTOR. ROM COMPLYING WITH THE FLORIDA BUILDING CODE AND THE APPROVED STRUCTURAL ALL STEEL BEAMS BEARING PRECAST SHALL HAVE STEEL POST SHORES @10' O/C, RESHORED TO THE GROUND LEVEL, DURING PRECAST PANELS LOADING.

PROJECT SPECIFIC CODES USED:

ALL STRUCTURAL ELEMENTS FOR THIS PROJECT HAVE BEEN DESIGNED PER FLORIDA BUILDING CODE, 2020. THIS IMPLIES THE USE OF THE BELOW LISTED CODES (FBC TAKES PRECEDENCE OVER CONFLICTING ITEMS). PROJECT PLANS, DETAILS & ARCHITECTURAL BACKGROUNDS

ALL DETAILS AND SECTIONS SHOWN ARE INTENDED TO BE TYPICAL UNLESS OTHERWISE SPECIFIED. DETAILS THAT REFERENCE SPECIFIC SCHEDULES ARE INTENDED TO BE SCHEDULES SHALL TAKE PRECEDENCE IN ALL CONFLICTING ITEMS. ALL ELEMENTS INTENDED TO ORIGINATE FROM OTHER TRADE'S DRAWINGS (ELEVATIONS, PARTITION LOCATIONS, ETC)
HAVE BEEN INCLUDED FOR THEIR RELATION TO STRUCTURAL ITEMS ONLY. REFER TO THE CORRESPONDING TRADE'S
PLANS FOR FINAL LAYOUTS AND DETAILS.
DO NOT USA A SCALE TO DETERMINE THE DIMENSIONS OF ANY PLAN OR DETAIL DRAWINGS. IF THE DIMENSION NEEDED IS
UNAVAILABLE, PLEASE CONTACT THIS OFFICE.

SHALL CONSIST OF 6 MIL POLYETHYLENE WITH JOINTS LAPPED NOT LESS THAN 12 INCHES.

GRAVITY LOADING (ASCE 7-16) SEE GRAVITY LOADING CHART FOR DESIGN LOADS.

REQUEST ACTUAL PRODUCT CUT SHEETS FROM SUPPLIERS FOR ANY EQUIPMENT HEAVIER THAN 200 LB.
SPECIALTY ENGINEERS MUST CONSIDER THE MINIMUM SERVICE WEIGHTS FOR THE FOLLOWING, HOWEVER THE ACTUAL
CUT SHEET GOVERNS:
POOL TABLE = 1 500 LB
BATH TUB = 600 LB.
SAFE DEPOSIT BOXES = 2000 LB
FISH TANKS = VARY CONSIDERABLY, 4000 LB.
A/C COMPRESSORS = 500 LB.
GENERATORS = 3000 LB.

WIND LOADING (ASCE 7-16) WIND SPEED=170 MPH (ULTIMATE, 3 SECOND GUST) AND 132MPH (ASD)

EXPOSURE = C BUILDING TYPE= ENCLOSED, RIGID

BUILDING 1 TPE- ENGLOSED, NOID
MRH= 22.5'
STRUCTURE CATEGORY = II
KD=0.85 - EITHER ASD OR LRFD LOAD COMBINATIONS PER ASCE 7-16 HAVE BEEN USED FOR DESIGNING THE VARIOUS
STRUCTURAL ELEMENTS IN THIS PROJECT.
INTERNAL PRESSURE COEFFICIENT = +/- 0.18

COMPONENTS & CLADDING DESIGN WIND PRESSURES: WALLS: +10'-0'

ROOF: SEE ROOF WIND ZONE PRESSURE DIAGRAM FOR ZONE LAYOUT, SIZE AND PRESSURE. **DEFLECTION DESIGN CRITERIA** 

ALL MEMBERS (BEAMS, SLABS, TRUSSES, JOISTS, ETC) COMPOSING FLOORS HAVE BEEN DESIGNED AND SHALL BE DESIGNED BY THE DELEGATED ENGINEER (IF APPLICABLE) FOR:

TOTAL LOAD: SPAN / 240
REINFORCED CONCRETE ELEMENTS: LIVE LOAD + LONG TERM SPAN / 360
WALL / MULLIONS: L / 175
MARBLE AND STONE TILE SUPPORTING FLOORS: LIVE LOAD: SPAN / 720
ROOF MEMBERS SUPPORTING NON PLASTER CEILINGS: LIVE: L/240, TOTAL: L/180 PER FBC TABLE 1604.3

DEFERRED SUBMITTAL DRAWINGS LIST

ROOFING FENCES

- FLOOR SYSTEM
- ROOF SYSTEM
- ROOF SYSTEM
- SOILS REPORTS
- REBAR
- WINDOW & DOOR
- RAILINGS
- STRUCTURAL STEEL
- PREFABRICATED STAIRS
- CONCRETE MIXES
- SHORING SHOP DRAWINGS
- ROOFING

SHALLOW FOUNDATION - SOILS REPORT PENDING

A SOILS REPORT IS NOT CURRENTLY AVAILABLE TO THE STRUCTURAL ENGINEER

A BEARING CAPACITY OF 2500 PSF HAS BEEN ASSUMED FOR THE DESIGN OF THE FOUNDATION AT THE TIME OF CONSTRUCTION, A FLORIDA REGISTERED SOILS ENGINEER SHALL BE HIRED BY THE CONTRACTOR TO VERIFY THE ASSUMED BEARING CAPACITY BY MEANS OF A SIGNED AND SEALED REPORT BASED ON A SOILS BORING TEST. SHOULD A DIFFERENT CONDITION BE OBSERVED THAT PREVENTS THE ASSUMED BEARING CAPACITY, THE ENGINEER OF RECORD SHALL BE INFORMED IN WRITING SO THAT THE FOOTINGS CAN BE ANALYZED AGAIN FOR THE SITE CONDITIONS. REQUEST COMPACTION INSPECTIONS AS REQUIRED.

SOILS BEARING STATEMENT (SOIL PRESSURE: ASD, FOOTING DESIGN: LRFD) THE SITE IS IN A "DEVELOPED SITE" AREA, WHERE THE ALLOWABLE IN PLACE BEARING CAPACITY FOR THE PROPOSED FOOTINGS IS  $\underline{2000}$  PSF.

CALCULATIONS HAVE BEEN PERFORMED ANALYZING THE PROPOSED STRUCTURE WHICH WILL BE SUPPORTED ON THE FOOTINGS. SUCH CALCULATIONS HAVE DETERMINED THAT THE MAXIMUM BEARING PRESSURE APPLIED TO THE SOIL IS 2000 PSF.

SINCE THE WORKING STRESS ON THE SOIL IS LESS THAN THE ALLOWABLE CAPACITY, THE SOILS AT THE SITE WILL SAFELY SUPPORT THE NEW STRUCTURE LOAD AND COMPLY WITH THE ABOVE REFERENCED EDITION OF THE FLORIDA BUILDING CODE. THIS STATEMENT IS BASED UPON FBC

SOILS PREPARATIONS SHALL BE DONE TO A PERIMETER 5' BEYOND ALL OUTERMOST FOOTING EDGES.
THE GRADE SHALL BE EXCAVATED TO 2 FT BELOW BOTTOM OF PROPOSED FOOTINGS, THEN COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY MODIFIED PROCTOR (ASTM D-1556) DENSITY. SUBSEQUENTLY, THE ADDED STRUCTURAL FILL TO ACHIEVE THE BOTTOM OF FOOTING ELEVATION SHALL BE PLACED IN 12" LIFTS AND ALSO COMPACTED TO 95% MINIMUM DENSITY. A DENSITY TEST IS REQUIRED PRIOR TO FOUNDATION CONSTRUCTION. IF UNSUITABLE SOILS ARE ENCOUNTERED DURING EXCAVATION, A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE FURTHER SPECIFICATIONS ON SITE PREPARATION.

SUB-SLAB AND SOIL COVER MEMBRANES.

MEMBRANE MATERIAL: A SUB-SLAB OR SOIL-COVER MEMBRANE SHALL CONSIST OF A MINIMUM 0.006 INCH (0.152 MM) (6 MIL) THICK SINGLE LAYER OF POLYETHYLENE. POLYVINYLCHLORIDE (PVC), ETHYLENE PROPYLENE DIENE TERPOLYMER (EPDM), NEOPRENE OR OTHER NONDETERIORATING NONPOROUS MATERIAL MAY BE USED INSTEAD OF POLYETHYLENE, PROVIDED THE INSTALLED THICKNESS HAS GREATER OR EQUAL RESISTANCE TO AIR FLOW, PUNCTURING, CUTTING AND TEARING, AND A PERMEANCE OF LESS THAN 0.3 PERM AS DETERMINED IN ACCORDANCE WITH ASTM E 96. THE MEMBRANE SHALL BE PLACED TO MINIMIZE SEAMS AND TO COVER ALL OF THE SOIL BELOW THE BUILDING FLOOR.

TAPE: TAPE USED TO INSTALL THE MEMBRANE SHALL HAVE A MINIMUM WIDTH OF 2 INCHES (51 MM) AND SHALL BE PRESSURE SENSITIVE VINYL OR OTHER NONDETERIORATING PRESSURE SENSITIVE TAPE COMPATIBLE WITH THE SURFACES BEING JOINED. PAPER TAPE AND/OR CLOTH SHALL NOT BE USED FOR THESE PURPOSES. MASTIC: MASTIC USED TO INSTALL THE MEMBRANE SHALL BE COMPATIBLE WITH THE SURFACES BEING JOINED, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE MATERIALS, SURFACE CONDITIONS AND TEMPERATURES INVOLVED. MASTIC MAY BE USED TO JOIN SECTIONS OF MEMBRANE TO ONE ANOTHER OR TO ELEMENTS OF THE BUILDING FOUNDATION, OR TO SEAL PENETRATIONS IN THE MEMBRANE. I HE MEMBRANE.
INSTALLATION: THE MEMBRANE SHALL BE PLACED UNDER THE ENTIRE SOIL-CONTACT AREA OF THE FLOOR IN A
MANNER THAT MINIMIZES THE REQUIRED NUMBER OF JOINTS AND SEAMS. CARE SHALL BE TAKEN TO PREVENT
DAMAGE TO THE MEMBRANE DURING THE CONSTRUCTION PROCESS.
SEAMS: SEAMS BETWEEN PORTIONS OF THE MEMBRANE SHALL BE LAPPED A MINIMUM OF 12 INCHES (305 MM)
AND SHALL BE SECURED IN PLACE WITH A CONTINUOUS BAND OF TAPE OR MASTIC CENTERED OVER THE EDGE OF
THE TOP MEMBRANE.

-EXTERIOR WALL RECESSES

FLOOR AND ROOF SYSTEM SHOP DRAWINGS WILL NOT BE STAMPED UNTIL THE FOLLOWING PARTIES HAVE GENERAL CONTRACTOR HAS VERIFIED:

-FIELD DIMENSIONS -AS BUILT VARIATIONS WHICH MAY AFFECT CONNECTION DETAILS -GENERAL COMPLIANCE WITH THE APPROVED PLANS

ARCHITECT HAS VERIFIED: -INTERFERENCE BETWEEN THE SHOP DRAWING ELEMENTS AND CEILING HEIGHTS, COFFERS, VAULTS AND ANY OTHER GEOMETRICAL CEILING FEATURES. -LENGTH OF OVERHANG, RIDGE LINES AND ROOF PITCH -MINIMUM AREAS DESIGNATED FOR STORAGE SPACES.

GENERAL CONTRACTOR TO PROVIDE THIS OFFICE WITH SHOP DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY THE DELEGATED ENGINEER FOR APPROVAL. CONTRACTOR TO ANTICIPATE FOR TIME OF REVIEW, ADJUSTMENT AND RESUBMITTAL. SAID DRAWINGS SHALL BE ENGINEERED TO COMPLY WITH THE DESIGN PARAMETERS SPECIFIED IN THESE PLANS BUT IN NO CASE LESS THAN THE MINIMUMS REQUIRED BY THE ABOVE MENTIONED CODES. DESIGN PARAMETERS USED AND ALL LOADS FROM SPECIALTY MEMBERS ACTING AGAINST THE SUBSTRUCTURE SHALL BE CLEARLY IDENTIFIED IN THE REVIEW PACKAGE.

TERMITE PROTECTION

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, "REGISTERED TERMITICIDE." UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MILLIMETER VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED.

IF A REGISTERED TERMITICIDE FORMULATED AND REGISTERED AS A BAIT SYSTEM IS USED FOR SUBTERRANEAN TERMITE PREVENTION; A SIGNED CONTRACT ASSURING THE INSTALLATION, MAINTENANCE AND MONITORING OF THE BAITING SYSTEM THAT IS IN COMPLIANCE WITH THE REQUIREMENTS FLORIDA STATUTES SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE POURING OF THE SLAB, AND THE SYSTEM MUST BE INSTALLED PRIOR TO FINAL BUILDING APPROVAL. IF THE BAITING SYSTEM DIRECTIONS FOR USE REQUIRE A MONITORING PHASE PRIOR TO INSTALLATION OF THE PESTICIDE ACTIVE INGREDIENT, THE INSTALLATION OF THE MONITORING PHASE COMPONENTS SHALL BE DEEMED TO CONSTITUTE INSTALLATION OF THE SYSTEM.

IF A REGISTERED TERMITICIDE FORMULATED AND REGISTERED AS A WOOD TREATMENT IS USED FOR SUBTERRANEAN TERMITIC PREVENTION. APPLICATION OF A WOOD TREATMENT TERMITICIDE SHALL BE AS REQUIRED BY LABEL DIRECTIONS FOR USE, AND MUST BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL. CHANGES IN FRAMING OR ADDITIONS TO FRAMING IN AREAS OF THE STRUCTURE REQUIRING TREATMENT THAT OCCUR AFTER THE INITIAL WOOD TREATMENT MUST BE TREATED PRIOR TO FINAL

CONCRETE STRENGTH (ACI 318-14 LRFD)

SLABS SUPPORTED ON GRADE LEVEL WHEN REINFORCED WITH W.W.M.: 3000 PSI COLUMNS, CAST IN PLACE WALLS AND SHEARWALLS: 3000 PSI ELEVATED BEAMS AND SLABS: 3000 PSI MASONRY GROUT IN CELLS: 3000 PSI

3000 PSI CONCRETE

WHEN SPECIFIED UNDER THE "CONCRETE STRENGTH" STRUCTURAL NOTES, READY MIX CONCRETE TO ACHIEVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC: SHALL COMPLY WITH ASTM A-185. FABRIC SHALL BE PLACED 1/3 FROM THE TOP OF THE SLAB. LAPS SHALL BE 6" MIN. WWM SHALL BE OVERLAPPED 30" AT PERIMETERS. CONCRETE MIX SUBMITTALS SHALL DESCRIBE WHICH LOCATION IN THE STRUCTURE THE MIX IS TO BE PLACED.

FIBERMESH SLAB SHRINKAGE REINFORCEMENT

SHALL BE FIBERMESH 300 SYNTHETIC FIBER AS SUPPLIED BY PROPEX CONCRETE SYSTEMS OR EQUAL. THE MINIMUM USE SHALL BE 1% BY VOLUME OR 1.5 LBS/CUBIC YARD, WHICHEVER IS GREATER. FURNISH ACCORDING TO THE MANUFACTURERS DATA SHEET.

NO WORKER SHALL BE ALLOWED DIRECTLY UNDER THE FORMS DURING CONCRETE PLACEMENT. CURING AGENTS USED ON ROOFS SHALL BE CHECKED FOR COMPATIBILITY WITH ROOFING MATERIALS.

CONCRETE TIE BEAM

OCCASIONALLY, A LOWER CONCRETE HEADER BEAM IS SPECIFIED, THEN CMU BLOCK IS SPECIFIED ON TOP WITH A TIE BEAM AT THE TOP OF THE WALL. THIS IS DONE WITH THE INTENT TO ECONOMIZE IN THE FORMING, REBAR AND CONCRETING. HOWEVER, DUE TO THIS REQUIRING SEPARATE CONCRETE POURS, THE CONTRACTOR MAY ELECT TO FULLY FORM THE BEAM BY DOING ONE SINGLE DEEP BEAM. THIS IS ALWAYS ACCEPTABLE AS LONG AS 2#5 MID BARS ARE ADDED FOR EVERY 12" OF BLOCK HEIGHT BEING REPLACED. ALSO THE LOW HEADER BEAM SPECIFIED STIRRUP SPACING MUST BE MADE FULL HEIGHT.

GENERAL CONTRACTOR IS TO VERIFY BEAM DEPTH & ELEVATIONS WITH ARCHITECTURAL PLANS & NOTIFY ARCHITECT OF ANY DISCREPANCIES. COORDINATE MASONRY OPENINGS WITH WINDOW MANUFACTURER & N.O.A.
FOR ARCHED BEAMS ADD (2) # 5'S DIAGONAL EACH END OF THE BEAM. ADD (1) EXTRA #5 DIAGONAL EACH SIDE FOR EVERY
4" EXTRA WIDTH.
BEAM DEPTHS ARE MINIMUM REQUIRED, ADD 2#5 MIDDLE FOR EVERY ADDITIONAL 12" OF DEPTH REQUIRED

TYPICAL TIE BEAM OVER WALLS TO BE 8"x12" w/ (2) #5's TOP AND BOTTOM. (4) #3 TIES @ EACH SIDE OF EVERY BEND, CORNER AND TRANSITION. TIE BALANCE @48" O/C. TIE BEAM DROPS DOWN TO TOP OF OPENING - SEE FRAMING PLANS. FOR WIDER THAN 8" TIE BEAMS, INCREASE TOP AND BOTTOM LONGITUDINAL STEEL BY (1) #5 PER EXTRA 4" OF WIDTH. "PCL" REFERS TO PRECAST LINTEL MANUFACTURED BY CASTCRETE WITH CURRENT NOA. USE 12" WIDE LINTEL FOR 12" THICK WALLS
TIES AT INTERMEDIATE AND END SUPPORT SPACING REFERS TO TIES TO EACH SIDE OF EACH INTERMEDIATE COLUMN OR

TIES AT INTERMEDIATE AND END SUPPORT SPACING REFERS TO TIES TO EAST SIDE OF EAST INTERMILED, TO SESSION WALL SUPPORT
WALL SUPPORT
BALANCE REFERS TO THE SPACING OF THE REMAINING TIES AFTER THE TIES AT EACH END HAVE BEEN INSTALLED. IF NO
END TIES SHOWN, USE BALANCE THROUGHOUT THE ENTIRE LENGTH OF THE BEAM.
GC TO VERIFY DEPTH OF BEAMS WITH WINDOW AND DOOR HEIGHTS. COORDINATE WITH GLAZING MANUFACTURER.
WHEN THE BEAM SPECIFIED IN THE STRUCTURAL PLAN RUNS OVER A CMU WALL, IT'S ACTUAL WIDTH IS TO BE THE
ACTUAL WIDTH OF THE WALL, WHICH WOULD BE 7-5/8" OVER 8" CMU. ALL BEAMS INDICATED TO HAVE A CAMBER SHALL BE DOCUMENTED BY THE GC ON SITE WITH PICTURES WITH TAPE MEASURE AND KEEP IN THEIR RECORDS FOR MIN 3 YEARS AS EVIDENCE THAT THE CAMBER WAS IN FACT PROVIDED

QUALIFIED TESTING TECHNICIANS SHALL PREPARE SPECIMENS (APPLIES FOR ALL CONCRETE, INCLUDING FIELD AND PREFABRICATING YARD OR ANYWHERE THAT CONCRETE IS PRODUCED THAT WILL BE USED IN THIS PROJECT) REQUIRED FOR CURING UNDER FIELD CONDITIONS AND RECORD THE TEMPERATURE OF THE FRESH CONCRETE WHEN PREPARING SPECIMENS FOR LABORATORY STRENGTH TESTS.

ACCOUNTING SEPARATELY FOR EACH CLASS OF CONCRETE AND EACH DAY, ONE TEST (CONSISTING OF BREAKING (2) 6"Ø DIAMETER x 12" HIGH CONCRETE CYLINDER SAMPLES, MOLDED AS PER ASTM C31 AND TESTED PER ASTM C39) SHALL BE PERFORMED ACCORDING TO THE MOST FREQUENT OF: ONCE A DAY ONCE EVERY 150 CUBIC YARDS ONCE EVERY 5000 SQUARE FEET OF SLAB OR WALL SURFACE AREA

7 DAY, 14 DAY AND 28 DAY TEST REPORTS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW. THE CLIENT SHALL RETAIN A REPUTABLE TESTING COMPANY TO BE ON SITE AT THE TIME OF CONCRETE POUR AND INDEPENDENTLY COLLECT CYLINDERS AND PERFORM COMPRESSIVE TESTING. **CONCRETE REINFORCEMENT** 

TEMPERATURE REINFORCEMENT IN STRUCTURAL SLABS SHALL BE INSTALLED CONTINUOUSLY (WITHOUT BREAKS OR INTERRUPTIONS) IN ALL AREAS OF THE SLAB AND RUNS PERPENDICULAR TO THE MAIN REINFORCEMENT. OVERLAP TEMPERATURE BARS WHERE NEEDED A MIN OF 24"

CONCRETE REINFORCEMENT BARS, STIRRUPS AND TIES SHALL BE IN ACCORDANCE WITH ASTM A-615 (GRADE 60) REINFORCING BARS THAT ACT AS LAP DOWELS AND ARE TO BE WELDED TO STRUCTURAL STEEL SHALL CONFORM TO ASTM A-706 (GRADE 60). REINFORCING BARS CONTAINING A LIGHT COAT OF RUST SHALL BE ALLOWED. ACI HOOKS TO BE PROVIDED FOR ALL REQUIRED CONDITIONS PER DETAILS PRESENTED IN THIS PROJECT.

FIELD WATER IS NOT PERMITTED TO BE ADDED TO THE CONCRETE MIX

ALL EXTERIOR SLAB REBAR SHALL BE SEPARATED BY PLASTIC CHAIRS FROM ANY CONCRETE FACES. WELDED REINFORCEMENT SHALL CONFORM TO AWS D1.4 OR BE ASTM A706 GRADE 60. ANCHOR EMBEDMENT LENGTH INCLUDE STRUCTURAL CONCRETE ONLY (DOES NOT INCLUDE STUCCO). ALL CONCRETE SURFACES TO BE KEPT IN A MOIST CONDITION FOR 7 DAYS AFTER POUR.

CONCRETE PLACED DIRECTLY IN CONTACT WITH GROUND: ALL BAR SIZES FACE OF CONCRETE ELEMENT EXPOSED TO WEATHER OR GROUND AFTER FORM REMOVAL: #5 BARS OR SMALLER 1-1/2"

CONCRETE COVER SHOULD BE AS FOLLOWS UNLESS NOTED OTHERWISE:

ALL OTHER BAR SIZES FACE OF CONCRETE ELEMENT NOT EXPOSED TO WEATHER OR GROUND SLABS, CAST IN PLACE WALLS BEAMS AND COLUMNS 1-1/2"

COLUMN AND FILLED CELL LAP SPLICES SHALL BE 48 BAR DIAMETERS. THE CONTRACTOR SHALL ALLOW FOR AN ADDITIONAL 1% AMOUNT OF REBAR TO BE USED AT THE DISCRETION OF THE STRUCTURAL INSPECTOR IN ORDER TO RECTIFY OR STRENGTHEN ANY CONDITIONS FOUND TO BE CRITICAL DURING

ALL OTHER TRADES PLANS SHALL BE VERIFIED TO IDENTIFY THE LOCATION OF DEPRESSIONS, RECESSES, PIPES, PENETRATIONS, SLEEVES, ETC. SAID PENETRATIONS, SPECIALLY WHEN THEY CROSS CONCRETE BEAMS AND COLUMNS, MUST BE BLOCKED OUT FROM THE POUR, DISPLACING THE LEAST AMOUNT OF CONCRETE, PRIOR TO THE POUR. ANY PENETRATIONS LARGER THAN 5" DIAMETER MUST BE APPROVED BY THIS OFFICE.

ALL FRESH CONCRETE TO EXISTING CONCRETE CONTACT FACES SHALL HAVE AN APPROVED FRESH CONCRETE EPOXY BONDING AGENT APPLIED AS PER THE MANUFACTURER'S SPECIFICATIONS. ALL FORMS SHALL BE CLEANED WITH COMPRESSED AIR IN ORDER TO REMOVE ANY DIRT, LAITANCE, DEBRIS, ETC, PRIOR TO THE PLACEMENT OF ANY CONCRETE.

FOR PIPES THAT RUN ON THE INSIDE OF THE REINFORCING CAGE OF CONCRETE COLUMNS AND CONCRETE BEAMS, REINFORCING BARS THAT HAVE LESS THAN 1.5" COVER AGAINST PVC PIPES DUE TO INEVITABLE FIELD COORDINATION WITH PLUMBING, MUST BE FIELD SPRAY GALVANIZED 6" TO EACH SIDE OF EACH PIPE. NO REBAR SHALL HAVE LESS THAN 3/4" COVER AGAINST A PIPE.

ANY CONSTRUCTION JOINT BETWEEN TWO SLABS REQUIRES CONNECTION DOWELS TO PREVENT DIFFERENTIAL SETTLEMENT THAT COULD CRACK FLOORING OR OTHER FINISHES. UNLESS NOTED OTHERWISE, USE #3 REBAR, SINGLE PIECE, EXTENDING 12" INTO EACH OF BOTH SLABS. SPACED @12" O/C AND 4" FROM EACH SIDE. ANCHORING SPECIFICATIONS

CONCRETE SCREWS SHALL BE HILTI KWIK-CON II EXPANSION BOLTS SHALL HAVE A LENGTH IDENTIFYING LABEL AND BE HILTI KWIK BOLT TZ OR EQUAL. STAIRS - ONE AND TWO FAMILY RESIDENCES DESIGN LIVE LOAD = 40 PSF

NOMINAL AND TRUE THICKNESS MEMBERS

THE FOLLOWING ARE MEMBERS IN WHICH THE NOTED THICKNESS AND WIDTH IN PLAN AND SCHEDULE IS INTENDED TO BE THE EXACT MEASUREMENT OF THE ACTUAL BUILT MEMBERS.

ALL CONCRETE SLABS
INTERIOR CONCRETE BEAMS AND COLUMNS
FOOTINGS, GRADE BEAMS AND PILES
STRUCTURAL STEEL MEMBERS (COLUMNS, BEAMS AND CONNECTION MEMBERS)

THE FOLLOWING MEMBERS HAVE THEIR NOMINAL DIMENSIONS NOTED AND THE ACTUAL DIMENSION VARIES: CONCRETE COLUMNS AND TIE BEAMS IN-LINE WITH MASONRY WALLS, WHERE THE COLUMN THICKNESS SHALL MATCH THE WALL NET THICKNESS.

DRESSED LUMBER

HANDRAILS AND GUARDRAILS

TO BE DESIGNED ACCORDING TO ASCE 7-16: ABLE TO RESIST MOST STRINGENT OF LINEAR LOAD OF 50 LB/FT OR 200 LB, APPLIED IN ANY DIRECTION AT THE TOP. INTERMEDIATE PICKETS TO BE ABLE TO RESIST A SINGLE POINT LOAD OF 50 LB INTERMEDIATE RAILS, BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED FOR A UNIFORM HORIZONTAL LOAD OF NOT LESS THAN 25 POUNDS PER SQUARE FOOT (1197 PA) OVER THE GROSS AREA OF THE GUARD, INCLUDING THE AREA OF ANY OPENINGS IN THE GUARD, OF WHICH THEY ARE A PART WITHOUT RESTRICTION BY DEFLECTION. ABRUPT DIFFERENCES IN AND AROUND BUILDINGS WHERE THE WALKING SURFACE HEIGHTS EXCEEDING 30" SHALL BE FLANGE WIDTH: 1-5/8 (APPROX)

S: C-STUD / JOIST

F: FURRING CHANNEI

LAMINATED WOOD BEAMS

ABBREVIATION LEGEND:

- ANCHOR BOLT

ALUMINUM

- BASE PLATE

- CENTER LINE

- BOTTOM

CANT - CANTILEVERED

CIP - CAST IN PLACE

- CEILING

- COLUMI

CMU - CONCRETE MASONRY UNIT

DBA - DEFORMED BAR ANCHOR

- CLEAR

CONC - CONCRETE

CONN.- CONNECTION

- DEAD LOAD

- EACH

- DIAMETER

- DIMENTION

- EACH END

- EACH WAY

- EACH FACE

- EXPANSION JOIN

- FOUNDATION

FRMNG - FRAMING ELEVATION

- HOLLOWCORE

- KNOCK-OUT

- LONG WAY

LIVE LOAD

EWTB - EACH WAY, TOP AND BOTTOM

- FLORIDA BUILDING CODE

- GENERAL CONTRACTOR

- HOT DIPPED GALVANIZED

- 1000 LB PER SQUARE INCH

FIRST 18 GAUGE,—

S3 / SCALE: NTS

HORIZONTAL STEEL -

STUDS 8"X 1-5/8" @36

2#10 TEK-

VERTICALLY

SECTION

HORIZONTAL STEEL-

STUDS 8"X 1-5/8" @36

2#10 TFK-

1/2"X7" FMBEDMENT— SIMPSON TITEN HD IN BETWEEN STUDS

VERTICALLY

S3 /SCALE: 1/2" = 1

8"x1-5/8" TRACK

- 1000 PER LINEAR FOOT

- FINISHED STRUCTURAL ROOF

- HEADED STUD / NELSON STUD

- HOLLOW STRUCTURAL SECTION

LRFD - LOAD AND RESISTANCE FACTOR DESIGN

LLBB - STEEL ANGLES WITH LONG LEGS BACK TO BACK

DET - DETAIL

E.E.

E.W.

FNDN

FTG - FOOTING

GAUGE

FLEXURAL STRESS Fb= 3100 PSI HORIZONTAL SHEAR: Fv = 285 PSI

MODULUS OF ELASTICITY: E = 2 000 000 PSI

EQUIVALENT SPECIFIC GRAVITY: SG = 0.50

- AMERICAN CONCRETE INSTITUTE

- ALLOWABLE STRESS DESIGN

- BALANCE, REMAINING

- AMERICAN IRON AND STEEL INSTITUTE

- CONTROL JOINT / CONSTRUCTION JOINT

- FINISHED STRUCTURAL FLOOR ELEVATION

- AMERICAN INSTITUTE OF STEEL CONSTRUCTION

MATERIAL THICKNESS: 54 MILS (REPRESENTS THE MINIMUM BASE METAL THICKNESS)

COMPRESSION PERPENDICULAR TO GRAIN: Fc perpendicular = 750 PSI

MCJ - MASONRY CONTROL JOINT MO - MASONRY OPENING

MFR - MANUFACTURER

- MIDDLE

MISC - MISCELLANEOUS

O/C - ON CENTER SPACING

PSI - 1 LB PER SQUARE INCH

PSF - 1 LB PER SQUARE FOOT

PLF - 1 LB PER LINEAR FOOT

RC - REINFORCED CONCRETE

SDS - SELF DRILLING SCREW

SJI - STEEL JOIST INSTITUTE

SDI - STEEL DECK INSTITUTE

T/ - MEMBER'S TOP ELEVATION

THE CONCRETE SLAB, BEAM OR

TS - TUBE STEEL (HOLLOW

STRUCTURAL SECTION)

TOS - TOP OF SLAB

TOB - TOP OF BEAM

VERT - VERTICAL

W/ - WITH

1 KIP - 1000 LB

-EXISTING CONC. COLUMN OR GROUTED OR CMU

- FIRST LIGHT GAUGE STEEL STUD

-1/4" x 3-1/4" TAPCONS

**CONNECTION DETAIL** 

STAGGERED

@ 12" O/C, 6" FROM EDGES

Ø - DIAMETER

VIF - VERIFY IN FIELD

SEE FRAMING OR FOUNDATION PLAN FOR

-DIAGONAL STEEL

—2#10 TEK

2#10 TEK

-2#10 TEK

—DIAGONAL STEEL

STUDS 6"x1-5/8" TYF

STUDS 6"x1-5/8" TYF

ACTUAL SIZE & SPACING

VB - VAPOR BARRIER

WWF - WELDED WIRE FABRIC

U= - UPLIFT VALUE IN LB

T/STRUCTURE - THE TOP ELEVATION OF

PLYWOOD. ARCHITECTURAL FINISHES

UNO - UNLESS NOTED OTHERWISE

SLBB - STEEL ANGLES WITH SHORT

BACK

R.S. - RING SHANK NAIL

REINF - REINFORCEMENT

- OUTSIDE DIAMETER

- PRESSURE TREATED WOOD

NTS - NOT TO SCALE

MIN - MINIMUM

PL - PLATE

STD - STANDARD

SCHED- SCHEDULE

SW - SHEAR WALL

SW - SHORT WAY

TYP - TYPICAL

TON - 2000 LB

LEGS BACK TO

COMPRESSION PARALLEL TO GRAIN: Fc parallel = 3000 PSI

T: TRACK

U: CHANNEL

ROPERTIES:

AISC

ASD

BAL

PROVIDED WITH SAFEGUARDS NOT LESS THAN 42" IN HEIGHT SAFEGUARDS MAY BE OMITTED ON DOCKS, SEAWALLS AND DECORATIVE FOUNDAINS WHERE THE LOWER LEVEL IS THE WATER SURFACE.

SAFEGUARDS IN AND AROUND BUILDINGS OF GROUP R OCCUPANCIES SHALL PROVIDE PROTECTION FOR CHILDREN BY PROVIDING ADDITIONAL RAILS, VERTICAL PICKETS OR AN ORNAMENTAL FILLER BELOW THE TOP RAIL WHICH WILL REJECT A 4-INCH (102 MM) DIAMETER OBJECT; PERMITTING, HOWEVER, SUCH ORNAMENTAL FILLERS TO HAVE INDIVIDUAL OPENINGS NOT EXCEEDING 64 SQUARE INCHES (413 CM2) IN AREA. WHERE A BALUSTRADE IS USED TO COMPLY WITH THE REQUIREMENTS OF THIS PARAGRAPH, THE MAXIMUM CLEARANCE BETWEEN THE BOTTOM RAIL OF THE BALUSTRADE AND THE ADJACENT SURFACE SHALL NOT EXCEED 2 INCHES (51 MM). FOR SAFEGUARDS ON STAIRS, THE 2-INCH (51 MM) CLEARANCE SHALL BE MEASURED FROM THE BOTTOM RAIL OF THE BALUSTRADE TO A LINE PASSING THROUGH THE TREAD NOSINGS.

LAMINATED GLAZING WILL BE PERMITTED AS AN EQUAL ALTERNATE TO PICKETS, IF TESTED BY AN ACCREDITED LABORATORY TO SATISFY THE RESISTANCE REQUIREMENTS OF THIS CODE FOR WIND, LIVE AND KINETIC ENERGY IMPACT LOADING CONDITIONS.

AREAS IN ALL OCCUPANCIES FROM WHICH THE PUBLIC IS EXCLUDED REQUIRING SUCH PROTECTION MAY BE PROVIDED WITH VERTICAL BARRIERS HAVING A SINGLE RAIL MIDWAY BETWEEN A TOP RAIL AND THE WALKING SURFACE.

FBCR4403.7.7 PERMANENT, FULL-HEIGHT INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED TO RESIST A LATERAL LIVE LOAD NOT LESS THAN 5 POUNDS PER SQUARE FOOT (239 PA) AND IF SHEATHED WITH LATH AND PLASTER, DEFLECTION AT THIS LOAD SHALL NOT EXCEED L/360. DRAINAGE

ALL EXTERIOR FLAT SURFACES SHALL BE SLOPED TO DRAINS AS SHOWN IN THE ARCHITECTURAL DRAWINGS. ALL ELEVATED ENCLOSED SURFACES SHALL BE PROVIDED WITH SCUPPERS PER ARCHITECTURALS. WOOD (AF&PA NDS 2018, ASD)

STRUCTURAL SAWN LUMBER TO BE SOUTHERN PINE #2 WITH MAXIMUM MOISTURE CONTENT OF 19%... COMMON NAILS TO BE USED, U.N.O., (8d=0.131"Ø, 10d=0.148"Ø, 16d=0.162"Ø).
TIMBERS TO BE SOUTHERN PINE.
LUMBER TO BE PRESSURE TREATED OR OTHERWISE SEPARATED WITH A MOISTURE BARRIER (SUCH AS BUILDING PAPER OR GALVANIZED STEEL ANCHOR SEATS) FROM ANY CONCRETE SURFACES.
ALL SOUTHERN PINE WOOD OR PLYWOOD EXPOSED TO THE EXTERIOR TO BE PRESSURE TREATED.
ALL WOOD PRODUCTS SHALL BE STAMPED WITH AN APPROPRIATE GRADE DESIGNATION. NO STAMPED MEMBER SHALL BE USED IF MEMBER HAS BECOME DEFECTIVE.
ALL BOLTS SHALL BE USED WITH A CORRESPONDING NUT AND WASHER.
FOR WOOD FRAMED WALLS, STAGGER THE TOP PLATE JOINT LOCATIONS 24" OR MORE.
EXTERIOR STUDS MAY NOT BE NOTCHED MORE THAN 25% WHEN NEEDED TO ACCOMMODATE OTHER TRADES.

STRUCTURAL STEEL (AISC LRFD)

STEEL WELDING RODS SHALL BE E70XX ELECTRODES.

WITHOUT PRIOR CONSULTATION WITH THIS OFFICE.

CONTRACTOR SHALL RETAIN A STRUCTURAL STEEL FABRICATOR THAT WILL MODEL THE STEEL MEMBERS, THEIR GEOMETRY AND THE CONNECTIONS BETWEEN EACH IN ORDER IN A 3D STRUCTURAL STEEL DETAILING PROGRAM IN ORDER TO GENERATE SHOP DRAWINGS SHOWING THE CONNECTIONS TO SCALE. THESE SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL TO THIS OFFICE PRIOR TO FABRICATION. THIS OFFICE WILL NOT BE RESPONSIBLE FOR FABRICATION ERRORS ARISING FROM FABRICATED STEEL WITHOUT A STAMPED SHOP DRAWING APPROVAL FROM THIS OFFICE.

ALL STRUCTURAL STEEL SHALL COMPLY WITH AISC LRFD 13TH EDITION.

STEEL BEAMS, C-CHANNELS AND MC-CHANNELS SHALL COMPLY WITH ASTM A992 (GRADE 50). STEEL RECTANGULAR / SQUARE COLUMN SECTIONS - ASTM A-500 (Fy=46 KSI), GRADE B.

STEEL CIRCULAR COLUMN SECTIONS - ASTM A-500 (Fy=42 KSI), GRADE B. STEEL ANGLES AND S-SHAPES SHALL CONFORM TO ASTM A36.

ALL STEEL BOLTS AND THREADED RODS, UNLESS NOTED OTHERWISE ON THE PLANS TO BE ASTM A307, GRADE A AND INSTALLED TO A SNUG TIGHT CONDITION (DEFINED AS BEING TIGHTENED BY THE FULL EFFORT OF A WORKER USING A REGULAR SPUD WRENCH). **BOLT NUTS TO BE ASTM A563** 

ALL STRUCTURAL STEEL, WHEN WITHIN AIR CONDITIONED SPACE OR FURTHER THAN 3 MILES FROM THE OCEAN (NOT INCLUDING REBAR) TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. AFTER INSTALLATION A FIELD TOUCH UP SHALL BE APPLIED. IF THE JOBSITE IS FURTHER THAN 0.5 MILE AND WITHIN 3 MILES FROM THE OCEAN, ANY STRUCTURAL STEEL THAT IS TO BE EXTERIOR TO THE BUILDING ENVELOPE SHALL BE HOT DIP GALVANIZED. ALL EXTERIOR STRUCTURAL STEEL WITHIN 0.5 MILE FROM THE OCEAN TO BE STAINLESS STEEL. ALL SHEAR STUDS SHALL BE TYPE B. ASTM A108 (Fu = 65 ksi)

ALL CABLES SHALL BE STAINLESS STEEL 6x19 WIRE ROPE - TYPE 304, IN COMPLIANCE WITH ASCE19-16 PROVISIONS. WHERE STAINLESS STEEL IS INDICATED. IT SHALL COMPLY WITH ASTM 304.

DO NOT CUT THE TOP STEEL PLATES IN ORDER TO ALLOW CONCRETE FROM THE TIE BEAM TO FILL THE STEEL COLUMN.

IF CONCRETE FILLED STEEL COLUMNS ARE REQUIRED BY THE STEEL COLUMN SCHEDULE OR THE ARCHITECT, THEY SHALL BE FILLED IN THE FABRICATING SHOP PRIOR TO PLATE WELDING. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED. AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. ALL

ALL STEEL BEAM CONNECTIONS ARE INTENDED TO SIT DIRECTLY ON TOP OF TOP PLATES OF HOLLOW STEEL TUBE COLUMNS (NOT TO THE SIDE OF STEEL TUBE COLUMNS). DO NOT CUT TOP PLATES OF STEEL COLUMNS TO BE FILLED WITH GROUT

ALL STEEL BEAMS CONNECTIONS TO EMBED PLATES ON CONCRETE SHALL BE DONE AFTER CONCRETE HAS REACHED 70% OF THE SPECIFIED COMPRESSIVE STRENGTH (VERIFY WITH THE 7 DAY CONCRETE SPECIMEN BREAK RESULTS)

NOTICE THAT SOME STEEL BEAM AND CONCRETE BEAMS/SLABS ASSEMBLIES MAY REQUIRE "TWO SEPARATE CRANE/INSTALL SESSIONS". REVIEW THE DETAILING PRESENTED IN THESE PLANS AND ASSESS IF THIS IS THE CASE. SPECIFICALLY LOOK FOR CONDITIONS WHERE STEEL BEAMS CARRY CONCRETE SLABS OR CONCRETE BEAMS.

DO NOT OVERHEAT STEEL MEMBERS BEING WELDED AS THIS WILL CAUSE THEM TO LENGTHEN BY THERMAL EXPANSION THIS IS A CONCERN BECAUSE THE LENGTH OF THE EXPANDED WELDED MEMBER IS COMMONLY FIXED ENOUGH THAT WHEN IT COOLS DOWN IT CAN PULL OUT CONCRETE FROM THE SUPPORTING COLUMNS AND BREAK IT. TO FURTHER MITIGATE THIS NEGATIVE EFFECT, WELD ONLY ONE SIDE OF THE MEMBER AND ALLOW THE MEMBER TO COOL PRIOR TO WELDING THE OPPOSITE SIDE.

STEEL SUPPLIER SHALL USE BOTH THE DETAILS AND SCHEDULES IN THIS PLAN, AS WELL AS FIELD VERIFYING FOR THE ACTUAL TOP OF FOOTING LOCATIONS IN THE FIELD. MAKE SURE TO BEAR ON FOOTING AND NEVER BEAR A COLUMN OVER A SLAB.

MASONRY (TMS402-16/ACI 530/ASCE 5 & TMS602, ACI530.1/ASCE 6) THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY.

MASONRY UNITS SHALL BE ASTM C-90 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON NET AREA OF INDIVIDUAL UNITS PER FBCR 606.4. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND U.O.N. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60. ALL CMU WALL UNDERGROUND SHOULD BE SOLID GROUTED

ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. NO TESTING FOR MORTAR STRENGTH IS REQUIRED FOR THIS PROJECT. MORTAR MAY BE RE-TEMPERED WITH WATER TO REGAIN WORKABILITY FOR NO MORE THAN 2.5 HOURS AFTER INITIAL MIXING. THE FINAL CMU BLOCK AND MORTAR SHALL ACHIEVE AN F'M = 1500 PSI.

GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM SPECIFICATION C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE ONLY) AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS. THIS REINFORCEMENT SHALL EXTEND MIN 4" INTO ALL CONCRETE COLUMNS. IN THE HIGH VELOCITY HURRICANE ZONE (BROWARD AND DADE COUNTIES) ALL CONCRETE MASONRY, TIE BEAMS, TIE COLUMNS, ETC SHALL BE INSPECTED BY A REGISTERED ENGINEER BEFORE CONCRETE POUR. UPON INSPECTION APPROVAL, AN ENGINEERING SIGNED, SEALED AND DATED LETTER WILL BE PROVIDED TO THE GENERAL CONTRACTOR AS REQUIRED BY THE AHJ. NO PIPES OR CONDUITS ARE ALLOWED IN MASONRY CELLS CONTAINING A REINFORCING BAR.

IN THE HIGH VELOCITY HURRICANE ZONE (BROWARD AND DADE COUNTIES) FOR REINFORCED UNIT MASONRY, MANDATORY INSPECTION REQUIRES A LEVEL B QUALITY ASSURANCE PROGRAM AS DESCRIBED BY MSJC TABLE 4, WHICH STATES THE GENERAL CONTRACTOR SHALL PROVIDE TO THE INSPECTOR CERTIFICATES OF MATERIALS USED IN MASONRY CONSTRUCTION, SUCH AS MASONRY BLOCK COMPLYING WITH ASTM C90, THE MINIMUM NET COMPRESSIVE BLOCK STRENGTH OF 1900PSI AND THE GRADE OF STEEL DEFORMED REINFORCEMENT TO BE ASTM A615. THE SPECIAL INSPECTOR SHALL VERIFY GROUT SPACES, LADDER TYPE REINFORCEMENT, REINFORCEMENT DIAMETER AND LOCATIONS FOR WALLS, TIE BEAMS AND CONCRETE COLUMNS.

ALL CONCRETE SLAB EDGES AND CONCRETE BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED A MINIMUM OF 3/4" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL.

LIGHT GAUGE STEEL STUDS (AISI, SSMA)

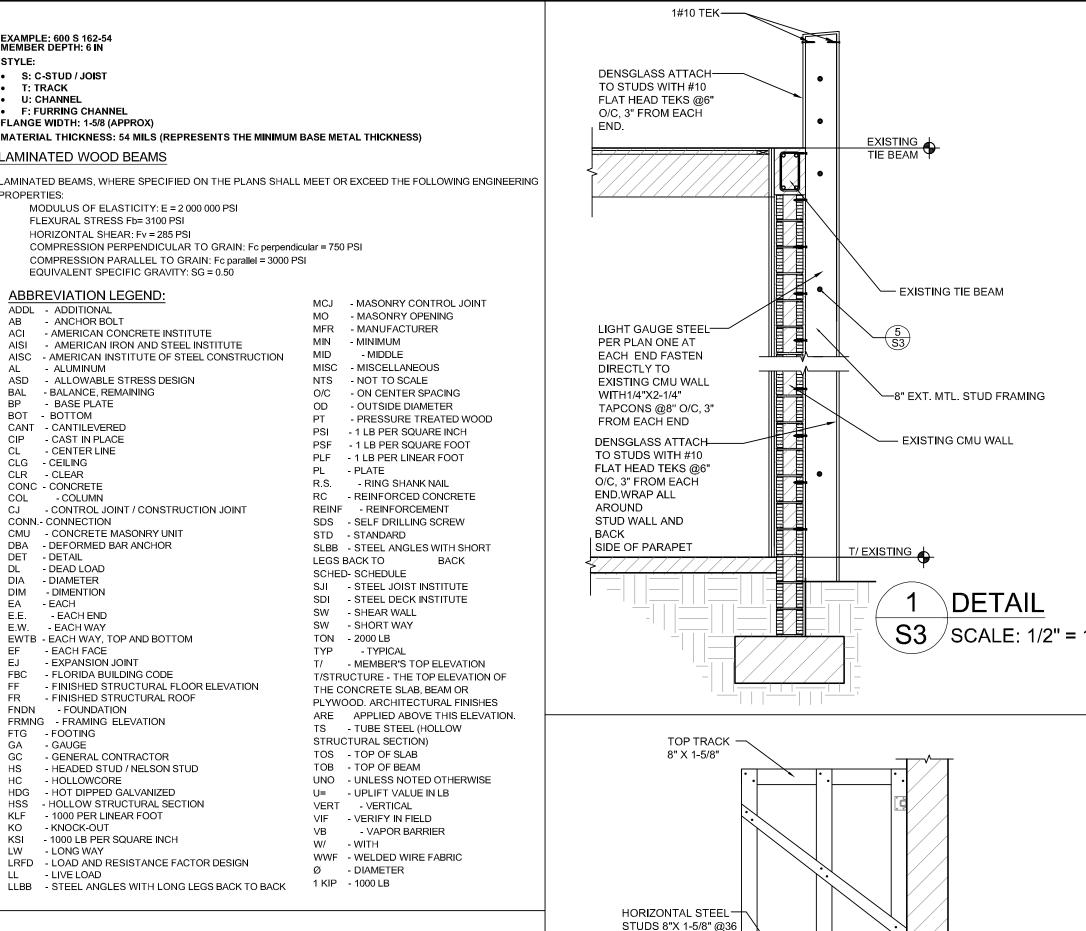
ALL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH THE AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS".

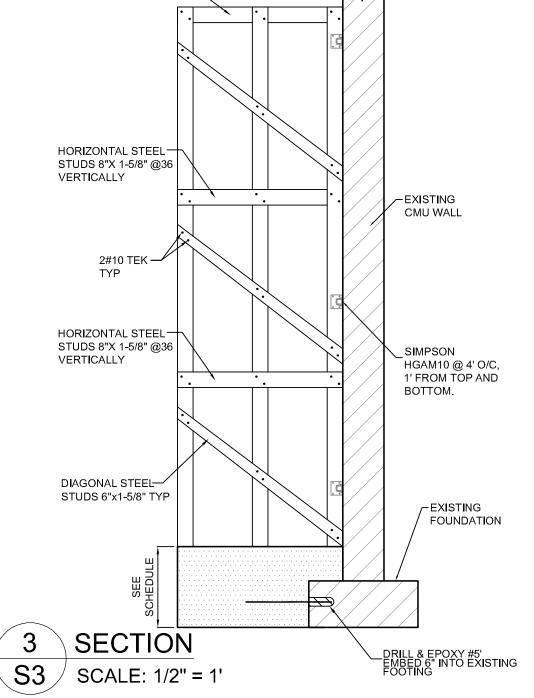
-ALL STEEL GAUGE STUDS TO BE 50 KSI UNLESS OTHERWISE NOTED IN THE PLANS TO BE 33 KSI. -GC SHALL PROVIDE ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AND AS RECOMMENDED BY THE MANUFACTURER FOR THE STEEL MEMBERS USED.
-FASTENING OF COMPONENTS SHALL BE AS DEPICTED IN THESE PLANS (SELF DRILLING SCREWS OR WELDS). ALL WELDS OF GALVANIZED STEEL SHALL BE TOUCHED UP WITH A ZINC-RICH PAINT. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED. -PRIOR TO FABRICATION OF FRAMING, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND ENGINEER TO OBTAIN APPROVAL. -SPLICES IN AXIAL LOAD BEARING MEMBERS OTHER THAN RUNNER TRACK SHALL NOT BE PERMITTED. -TEMPORARY BRACING, WHERE REQUIRED SHALL BE PROVIDED UNTIL ERECTION IS COMPLETE.

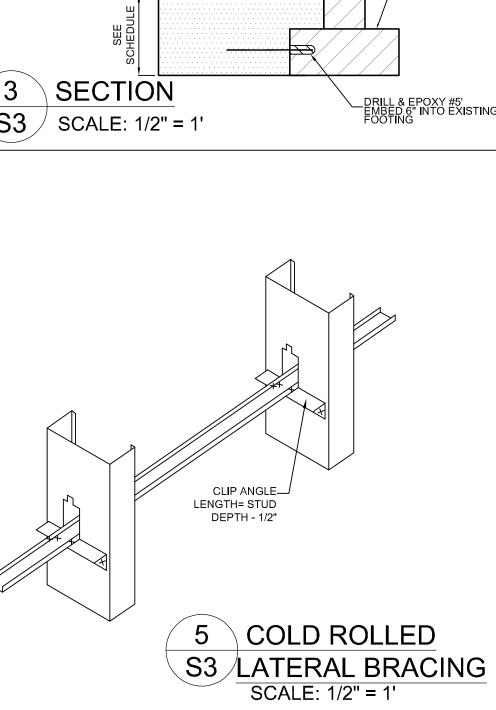
-END BLOCKING SHALL BE PROVIDED WHERE JOIST ENDS ARE NOT OTHERWISE RESTRAINED FROM ROTATION.

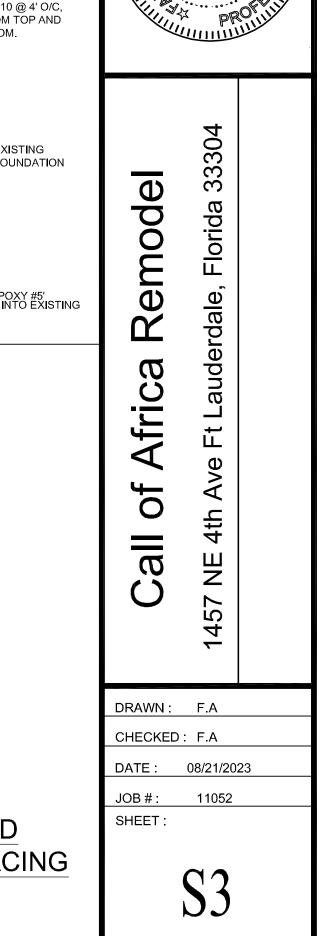
-STEEL STUD NOMENCLATURE FOLLOWS: <MEMBER DEPTH> <STYLE> <FLANGE WIDTH> - <MATERIAL THICKNESS>

STUD DIMENSIONS ARE GIVEN IN 1/100 IN MATERIAL THICKNESS IS GIVEN IN MILS (1/1000 IN)



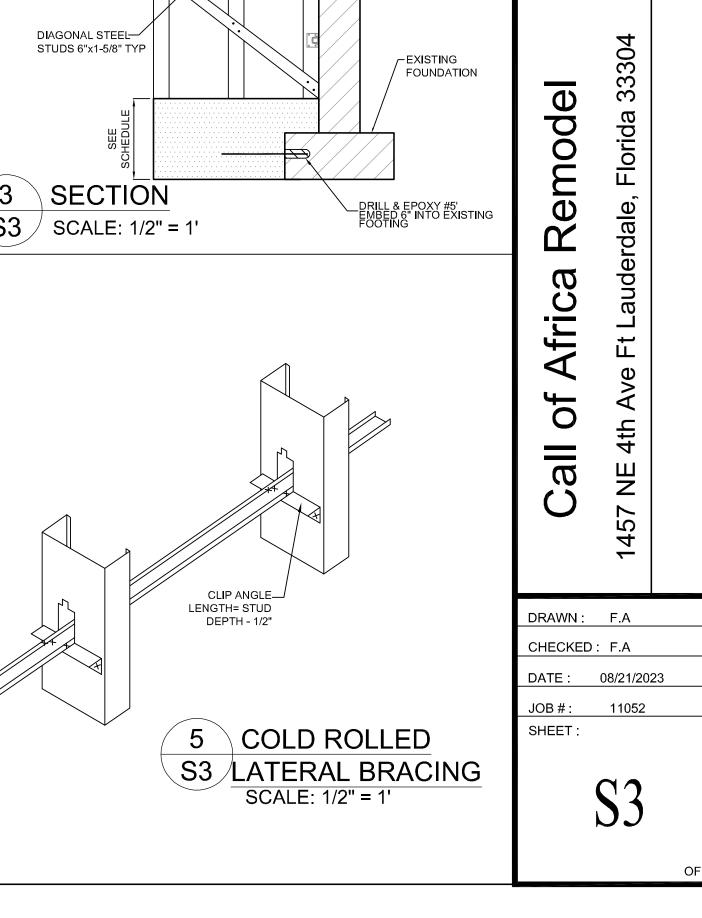


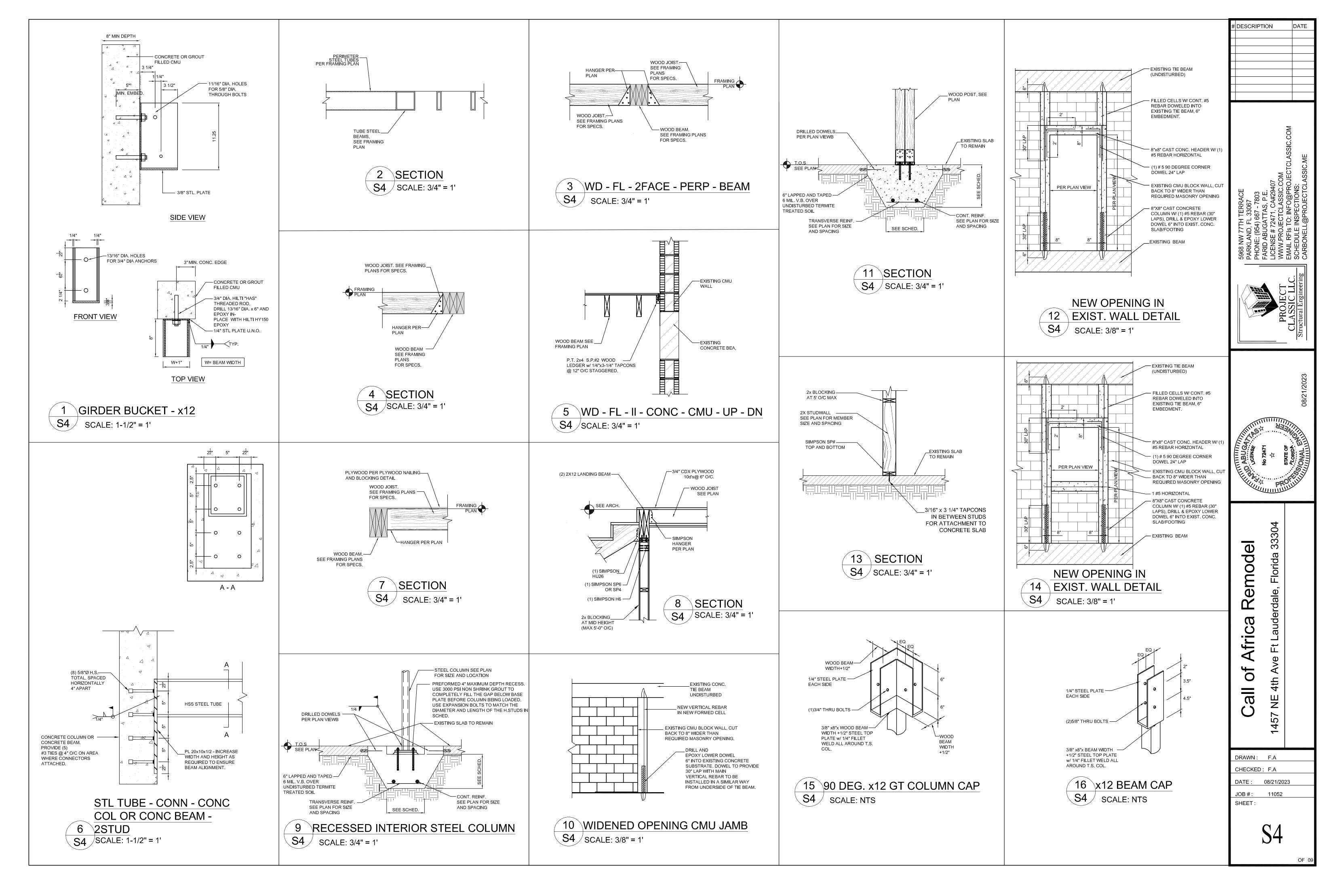


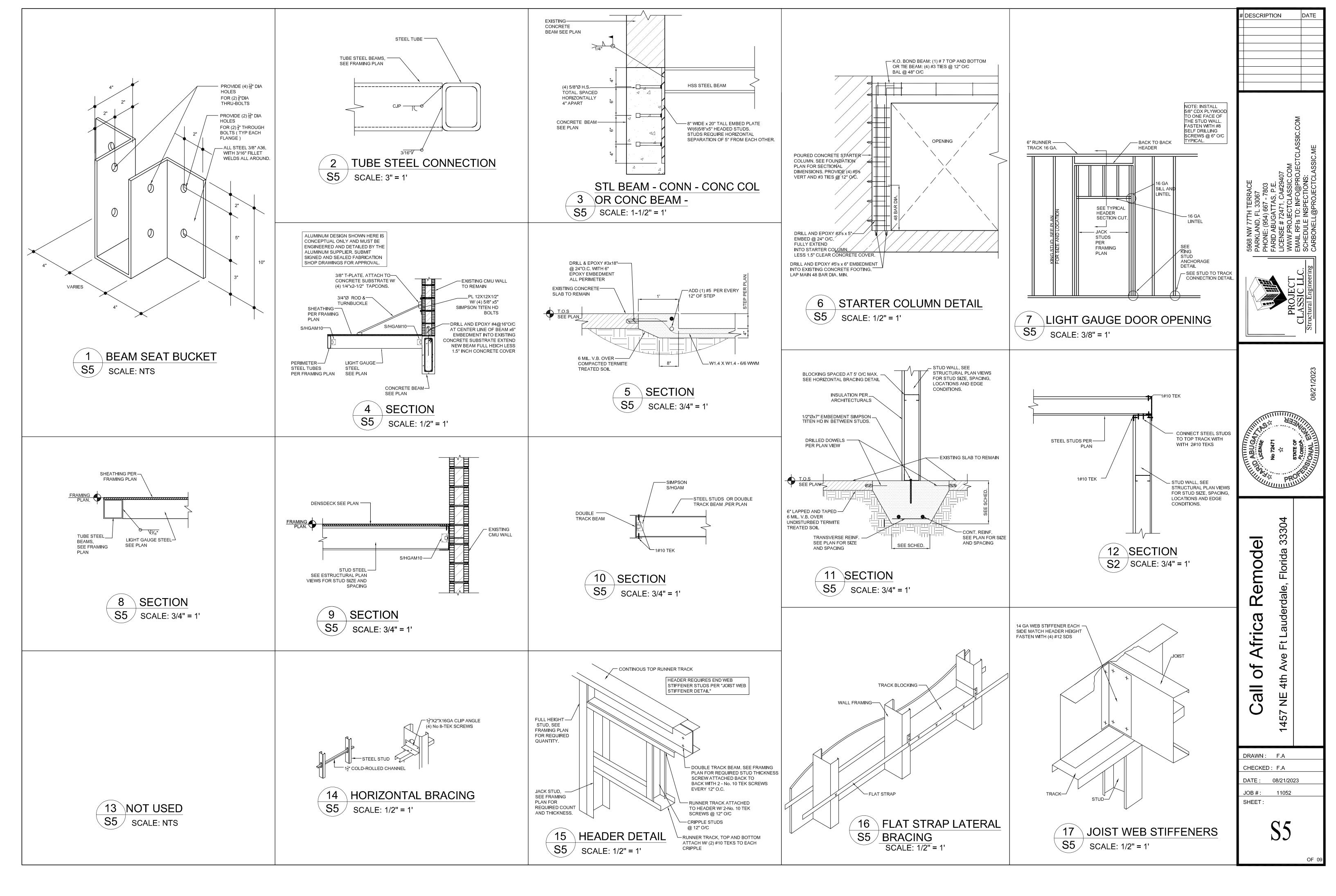


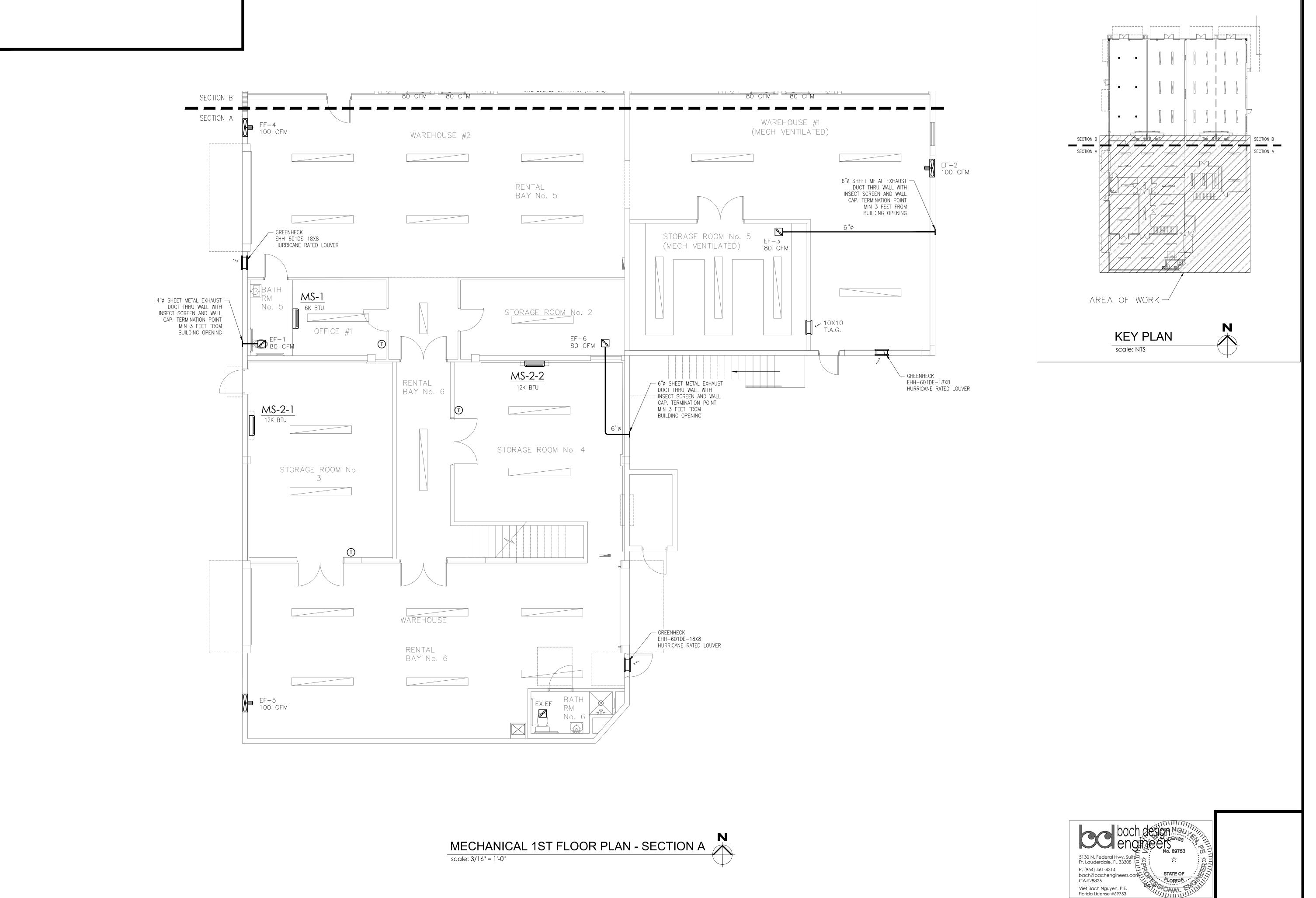
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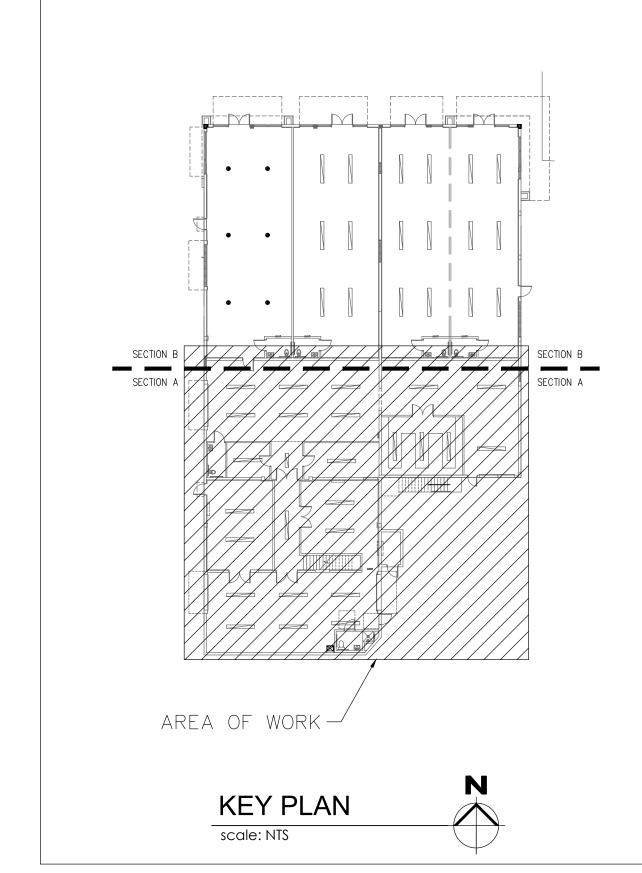
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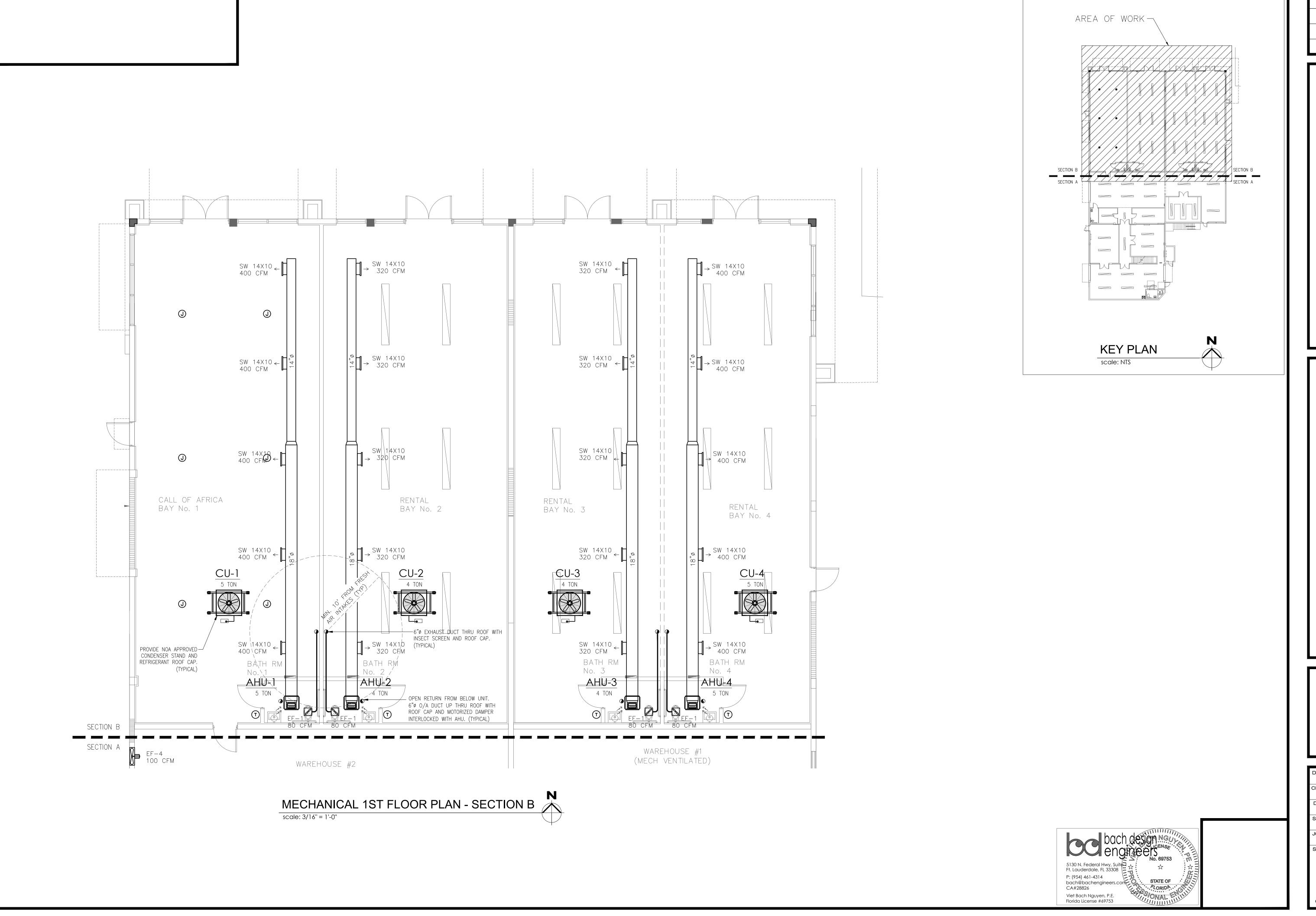
GUSTAVO J. CARBONELL Architect and Planner

REVISION BY:

TION FOR: RICA 920 N.E. 13TH ST FORT LAUDERDALE, PROPOSED RENOVA OF

SEAL: AR NO. 0007957 AA26001131

CHECKED G.J.C. 11-12-22 JOB. NO. 22-053 M-1.1 SHEETS



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PROPOSED RENOVATION FOR:

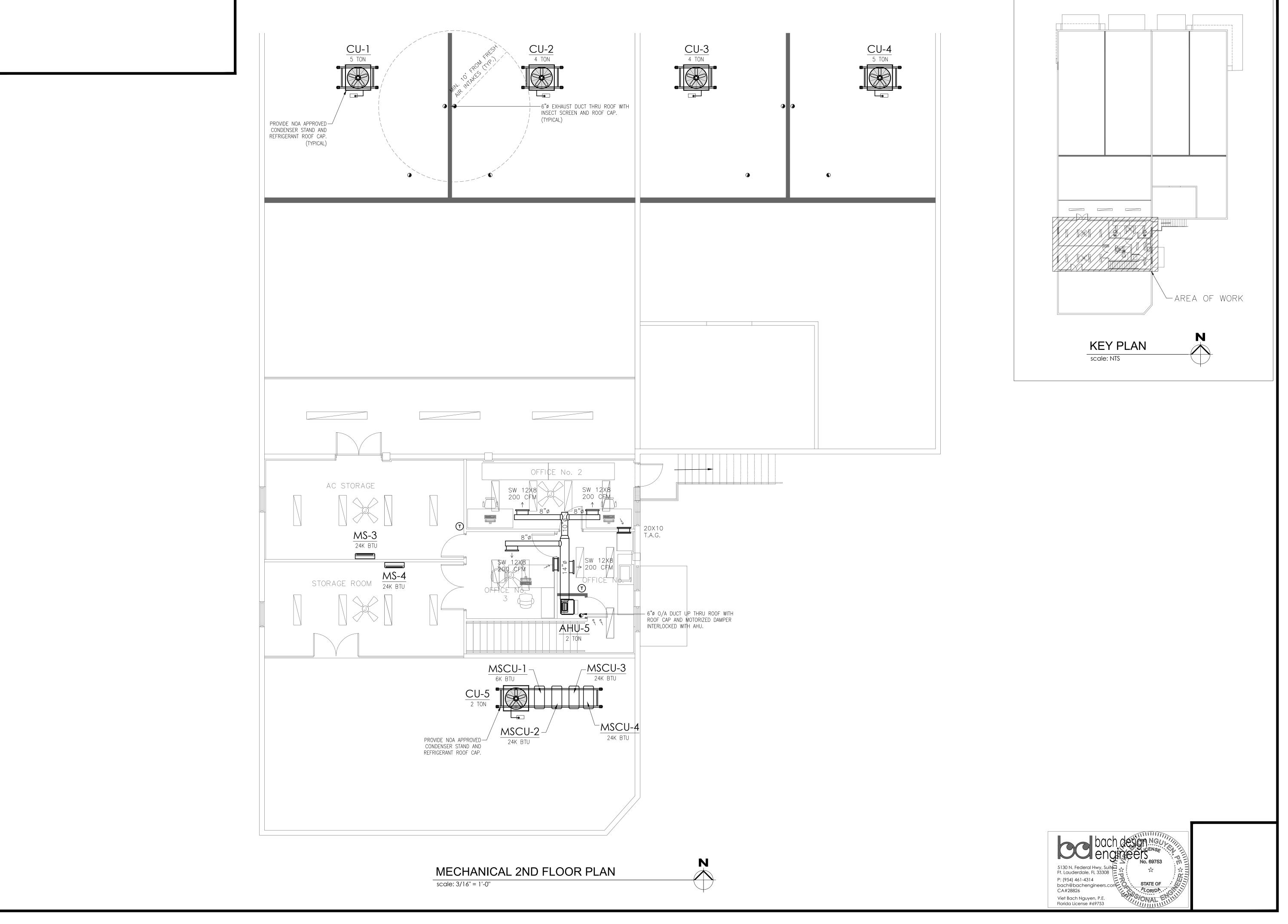
CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

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Architect and Planner
1457 N.E. 4th AVE.
Ft. Lauderdale, Florida, 33304
(954) 462-6565
Member American Institute of Architects

REVISION BY:

PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

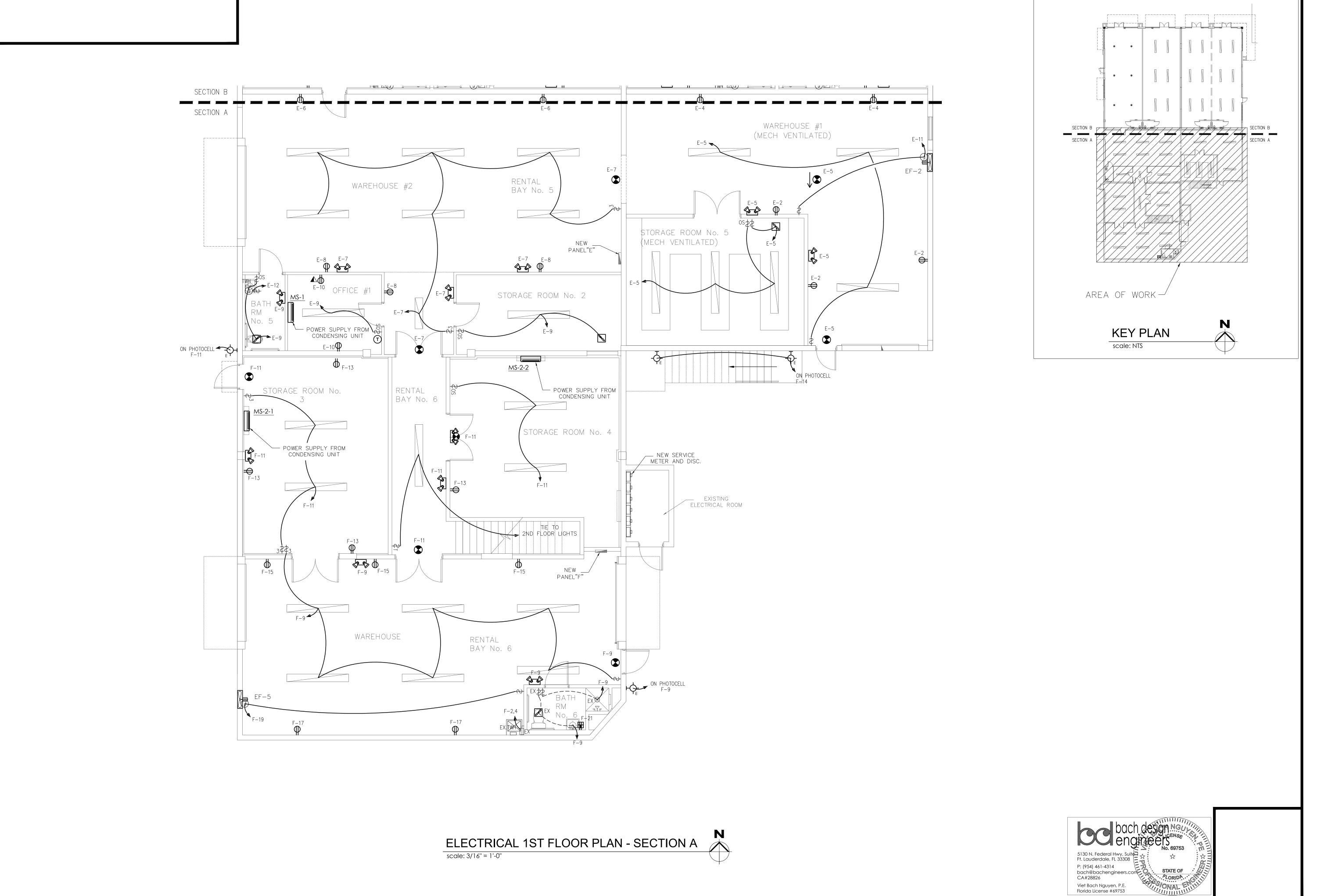
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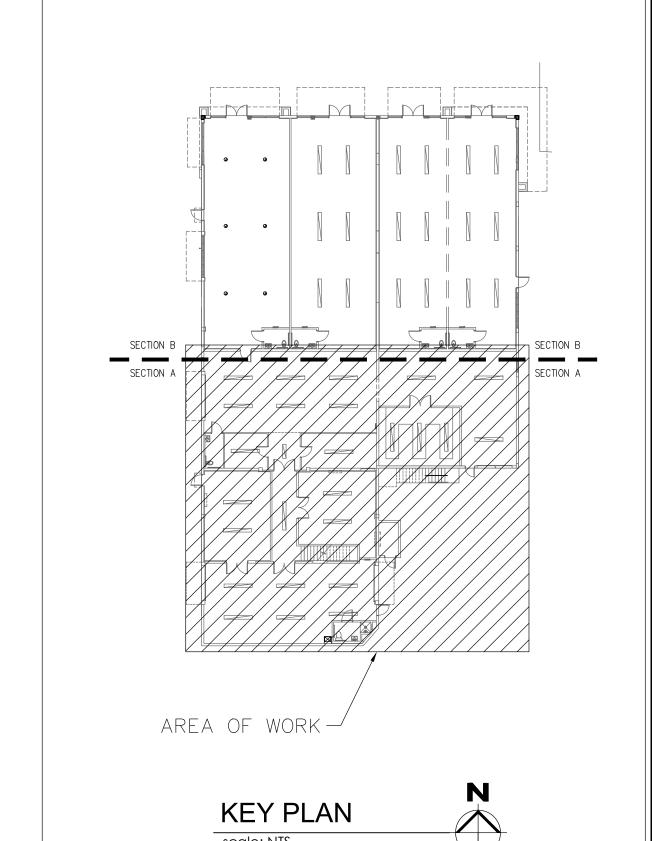
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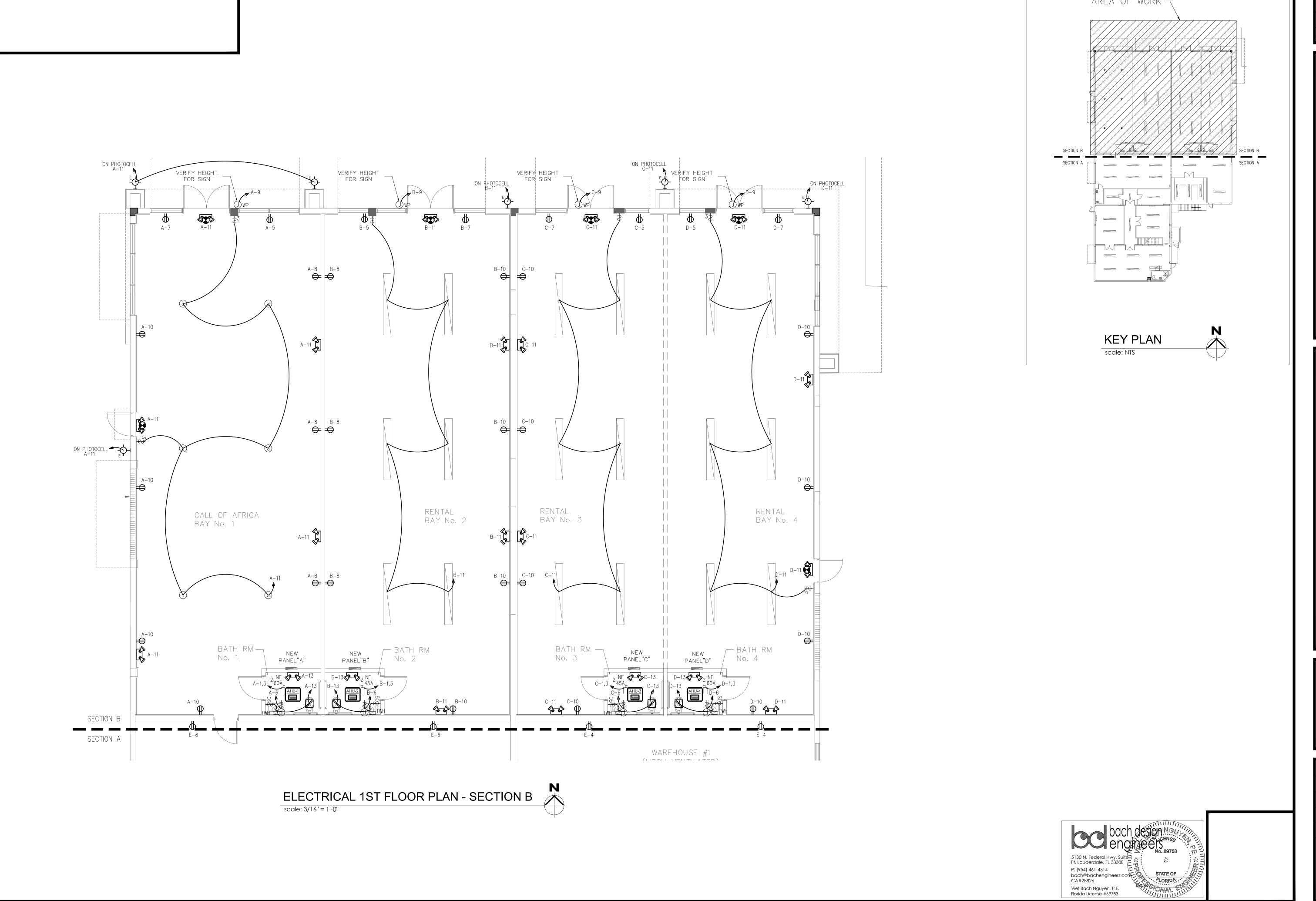
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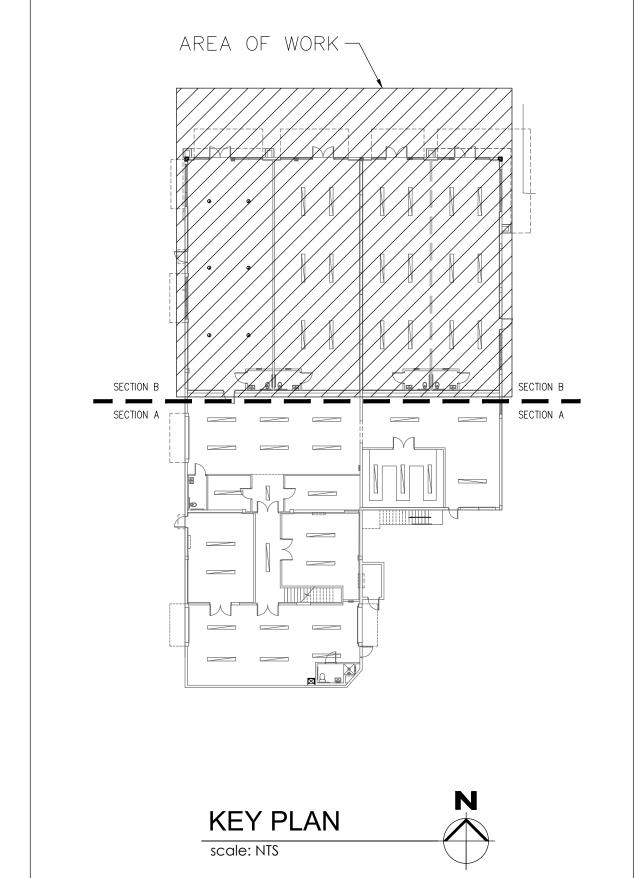
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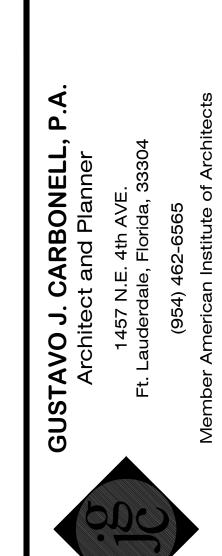
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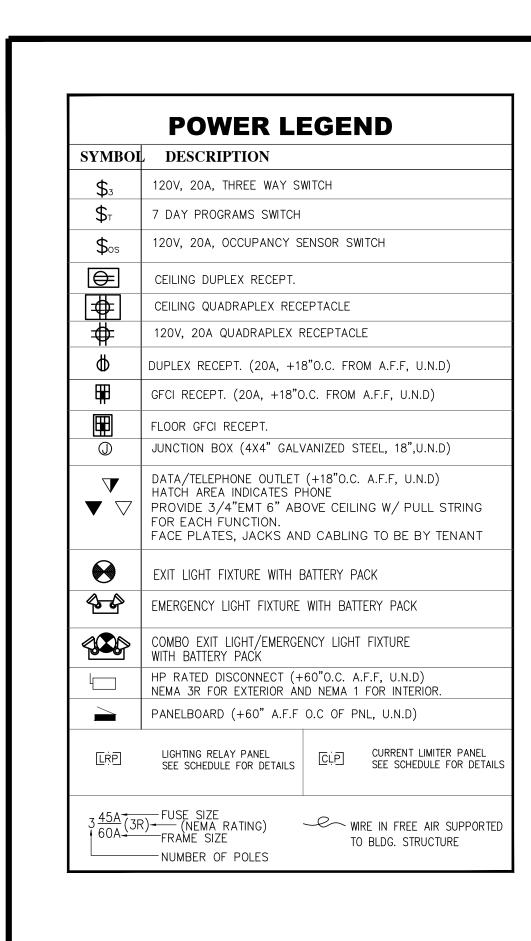
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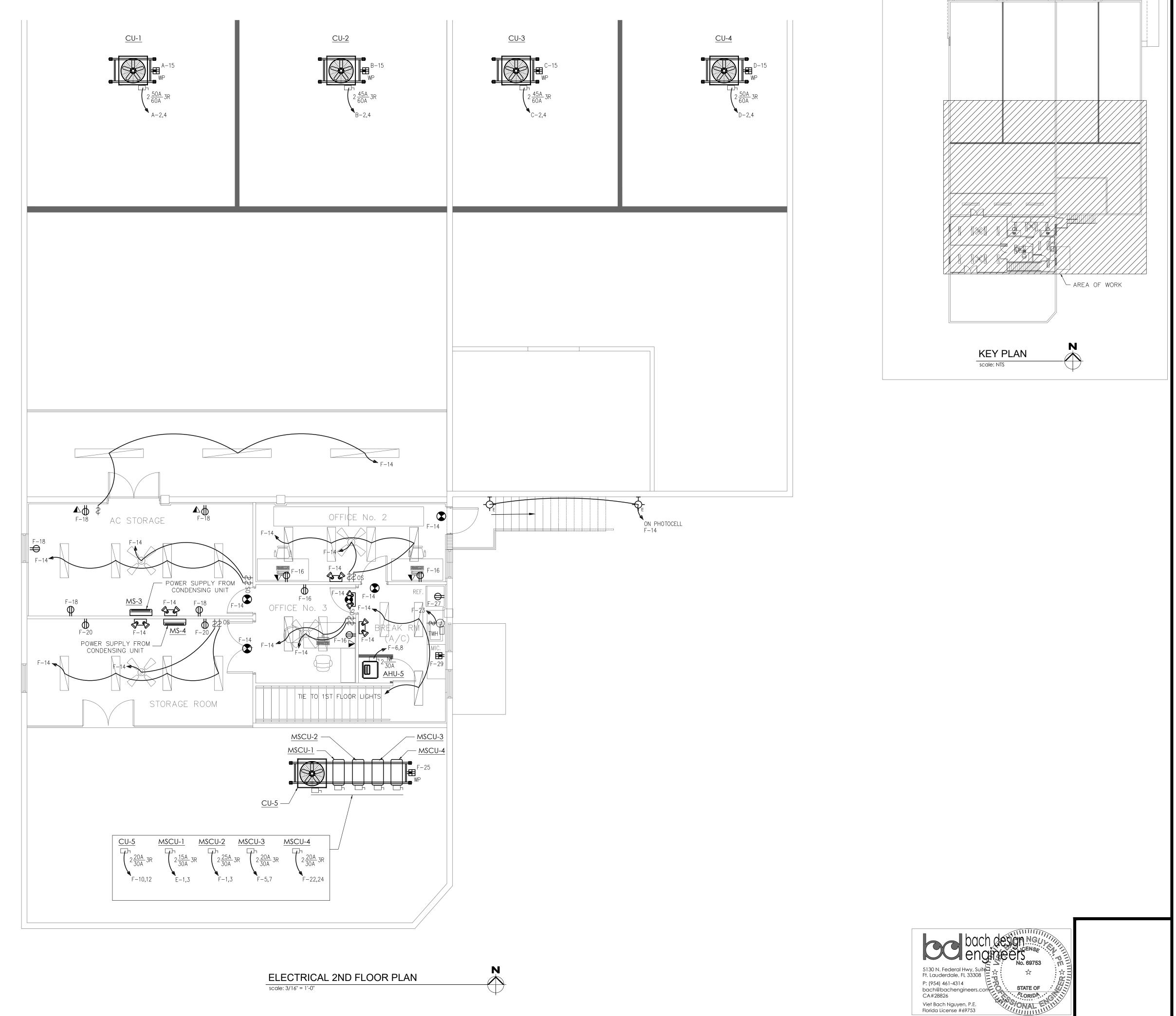
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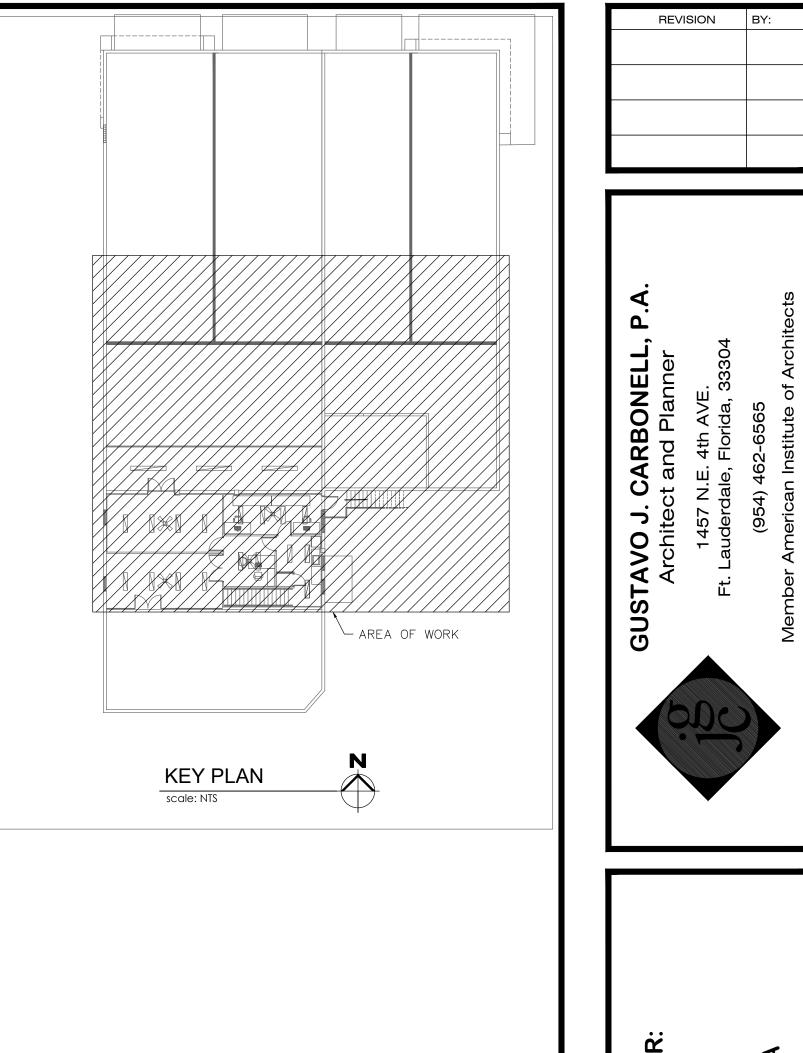
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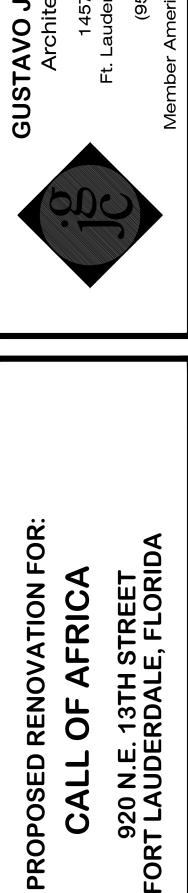
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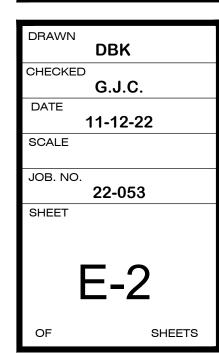


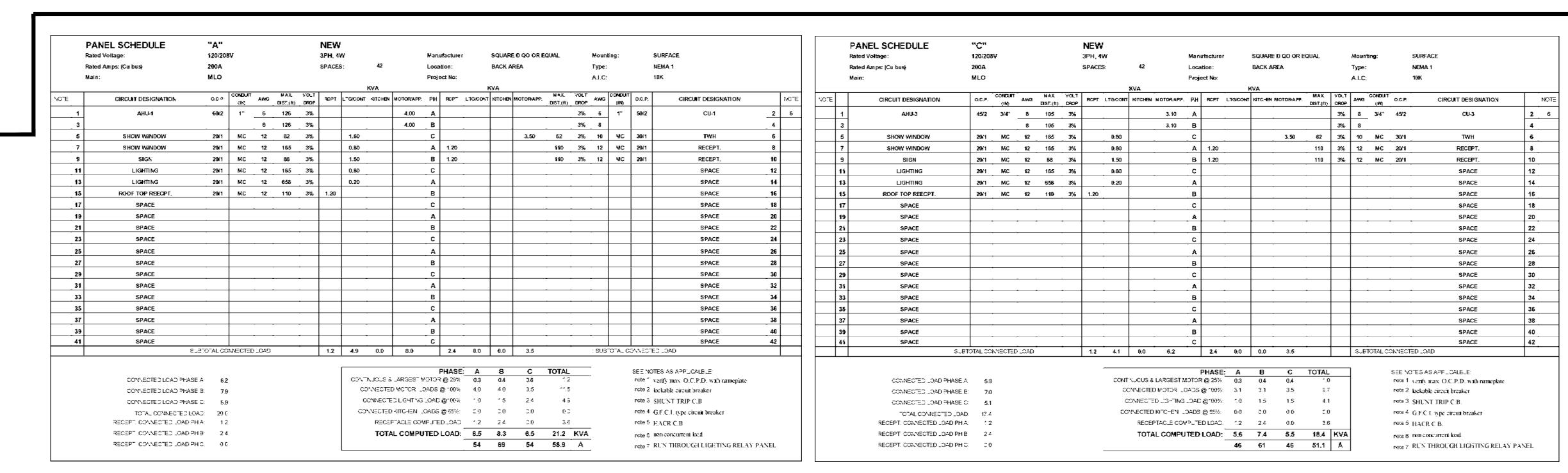






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FORE 7 RUN THROUGH LIGHTING RELAY PANEL

rote 3 SHUNT TRIP C.B.

rote a non concurrent lead

rote \$ HACRIC B.

rote 4 G.F.C.I. type circuit breaker

100E 7 RUN THROUGH LIGHTING RELAY PANEL

TOTAL CONNECTED LOAD: 38.6

RECEPT CONNECTED LOAD PHIA: 3.8

RECEPT, CONNECTED LOAD PH B: 3.6

RECEPT, CONNECTED LOAD PHIC: 2.4

RECEPT CONNECTED LOAD PHIO: 0.0

CONNECTED LOAD PHASE C: 6.6

RECEPT, CONNECTED LOAD PHIA: 2.4

RECEPT, CONNECTED LOAD PH 9. 1.8

RECEPT, CONNECTED LOAD PHIC 1.2

TOTAL CONNECTED LCAD 14.5

		NEL SCHEDULE d Voltage:	"D" 120/208	вv				<b>NEW</b> 3PH, 4\				Manu	ıfacturer		SQUARE	E D QO OR E	QUAL		Mount	ing:	SU	RFACE		
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OTE		CIRCUIT DESIGNATION	O.C.P.	CONDUIT (IN)	AWG	MAX. DIST.(ft)	VOLT DROP	RCPT	LTG/CONT	KITCHEN	MOTOR/APP.	РН	RCPT	LTG/CONT	KITCHEN	MOTOR/APP.	MAX. DIST.(ft)	VOLT DROP	AWG	CONDUIT (IN)	O.C.P.	CIRCUIT DESIGNATION		NC
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	3				6	126	3%				4.00	В						3%	6				4	ı
	5	SHOW WINDOW	20/1	мс	12	165	3%		0.80			С				3.50	62	3%	10	МС	30/1	TWH	6	5
	7	SHOW WINDOW	20/1	мс	12	165	3%		0.80			Α	1.20				110	3%	12	МС	20/1	RECEPT.	8	3
	9	SIGN	20/1	мс	12	88	3%		1.50			В	1.20				110	3%	12	мс	20/1	RECEPT.	10	0
	11	LIGHTING	20/1	мс	12	165	3%		0.80			С										SPACE	12	2
	13	LIGHTING	20/1	мс	12	658	3%		0.20			Α										SPACE	14	4
	15	ROOF TOP REECPT.	20/1	МС	12	110	3%	1.20				В										SPACE	10	6
	17	SPACE										С										SPACE	18	8
	19	SPACE										А										SPACE	20	0
	21	SPACE										В										SPACE	2	2
	23	SPACE										С										SPACE	24	4
	25	SPACE										Α										SPACE	20	6
	27	SPACE										В										SPACE	28	8
	29	SPACE										С										SPACE	30	
	31	SPACE										Α										SPACE	32	
	33	SPACE										В										SPACE	34	
	35	SPACE										С										SPACE	30	_
	37	SPACE										A										SPACE	38	_
	39	SPACE										В										SPACE	40	_
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		SUBT	OTAL CO	NNECTE	D LOAD:			1.2	4.1	0.0	8.0		2.4	0.0	0.0	3.5			: SUB	TOTAL C	ONNECTED	LOAD		
												F	PHASE	Α	В	С	TOTAL				SEE NOTES	S AS APPLICALBLE:		
		CONNECTED LOAD PHASE A:	6.2						CONT	INUOUS &	LARGEST M	OTOR	@ 25%:	0.3	0.4	0.4	1.0				note 1 ver	ify max. O.C.P.D. with nameplate		
		CONNECTED LOAD PHASE B:	7.9						cc	DNNECTE	MOTOR LC	ADS (	@ 100%:	4.0	4.0	3.5	11.5				note 2 locl	kable circuit breaker		
		CONNECTED LOAD PHASE C:	5.1						C	ONNECTE	D LIGHTING	LOAD	@100%:	1.0	1.5	1.6	4.1				note 3 SH	UNT TRIP C.B.		
		TOTAL CONNECTED LOAD:	19.2						co	NNECTED	KITCHEN LO	DADS (	@ 65%::	0.0	0.0	0.0	0.0				note 4 G.F	F.C.I. type circuit breaker		
		RECEPT. CONNECTED LOAD PH.A:	1.2							RECEF	PTACLE COM	IPUTE	D LOAD:	1.2	2.4	0.0	3.6				note 5 HA	ACR C.B.		
		RECEPT. CONNECTED LOAD PH.B:	2.4							TOTA	L COMPU	TED I	LOAD:	6.5	8.3	5.5	20.2	KVA			note 6 non	n concurrent load		
		RECEPT. CONNECTED LOAD PH.C:	0.0											54	69	46	56.1	Α			note 7 RU	IN THROUGH LIGHTING RELAY P	ANEL	

	PANEL SCHEDULE	"E"					NEW																
I	Rated Voltage:	120/200	₿¥				3PH, 4V	4			Manu	facturer		SQUAR	D QO OR E	QUAL		Mount	ting:		SURFACE		
١	Rated Amps: (Cu bus)	200A					SPACES	=	42		Locat	tion:		BACK A	REA			Туре:			NEMA 1		
I	Main:	MLO									Proje	ct No:						A.I.C:			TOK		
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ΤE	CIRCUIT DESIGNATION	D.C.P.	JIN	AWG	DST.(ft)		RCPT	LTG/CONT	MTCHEN MC	CTOR/APP.	PH	RCPT	LTG/CONT	MITCHEN	MOTOR'APP.	DIST.(ft)	DROP	AWG	UM	C.C.P.	CIRCUIT DESIGNATION		NO
1	MSCU-1	15/2	1/2"	12	127	3%		_	_	1.04	Α	1.20				110	3%	12	MC	20/1	WAREHOUSE #1 RECEPT.	2	
3				12	127	3%				1.04	В	1.20				110	3%	12	MC	20/1	WAREHOUSE #1 RECEPT.	4	
5	WAREHOUSE #1 LIGHTS	20/1	MC	12	82	3%		1.60	-		С	1.20				110	3%	12	MC	20/1	WAREHOUSE #2 RECEPT.	6	
7	WAREHOUSE #2 LIGHTS	20/1	MC	12	165	3%		0.80			А	1.20				110	3%	12	MC	20/1	WAREHOUSE #2 RECEPT.	. 8	
9	OFFICE/BATH LIGHTS	20/1	MC	12	165	3%		0.80			В	0.60				219	3%	12	MC	20/1	OFFICE RECEPT.	10	
11	EF-2	20/1	MC	12	439	3%				0.30	С				3.50	62	3%	10	MC	30/1	тwн	12	
13	SPACE							_			А										SPACE	14	
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37	SPACE							•			А										SPACE	38	Г
39	SPACE	-							•		В										SPACE	40	
41	SPACE							_	-		С										SPACE	42	
	\$U	STOTAL CC	NNECTE:	DLCAD.		-	0.0	3.2	0.0	2.4		5.4	0.0	0.0	3.5		-	. SUB	TOTAL O	ONNECT	TED LOAD		
							_											_					
	CONTESTED LOVE SUBSE	s						CCN(TIN	JJOUS & LA	DOEST N		PHASE:		B	0.4	TOTAL 0.6		-			OTES AS APPLICALBLE:		
	CONNECTED LOAD PHASE CONNECTED LOAD PHASE	A 42	:						NAECTED M				0.2	0.2 1.0	D.4 3.9	U B 59					verify max. O.C.P.D. with nameplate lockable circuit breaker		

CONNECTED LIGHTING LOAD @100%: 0.8 0.8 1.6 3.2

RECEPTABLE COMPUTED LOAD: 2.4 1.8 1.2 5.4

TOTAL COMPUTED LOAD: 4.4 3.8 7.0 15.3 KVA

37 32 58 42.4 A

CONNECTED KITCHEN LOADS @ 65% : 0.0 0.0 0.0 0.0

	PANEL SCHEDULE	"F"					NEW	r															
	Rated Voltage:	120/20	8V				3PH, 4	W			Man	ufacturer		SQUARE	E D QO OR I	EQUAL		Моцп	ing:		SURFACE		
	Rated Amps: (Cu bus)	200A					SPACE	S:	42		Loca	tion:		BACK A	REA			Туре:			NEMA 1		
	Main:	MLO									Proje	ect No:						A.I.C:			10K		
									KVA					ſVA									
DΤΕ	CIRCUIT DESIGNATION	O.C.P.	COMBUIT (M)	AWG	MAX DIST.(ft)	VOLT DROP	PCPT	LTG/CONT	итснем м	OTOR/APP.	PH	ROPT	LTG/CONT	KITCHEN	MOTOR'APP.	MAX. DIST.(ft)	VOLT DROP	AWG	CONDUIT (M)	O.C.P.	CIRCUIT DESIGNATION		NOTE
1	MSCU-2	25/2	1/2*	10	135	3%				1.60	А				4.00	81	3%	8	MC	40/2	т₩н	2	
3				10	135	3%				1.60	В				4.00	81	3%	8				4	
5	MSCU-3	20/2	1/2*	12	91	3%				1.45	С				2.00	108	3%	10	MC	30/2	AHU-5	6	
7				12	91	3%				1.45	А				2.00	108	3%	10				8	
9	1ST FLOOR LIGHTS	20/1	MC	12	219	3%		0.60			В						3%	12	1/27	20/2	CU-5	10	6
11	1ST FLOOR LIGHTS	20/1	MC	12	219	3%		0.60			С						3%	12				12	
13	STORAGE AND HALL RECEPT.	20/1	MC	12	110	3%	1.20				Α		0.80			165	3%	12	MC	20/1	2nd FLOOR LIGHTS	14	
15	WAREHOUSE RECEPT.	20/1	MC	12	110	3%	1.20				В	1.20				110	3%	12	MC	20/1	2ND FLOOR OFFICE RECEPT.	16	
17	WAREHOUSE RECEPT.	20/1	MC	12	110	3%	1.20				С	1.20				110	3%	12	MC	20/1	2ND FLOOR AC STORAGE RECEPT.	18	
19	EF-S	20/1	MC	12	439	3%				0.30	А	1.20				110	3%	12	MC	20/1	2ND FLOOR STORAGE ROOM RECEPT.	20	
21	BATH RECEPT.	20/1	MC	12	110	3%	1.20		-		В				1.45	91	3%	12	1/27	20/2	MSCU-4	22	
23	т₩н	20/1	MC	<u> </u>						3, 50	С				1.45	91	3%	12	_			24	
25	ROOF TOP REECPT.	20/1	MC	12	110	3%	1.20				А										SPACE	26	
27	2nd FL. BREAK ROOM REFRIG.	20/1	MC	12	132	3%	-		-	1.00	В					•			-		SPACE	28	
29	2nd FL BREAK ROOM MIC.	20/1	MC	12	110	354	•	İ	-	1.20	С					•					SPACE	30	
31	SPACE					-	-				А					-			-		SPACE	32	
33	SPACE										В					-					SPACE	34	
35	SPACE					•	•	İ			С					•					SPACE	36	
37	SPACE										А										SPACE	38	
39	SPACE						-	İ	-		В					-					SPACE	40	
41	SPACE					_					С					_					SPACE	42	
	SUB	TOTAL CO	DANECTED	CLOAC:		-	6.0	1.2	0.0	12.1		3.6	0.8	0.0	14.9	-		: SUE	TOTAL O	ONNECT	ED LOAC		
41		TOTAL CO	DANECTED	CLOAC:		•	6.0	1.2	0.0	12.1	С	3.6	0.8	0.0	14.9	-		: SUE	TOTAL O	ONNECT	•	42	
												PHASE	A	В	С	TOTAL		]		SEE N	OTES AS APPLICALBLE:		
	CONNECTED LOAD PHASE A	k: 13.8	В					1	INDOUS & LA			-	02	0.2	0.2	0.5		]		note 1	verify max, O.C.P.D. with nameplate		
	CONNECTED LOAC PHASE B	3: 12.3	3					l	ONNECTED V			_	9,4	9.1	9.6	27 0					leekable circuit breaker		
	CONNECTED LOAD PHASE (	12.6	6					1	CONNECTED			~		3.€	0.6	20				готе 3	SHUNT TRIP C.B.		
								1 00	MINICATED M	tron the same	0422	Q. 9537		~ ~	2.2	0.0		1					

CONNECTED KITCHEN LOADS ② 85%: 0.0 0.0 0.0 0.0

RECEPTACLE COMPUTED LOAD 3.6 3.6 24 9.6

TOTAL COMPUTED LOAD: 14.0 12.4 12.8 39.1 KVA

116 103 106 108.5 A

bach cesan NGU PROPERTY NG PROPERTY NG PROPERTY NG PROPERTY NO. 69753

5130 N. Federal Hwy, Suite Property No. 69753

5130 N. Federal Hwy, Suite Property No. 69753

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P: (954) 461-4314

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CA#28826

Viet Bach Nguyen, P.E.

Florida License #69753

note 4. G.F.C.I. type circuit breaker

note 7 RUN THROUGH LIGHTING RELAY PANEL

rote 5 HACRICIB.

note 3 from concurrent load

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Architect and Planner
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Ft. Lauderdale, Florida, 33304
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REVISION

ED RENOVATION FOR:

L OF AFRICA

I.E. 13TH STREET

920 T LA

SEAL: AR NO. 0007957

AA26001131

DRAWN
CHECKED
G.J.C.

DATE
11-12-22

SCALE

JOB. NO.
22-053

SHEET

## LEGEND NOTES

- 1. NOT ALL SYMBOLS MAY APPEAR ON PLANS.
- 2. IF THERE IS NO DESIGNATION NEXT TO FIXTURE, THEN ASSUME IT IS A NEW FIXTURE.
- 3. ALL FLUORESCENT LIGHT FIXTURES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL BE EQUIPPED WITH DISCONNECTING MEANS AS PER NEC-2017 (410.130(G)).
- 4. ALL EXIT SIGNS AND EMERGENCY LIGHTS SHALL BE SELF DIAGNOSTICS TYPE
- 5. LIGHTING FIXTURE SCHEDULE IS SHOWN FOR REFERENCES ON ELECTRIC CHARACTERISTICS ONLY.
- 6. CONTRACTOR TO ENSURE THAT MOUNTING DEVICES AND ACCESSORIES ARE CORRECT FOR CEILING AND WALL IN WHICH THE FIXTURES ARE TO BE INSTALLED.
- 7. REFER TO INTERIOR DESIGN / ARCHITECTURAL PLANS FOR EXACT LOCATION OF LIGHT FIXTURES.
- 8. ALL LIGHT FIXTURES SHALL BE REVIEWED AND APPROVED BY ARCHITECT / OWNER PRIOR TO FORWARDING TO ENGINEER FOR REVIEW OR PRIOR TO BID.
- 9. LIGHT FIXTURE SHALL BE MADE TO THE REQUIRED LENGTHS BY THE MANUFACTURER NO FIELD CUTTING SHALL BE

## **DESIGNATION / DESCRIPTION**

- +84" DENOTES HEIGHT ABOVE FINISHED FLOOR
- AFCI ARC FAULT CIRCUIT INTERRUPT
- GFCI GROUND FAULT CIRCUIT INTERRUPT WP WEATHER PROOF ENCLOSURE
- IG ISOLATED GROUND NEW FIXTURE
- RELOCATED FIXTURE INDICATES AN EXISTING FIXTURE TO REMAIN

T/L TWIST LOCK

- N/L NIGHT LIGHT T/S TIME SWITCH PC PHOTO CELL LC LIGHTING CONTACTOR MWC MINIMUM WORK CLEARANCE
- OC ON CENTER PL PARTY LIGHT OUTLET SW SHOW WINDOW (OUTLET)

UND UNLESS NOTED DIFFERENTLY

OCP OVER CURRENT PROTECTION

## GFCI PROTECTION NOTES:

ALL 120V, 15 AND 20 AMPS KITCHEN APPLIANCE AND CONVENIENCE RECEPTACLES IN THE KITCHEN AREA, SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER AS PER NEC 2017 210.8(B)(2)

ALL OUTLETS LOCATED WITHIN 6FT OF THE OUTSIDE EDGE OF A SINK SHALL BE GFCI PROTECTED AS PER NEC 2017 210.8(B)5 CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL RECEPTACLES AND PROVIDE GFCI PROTECTION AS REQUIRED ABOVE

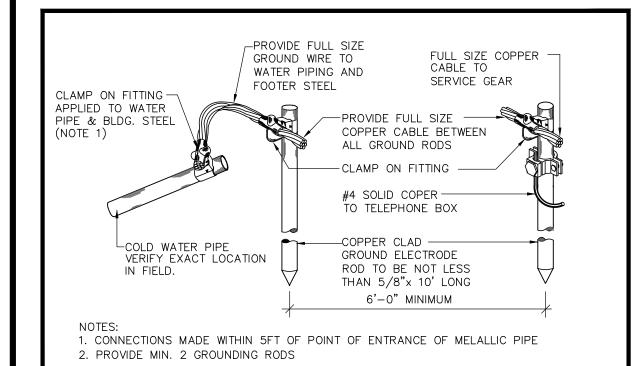
### NOTE TO CONTRACTOR:

COORDINATE EXACT LOCATION OF ALL RECEPTACLES WITH ARCHITECT/SPECIALITY CONSULTANTS/PRIOR TO ROUGH IN.

## NOTES: $\langle \# \rangle$

. INTERSYSTEM GROUNDING BRIDGE W/ CONDUIT ADAPTER AND PROTECTION COVER, ARLINGTON MDL# GBB50P (UL LISTED), OR APPROVED EQUAL 2. TIE TO PHONE/CATV UTILITY CABINET

3. TO UTILITY COMPANY POLE TRANSFORMER, BY UTILITY COMPANY. MINIMUM CLEARANCE SHALL COMPLY WITH NEC 2017 230.24(B) MIN 10FT ABOVE AREAS ACCESSIBLE ONLY TO PEDESTRIANS, MIN 18FT OVER DRIVEWAYS SUBJECT TO TRUCK TRAFFIC.



GROUNDING ROD DETAIL

## **ELECTRICAL SPECIFICATIONS**

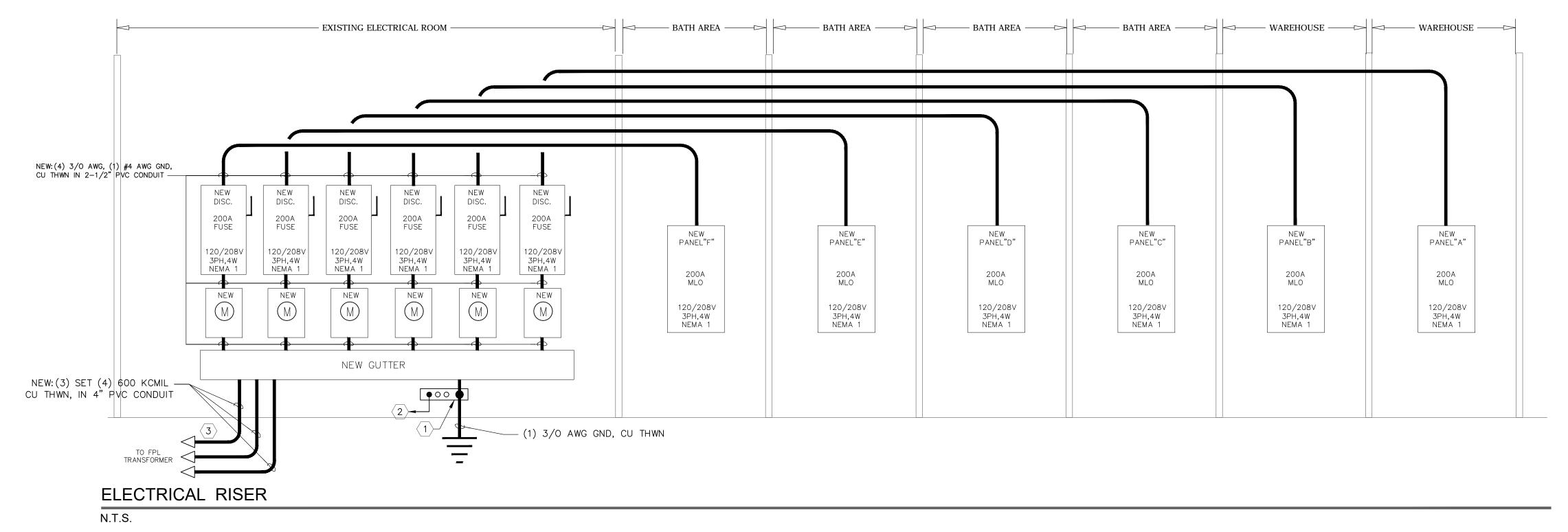
- . MATERIALS AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE CODES IN EFFECT: THE NATIONAL ELECTRIC CODE NEC 2017, FBC 2020, NFPA 72 2018, LOCAL CODES, ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C.. EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH THE UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE ABOVE MENTIONED CODES.
- 2. TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE DRAWINGS REPRESENT AN ACCURATE PRESENTATION OF EXISTING CONDITIONS BASED UPON CAREFUL EVALUATION OF OBSERVED CONDITIONS TO THE EXTENT REASONABLY POSSIBLE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND IMMEDIATELY NOTIFY ENGINEER WITH ANY DISCREPANCY. BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR,
- 3. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER MUST BE A CONDITION OF THE SUB CONTRACT.
- 4. ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- 5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.

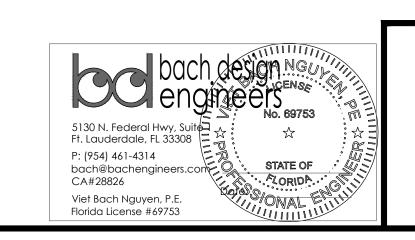
EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.

- 6. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 7. ALL REQUIRED INSURANCE TO BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 8. CONTRACTOR TO PAY FOR ALL PERMITS, FEES INSPECTIONS AND TESTINGS.
- 9. ELECTRICAL INSTALLATION TO MEET ALL STANDARD REQUIREMENTS OF LOCAL POWER AND TELEPHONE COMPANIES. ELECTRICAL CONTRACTOR SHALL CONTACT LOCAL POWER AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- 10. ALL WIRING SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. ALL CONDUCTORS SHALL BE COPPER WITH THWN/THHN INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID; ALL THOSE #8 AND LARGER TO BE STRANDED.
- 11. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER POSSIBLE.
- 12. DISCONNECT SWITCHES SHALL BE H.P. RATED, GENERAL DUTY, QUICK-MAKE, QUICK-BREAK TYPE. ENCLOSURES SHALL BE AS REQUIRED BY N.E.C. AND LOCATION (WEATHERPROOF, EXPLOSION PROOF, ETC.). ENGRAVED LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL DISCONNECT SWITCHES, CONTACTORS AND STARTERS.
- 13. ALL FUSES FOR SAFETY SWITCHES SHALL BE DUAL ELEMENT, CARTRIDGE TYPE. FUSES SHALL BE THOSE MANUFACTURED BY EITHER BUSSMAN OR LITTLEFUSE. THE CONTRACTOR SHALL FURNISH TO THE OWNER ONE SPARE FUSE FOR EACH SIZE AND TYPE OF FUSE INSTALLED. FUSES 600 AMPS OR LESS SHALL BE CLASS RK1, TYPICAL UNLESS OTHERWISE NOTED. FUSES OVER 600 AMPS SHALL BE CLASS L
- 14. ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. CATALOG NUMBERS LISTED ARE LEVITON: HOWEVER, COMPARABLE DEVICES BY PASS & SEYMOUR, BRYANT, OR ARROW HART WILL BE ACCEPTED. COLOR OF DEVICES AND PLATES SHALL BE WHITE UNLESS DICTATED OTHERWISE BY ARCHITECT/OWNER.
- 15. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT BE PLACED IN PROPER WORKING ORDER.
- 16. A SEPARATE, GREEN TYPE THWN COPPER GROUND CONDUCTOR SHALL BE RUN FROM GROUND LUG OF EACH GROUNDED RECEPTACLE TO AN APPROVED CONNECTION INSIDE THE ENCLOSING STEEL OUTLET BOX. DEVICE MOUNTING SCREWS SHALL NOT BE CONSIDERED AN APPROVED GROUND. A SEPARATE GROUND CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT AND RACEWAY AND SECURELY BONDED IN AN APPROVED GROUNDING TERMINAL AT BOTH ENDS OF THE RUN. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250-122 OF THE N.E.C. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE ADDITIONAL CONDUCTOR.
- 17. LOAD DATA IS BASED ON INFORMATION GIVEN TO THE ENGINEER AT THE TIME OF DESIGN. VERIFY ALL EQUIPMENT NAMEPLATE RATINGS BEFORE ORDERING.
- 18. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- 19. FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING SYSTEM AS SHOWN ON PLANS. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING FROM C.U.TO A.H.U., TERMINATION SHALL BE PERFORMED BY MECHANICAL CONTRACTOR.
- 20. ALL SWITCHGEAR, PANELS, STARTERS, CONTACTORS ETC., SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, THE SYSTEM DESIGN IS BASED ON SQUARE "D"; HOWEVER, COMPARABLE EQUIPMENT BY G.E. & SIEMENS ONLY WILL BE ACCEPTABLE. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.
- 21. PROVIDE IDENTIFICATION FOR ALL PANELS, CABINETS, ENCLOSURES, DISCONNECTS & TRANSFORMERS USING ENGRAVED NAMEPLATES, WHITE LETTERING ON A BLACK BACKGROUND. NAMEPLATES SHALL IDENTIFY PANEL DESIGNATION (NAME,) VOLTAGE, PHASE & WIRE CONFIGURATION. PROVIDE TYPEWRITTEN DIRECTORIES UNDER PLASTIC COVER FOR ALL PANEL BRANCH CIRCUITS, CLEARLY INDICATING AREA AND TYPE OF LOAD SERVED BY EACH BRANCH CKT PROTECTIVE DEVICE, INCLUDING SPARES. HAND PRINTED WILL NOT BE ACCEPTED.
- 22. CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:

480V SYSTEM PHASE SEQUENCE
NEUTRAL - WHITE ABC, TOP TO BOTTOM PHASE A - BLACK 240V (HIGH LEG) SYSTEM NEUTRAL — WHITE PHASE B — RED PHASE C — BLUE NEUTRAL - WHITE PHASE A - BLACK PHASE A - BROWN PHASE B - PURPLE PHASE C - YELLOW PHASE B — ORANGE PHASE C — BLUE FRONT TO BACK

- GRD.CON GREEN GRD.CON - GREEN 23. CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS MADE THROUGH FIRE RATED WALLS, CEILINGS, SLABS, ETC. PENETRATION SEALS SHALL BE PER U.L. ASSEMBLY.
- 24. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONTRACT DRAWINGS AT JOB SITE WITH COLORED MARKINGS INDICATING PROGRESS OF WORK. THIS SET OF CONTRACT DRAWINGS IS TO BE SEPARATE FROM AND IN ADDITION TO CONTRACTOR'S CONSTRUCTION SET. EVERY UNIT OF EQUIPMENT, DEVICE, CONDUIT AND WIRE IS TO MARKED WHEN INSTALLED. USE GREEN TO INDICATE INSTALLATION AS SHOWN ON DRAWINGS AND USE RED TO INDICATE FIELD CHANGES. UPON COMPLETION OF WORK, THIS SET OF CONTRACT DRAWINGS IS TO BE TURNED OVER TO, AND BECOME PROPERTY OF THE ELECTRICAL ENGINEER.
- 25. IF ELECTRICAL CONTRACTOR HAS QUESTIONS, OR IN THEIR OPINION FINDS OMISSIONS OR ERRORS ON ELECTRICAL DOCUMENTS, IT IS THEIR RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ELECTRICAL ENGINEER IMMEDIATELY. IF ELECTRICAL CONTRACTOR PROCEEDS WITH ANY CHANGES TO THE CONTRACT DOCUMENTS, WITHOUT WRITTEN PRIOR APPROVAL FROM THE ELECTRICAL ENGINEER, CONTRACTOR WILL NOT BE COMPENSATED.





REVISION

CARBONE et and Plan 8

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SEAL: AR NO. 0007957 AA26001131

DRAWN **DBK** CHECKED G.J.C. DATE 11-12-22 SCALE JOB. NO. 22-053 SHEET SHEETS

## HVAC GENERAL NOTES

- GENERAL
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA
- BUILDING CODE AND WITH ALL APPLICABLE REGULATIONS. . DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK. ARRANGE AND PAY FOR ALL PERMITS LICENSES, INSPECTIONS AND TESTS.
- OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER. D. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.
- 2. SHOP DRAWINGS: CONTRACTORS SHALL SUBMIT FOR APPROVAL, WITHIN 30 DAYS AFTER SIGNING CONTRACT, A MINIMUM OF FIVE COPIES OF FULLY DESCRIPTIVE LITERATURE, INCLUDING BUT NOT LIMITED TO: AIR CONDITIONING UNITS, FANS AND AIR OUTLETS. NO WORK SHALL PROCEED WITHOUT APPROVAL OF THESE SUBMITTALS.
- DESIGN PARAMETERS:
- A. INDOOR DESIGN TEMPERATURE (SUMMER): 78F DB B. INDOOR DESIGN TEMPERATURE (WINTER): 72F DB
- 4. ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.
- 5. ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.
- 6. EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS
- MATERIALS:
- A. REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- B. INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
- A. ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL". R-6.0 MIN.
- B. ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
- C. ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
- D. FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.
- CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
- 9. TEST AND BALANCE: CONTRACTOR SHALL TEST AND BALANCE ALL VENTILATION AND AIR CONDITIONING SYSTEMS. SUBMIT FOUR COPIES OF TEST AND BALANCE REPORT, TO OWNER FOR APPROVAL.
- 10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO

## AIR DISTRIBUTION SCHEDULE

DIFFUSER TYPE CFM DIFFUSER CFM

TAG MANUFACTURER & MODEL NO. NOTES:

ALUMINUM RETURN GRILLE REGISTER R.A.G TITUS 50F DOUBLE DEFLECTION TITUS 300 ALUMINUM DIFFUSER

1. ALL GRILLS MUST BE APPROVED BY OWNER/ARCHITECT.

2. G.C/HVAC SUBCONTRACTOR TO SUBMIT PRODUCT SAMPLES/CUTSHEETS FOR REVIEW PRIOR TO PURCHASING

					SP	LIT	- 5	SYS	STE	ΞM	SC	HEDU	LE													
		AIR	HANDI	LING	UNI <sup>°</sup>	Т						AIR CO	DLED	CONDEN	SING	UN	Т						:	SYSTE	A DATA	١
MARK	MODEL	CFM		ESP	FAN	HEATER	₹	UNIT	MAX	WT	MARK	MODEL	WT	ELECTRICAL	COMP	RESSOR		FAN		UNIT	MAX	COOLIN	IG TY	SEER2	REF. L	.INES
	NO.	TOTAL	OA	1	HP	KW	STEP	MCA	МОСР	LBS		NO.	LBS	VOLTS-PH-HZ	QTY.	TONS	RLA	QTY	FLA	MCA	МОСР	TMBH	SMBH		SUCTION	LIQUID
AHU-1	TRANE TAM9A0C60	2000		.5	1.0	7.2	1	53	60	163	CU-1	TRANE 4TTR6060N	275	208-1-60	1	5.0	26.9	1	1.3	35	50	55.0	45.0	15.6	1-1/8	3/8
AHU-2	TRANE TAM9A0C48	1600		.5	3/4	5.8	1	42	45	162	CU-2	TRANE 4TTR6048N	259	208-1-60	1	4.0	20.4	1	2.8	28	45	47.0	37.0	16.2	7/8	3/8
AHU-3	TRANE TAM9A0C48	1600		.5	3/4	5.8	1	42	45	162	CU-3	TRANE 4TTR6048N	259	208-1-60	1	4.0	20.4	1	2.8	28	45	47.0	37.0	16.2	7/8	3/8
AHU-4	TRANE TAM9A0C60	2000		.5	1.0	7.2	1	53	60	163	CU-4	TRANE 4TTR6060N	275	208-1-60	1	5.0	26.9	1	1.3	35	50	55.0	45.0	15.6	1-1/8	3/8
AHU-5	TRANE TAM9A0A24	800		.5	1/2	3.6	1	27	30	116	CU-5	TRANE 4TTR6024N	244	240-1-60	1	2.0	10.2	1	0.71	13.4	20	23.8	18.0	16.2	3/4	3/8
'	•						,				•														•	

## **SPLIT SYSTEM NOTES:**

- OUTSIDE AIR DESIGN CONDITIONS: 91°FDB 79°FDB.
- PROVIDE A/C UNITS WITH PROGRAMMABLE HEATING AND COOLING THERMOSTAT WITH ON-OFF SWITCH SUB-BASE. (WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR)
- PROVIDE PROPER VIBRATION ISOLATORS AS PER ISOLATION MANUFACTURER'S RECOMMENDATIONS. PROVIDE FILTER RACK UNDER
- 4. INSTALL CHEMICAL DRYER AND STRAINER IN REFRIGERANT LIQUID LINES. PROVIDE BUILT-IN DISCONNECT WITH ALL AIR HANDLING UNITS.
- 6. MATERIALS:
- A. REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS
- PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. B. INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE
- INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

<u>AREA</u>	<u>SYSTEM</u>	GR/NET SQ FT	<u>PERS/</u> 1000 SF	TOTAL PERS	CFM/ PERS	CFM/ SQ FT	<u>CFM</u> <u>REQ'D</u>	<u>CFM</u> <u>PROVIDED</u>
WAREHOUSE	AHU-(1 THRU 4)	1,590/-	_		10	.06	96	100
WAREHOUSE	AHU-(1 THRU 4)	1,590/-	_	_	10	.06	96	100
OFFICE	AHU-5	560/-	5	5*	5	.06	59	100
WAREHOUSE	EF-2	870/-	_	_	10	.06	53	100
STORAGE	EF-3	375/-	_	_	_	.12	45	80
WAREHOUSE	EF-4	1,130/-	_	_	10	.06	68	100
WAREHOUSE	EF-5	1,010/-	_	_	10	.06	61	100
STORAGE	EF-6	210/-	_	_	_	.12	26	80
ADJUST OUTSID	E AIR TO VALUE AS SH	HOWN	AHU-1=10 AHU-2=10 AHU-3=10 AHU-4=10 AHU-5=10	O CFM O CFM O CFM				

				MI	NI-	DUCTL	ES	S ?	SY	ST	EN	1	SCH	ED	ULE	<u> </u>				
А	IR HANDL	ING UN	1IT			AIR CO	OLED	CONDEN	SING	UNI	IT				SYST	EM	DATA			
MARK	MODEL	CFM	WT	DIMENSION	MARK	MODEL	WT	ELECTRICAL	COMP	RESSOR		FAN	UNIT	MAX	COOLING CAPACITY		HEATING CAPACITY		REF. L	LINES
	NO.	TOTAL	LBS	WXDXH		NO.	LBS	VOLTS-PH-HZ	QTY.	TONS	FLA	QTY	MCA	FUSE	ТМВН	SEER2	ТМВН	HSPF2	SUCTION	LIQUID
MS-1	MITSUBISHI MSZ-FS06NA	381	29.0	36X10X12	MSCU-1	MITSUBISHI MUZ-FS06NA	82	208-1-60	1	0.5	-	1	10	15	6.0	32.2	8.7	11.9	3/8"	1/4"
MS-2-1	MITSUBISHI MSZ-FS12NA	381	29.0	36X10X12	MSCU-2	MITSUBISHI	137	230-1-60	1	2.0	_	1	22.1	25	22.0	20.0	25.0	9.5	3/8"	1/4"
MS-2-2	MITSUBISHI MSZ-FS12NA	381	29.0	36X10X12	- WOOO-2	MXZ-3C24NA	107	230-1-00	,	2.0	-	·	22.1	23	22.0	20.0	20.0	0.0	370	1/4
MS-3	MITSUBISHI MSZ-HM24NA	702	28.0	36X13X12	MSCU-3	MITSUBISHI MUZ-HM24NA	121	230-1-60	1	2.0	-	1	14	20	22.4	20.0	26.0	8.5	3/8"	1/4"
MS-4	MITSUBISHI MSZ-HM24NA	702	28.0	36X13X12	MSCU-4	MITSUBISHI MUZ-HM24NA	121	230-1-60	1	2.0	-	1	14	20	22.4	20.0	26.0	8.5	3/8"	1/4"

CONTRACTOR MUST PROVIDE MANUFACTURER WIND LOAD CERTIFICATE FOR CONDENSING UNITS

## **SPLIT SYSTEM NOTES:**

- 1. PROVIDE WIRLESS REMOTE CONTROLLER FOR EACH AHU.
- 2. PROVIDE DRAIN PAN AND FLOAT SWITCH TO SHUT DOWN AC AS REQUIRED.
- 3. FINAL LOCATION OF AIR HANDLERS AND CONDENSING UNIT ARE TO BE FIELD VERIFY. 4. MITSUBISHI IS THE BASIC OF DESIGN. OTHER BRAND ARE ACCEPTABLE AS LONG AS THE PERFORMANCE AND SPECIFICATION ARE EQUAL.
- - A. REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS
  - PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. B. INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE
  - INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT
  - INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

	FAN SCHEDULE										
MARK	SELECTION	BASED ON	TYPE/	CFM	TSP	MOTOR DATA	SONES				
	MAKE	MODEL NO.	SERVICE		IN WG	VOLTS-PH-HZ	OR NC				
EF-1	GREENHECK	SP-B80	BATHROOM	80	.125	115-1-60	1.1				
EF-2	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60	9.1				
EF-3	GREENHECK	SP-B80	STORAGE	80	.125	115-1-60	1.1				
EF-4	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60	9.1				
EF-5	GREENHECK	AER-20-03-0605	WAREHOUSE	100	.5	115-1-60	9.1				
EF-6	GREENHECK	SP-B80	STORAGE	80	.125	115-1-60	1.1				

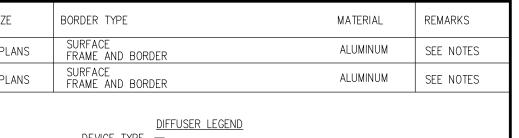
## GENERAL FAN NOTES:

- PROVIDE BACKDRAFT FOR ALL EXHAUST FANS 2. FIELD ADJUST OPENINGS WITH STRUCTURE.
- 3. COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT. SEE GENERAL, AIR CONDITIONING, DUCTWORK, AND COORDINATION NOTES FOR OTHER
- FIELD SUPPLIED ITEMS.
- PROVIDE BIRDSCREEN ON ALL INLETS AND OUTLETS. 6. SWITCH WITH LIGHTS

	AIR DISTRIBUTION SCHEDULE											
MARK	TYPE	MAKE	MODEL	SIZE	BORDER TYPE	MATERIAL	REMARKS					
А	CEILING REGISTER	TITUS	300/350	SEE PLANS	SURFACE FRAME AND BORDER	ALUMINUM	SEE NOTES					
В	RETURN GRILL	TITUS	300/350	SEE PLANS	SURFACE FRAME AND BORDER	ALUMINUM	SEE NOTES					

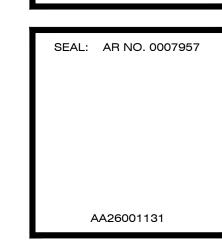
## **GENERAL NOTE:**

- 1. TITUS IS THE BASIS OF DESIGN AND STANDARD FOR COMPARISON.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE. 3. PROVIDE OFF WHITE FINISH UNLESS OTHERWISE NOTED
- (SUBJECT TO ARCH. APPROVAL). 4. SEE FLOOR PLANS FOR VARIATIONS OF THROW & DIRECTIONS.
- 5. ALL AIR DISTRIBUTION DEVICES ARE ALUMINUM UNLESS
- OTHERWISE SPECIFIED. 6. ALL SUPPLY REGISTERS AND DIFFUSERS SHALL BE 4-WAY THROW UNLESS OTHERWISE INDICATED ON THE FLOOR PLANS.
- 7. PROVIDE SQUARE TO ROUND ADAPTOR WHERE ROUND NECK IS SPECIFIED
- 8. WHERE APPLICABLE, ROUND NECK SIZE ON DIFFUSERS SHALL BE THE SAME SIZE AS THE CONNECTING FLEXIBLE DUCT.



DEVICE TYPE -

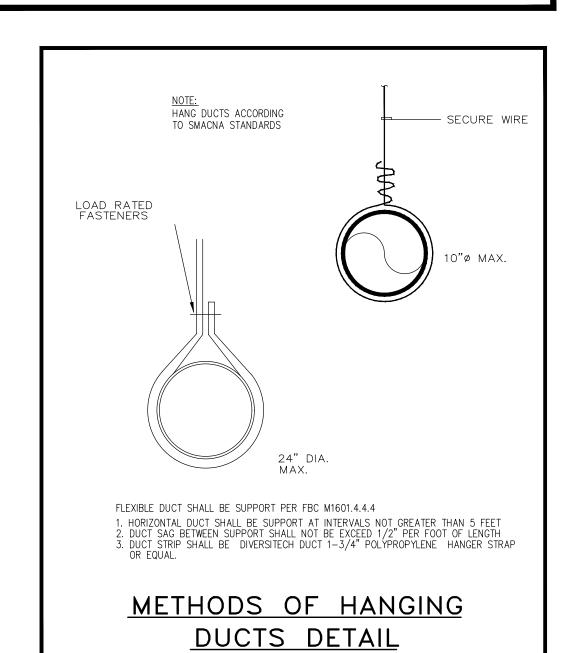
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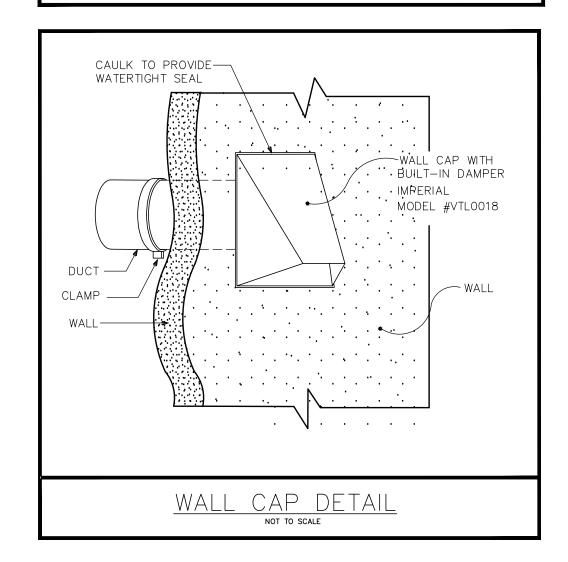


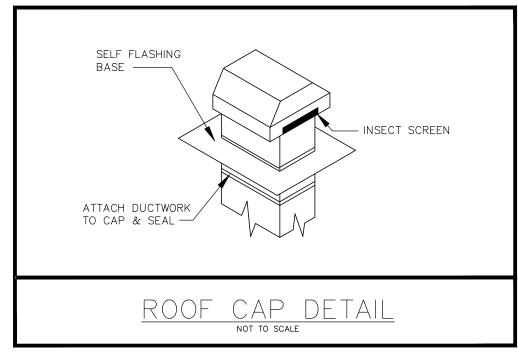
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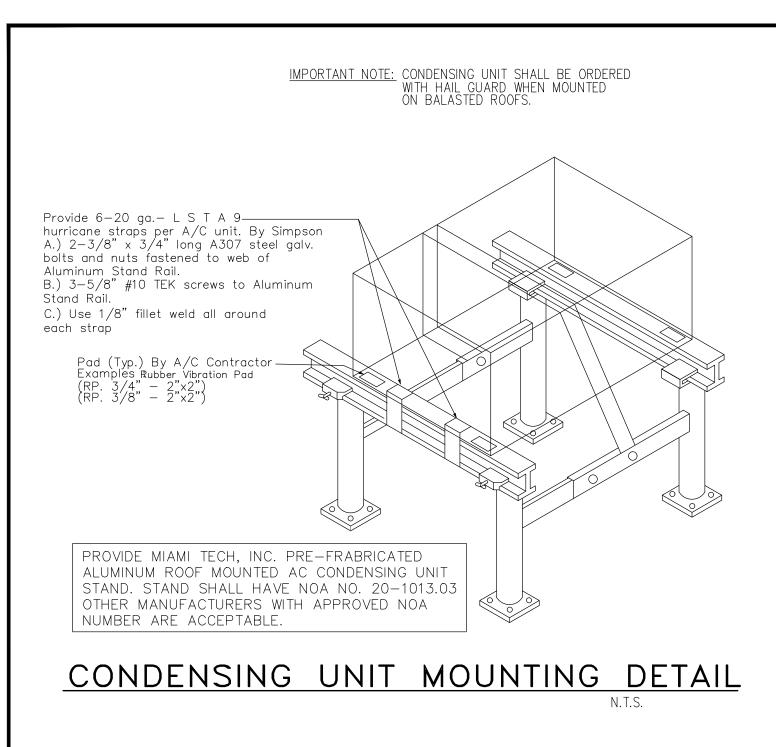
5130 N. Federal Hwy, Suit Ft. Lauderdale, FL 33308 P: (954) 461-4314 bach@bachengineers.com . LORIDA. Viet Bach Nguyen, P.E. Florida License #69753

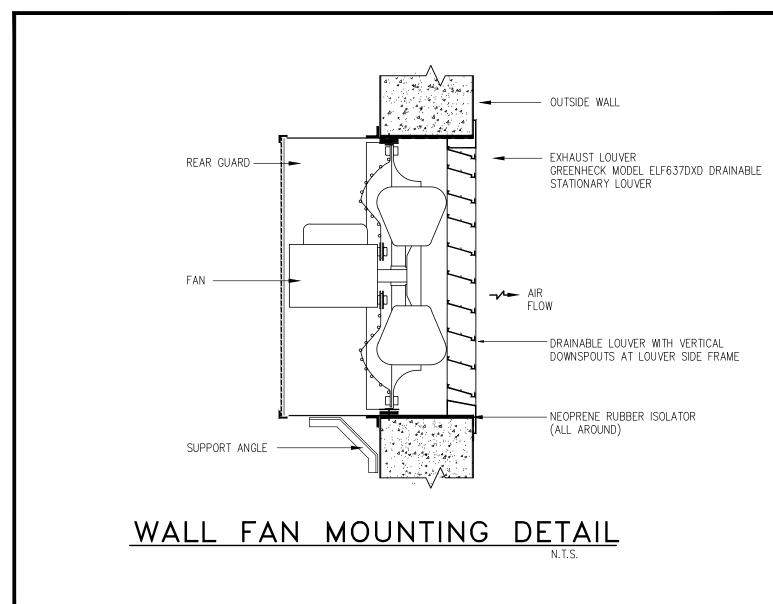
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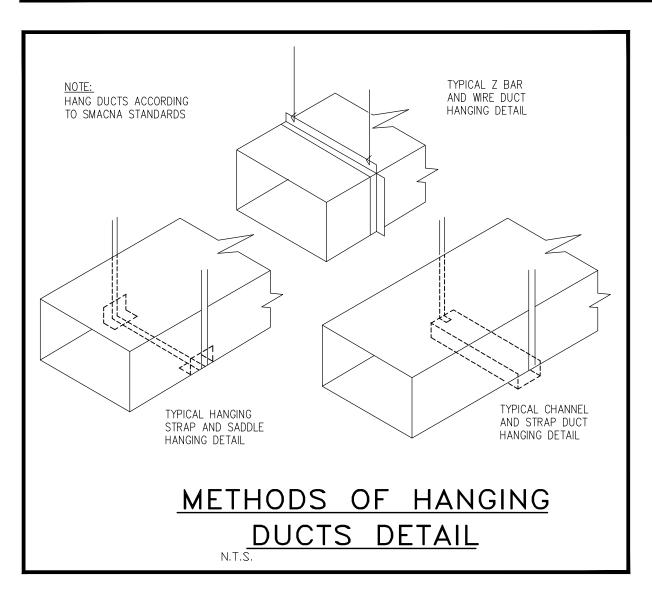


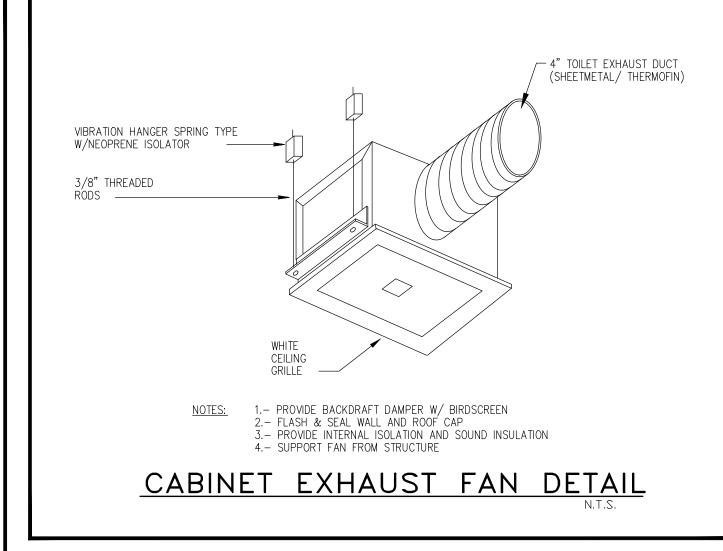


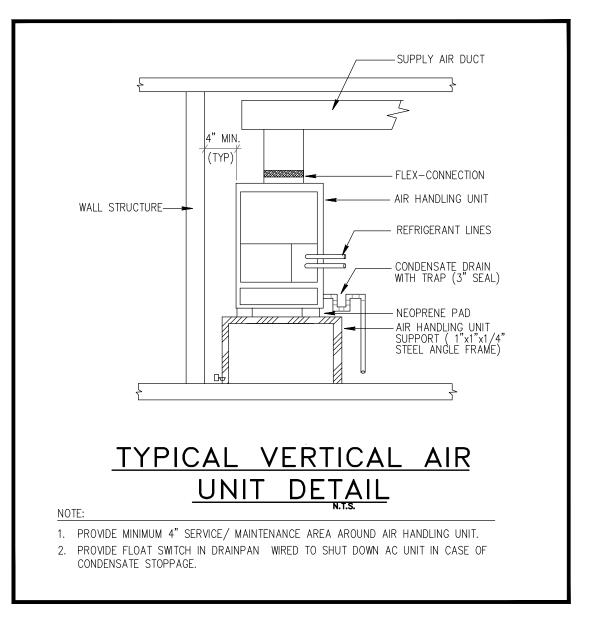


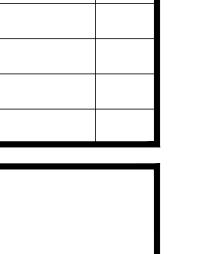




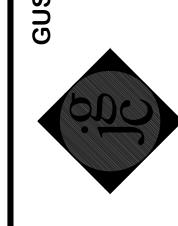




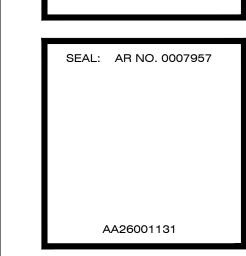




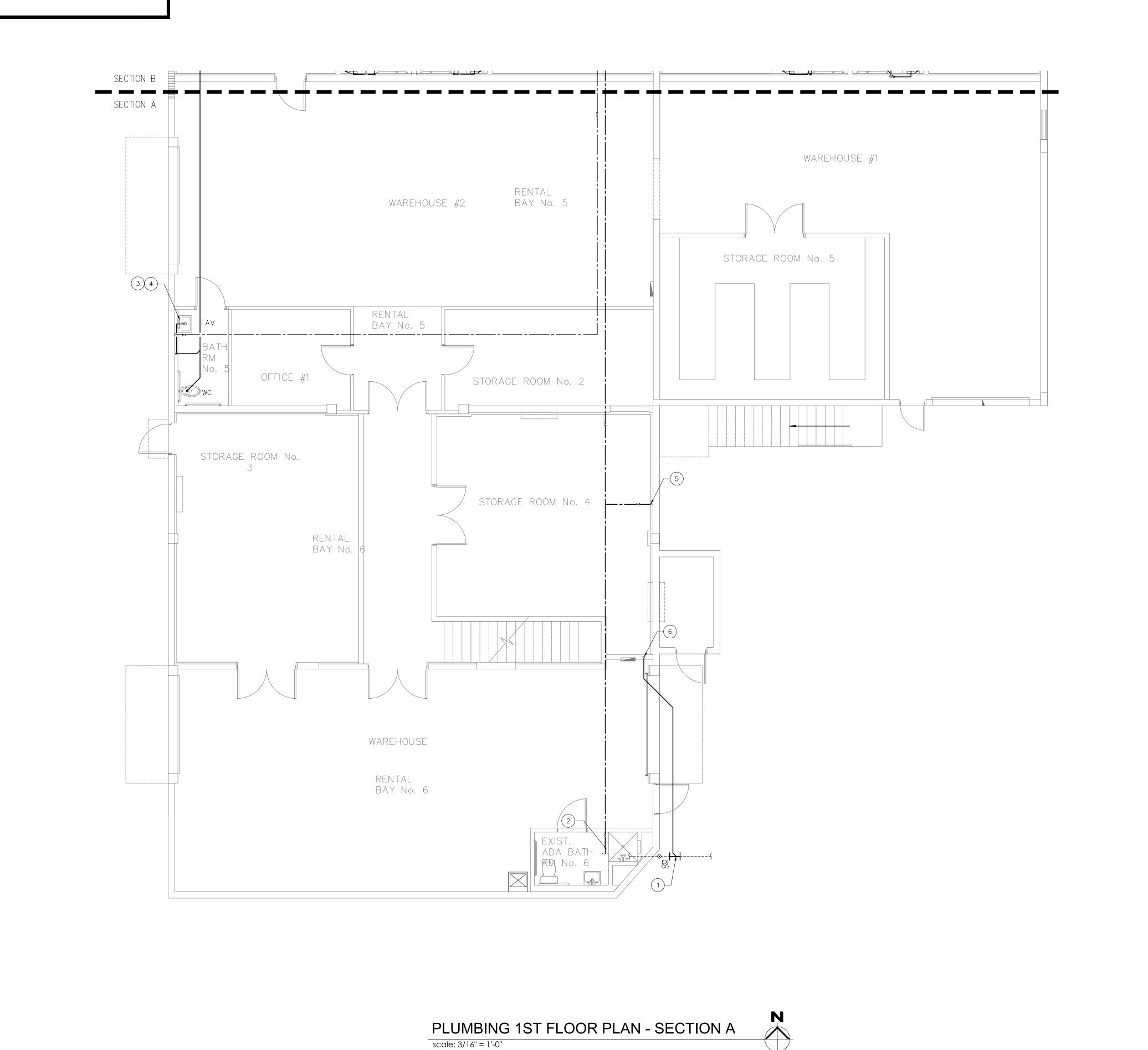
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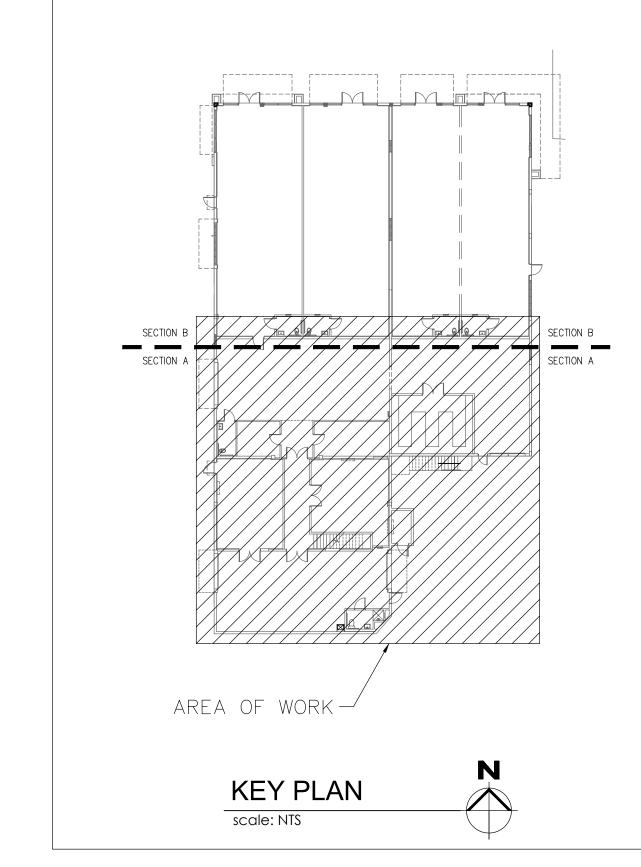


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## PLUMBING KEY NOTES

- 1 TIE NEW 2" SANITARY TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
  2 TIE NEW 1/2" CW TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 3 ECOSMART TANKLESS WATER HEATER MODEL POU 3.5 (3.5 KW @ 120V)
- 4) PROVIDE MIXING VALVE POWERS MODEL LFG480 AND SET @110F.
- (5) 1/2" CW UP TO SECOND FLOOR.
- 6 2" SANITARY UP TO SECOND FLOOR.

PROPOSED RENOVAT

CALL OF AFR

920 N.E. 13TH STR
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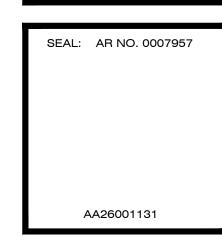
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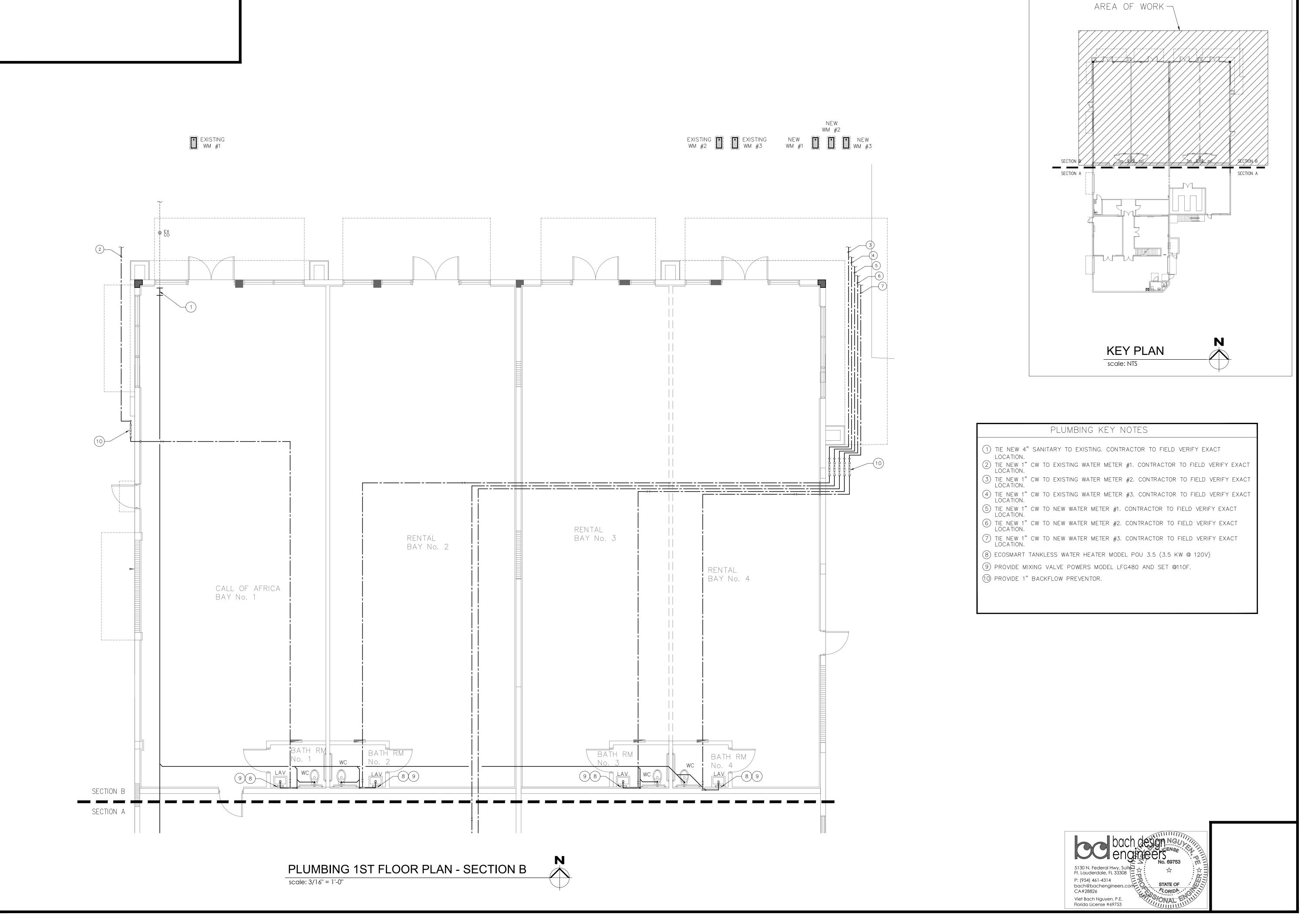
REVISION BY:

GUSTAVO J. CARBONELL Architect and Planner



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Architect and Planner
1457 N.E. 4th AVE.
Ft. Lauderdale, Florida, 33304

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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

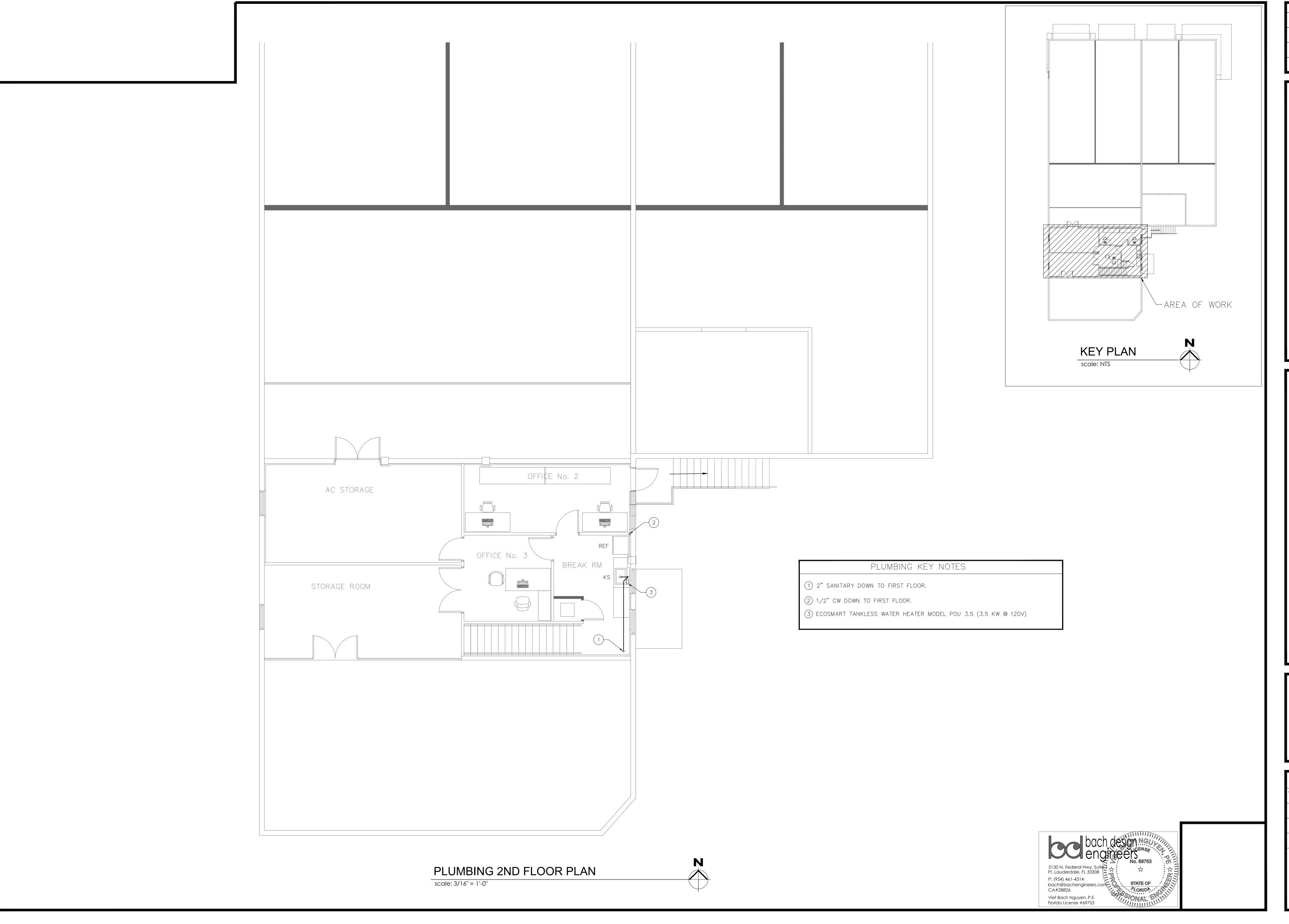
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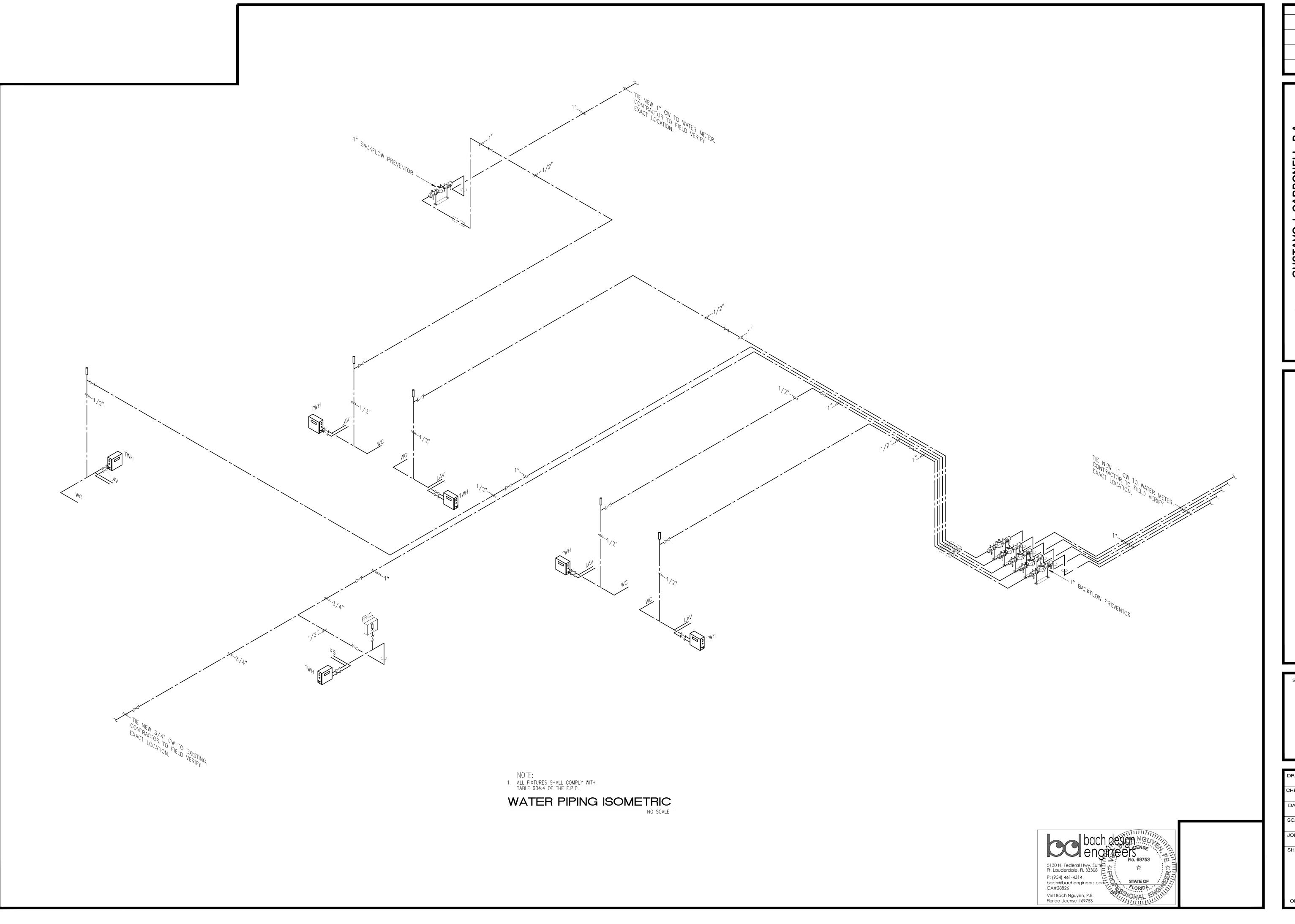
CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET
FORT LAUDERDALE, FLORIDA

SEAL: AR NO. 0007957

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## GENERAL PLUMBING NOTES:

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FBC (PLUMBING 2020 7TH ED.) AND WITH ALL APPLICABLE REGULATIONS.
   B. DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE
- PLUMBING WORK.

  C. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS
  AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT
- TO OWNER.

  D. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY
  GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER
  WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND
- E. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
- 2. PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC 2020 7TH ED. WATER SAVING STANDARDS.
- 3. MATERIALS:
- A. PIPING:
  A. STORM, SOIL, WASTE AND VENT: SANITARY PIPE, PVC, DWV,
- SCHEDULE 40.

  B. DOMESTIC WATER: COPPER PIPE, TYPE L WITH SWEAT WROUGHT COPPER FITTINGS. TYPE "M" IN CONCEALED SPACES IS ACCEPTABLE ISOLATE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
- C. DOMESTIC WATER SUPPLY ASSEMBLY: STAINLESS STEEL BRAIDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
- 4. ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE
- STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
- 5. PIPING TEST AND DISINFECTIONS:

  A. TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL

  BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED

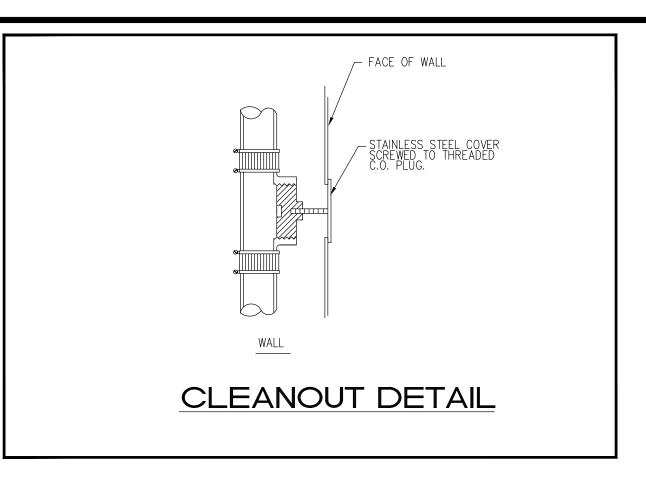
  TO EQUIPMENT AND PLUMBING FIXTURES.
- B. DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWWA STANDARDS.
- 6. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY, AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.

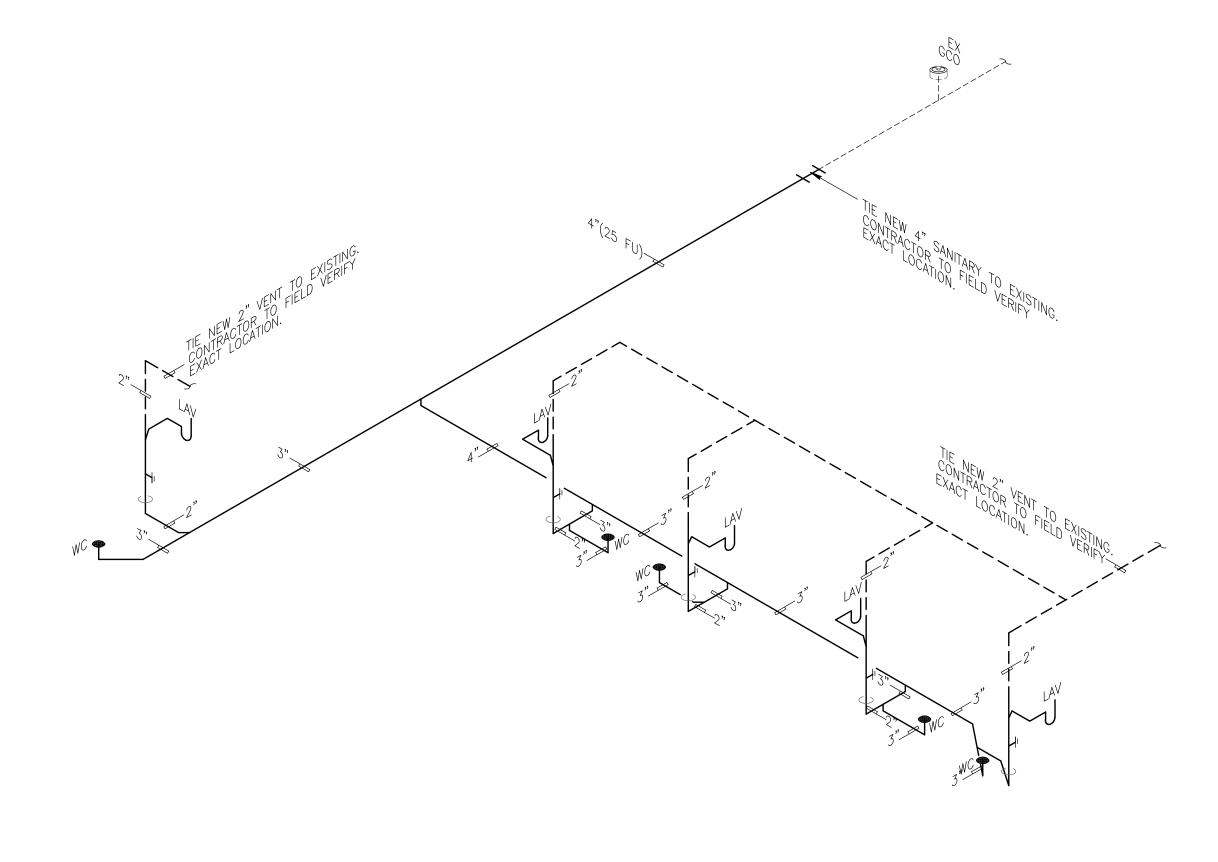
PLUMBING	SYMBOL LEGEND
SYMBOL	DESCRIPTION
	SANITARY LINE
	VENT LINE
<b>→</b> →	SAFEWASTE LINE
——CD ———	CONDENSATE LINE
<b>────</b>	GATE VALVE
	COLD WATER LINE
	HOT WATER LINE
P-	PLUMBING FIXTURE DESIGNATION
FCO	FLUSH CLEAN OUT
$\Rightarrow$	FLOOR PENETRATION
<u>'P</u>	AIR CHAMBER
WCO	WALL CLEANOUT
VTR	VENT THRU ROOF
_ COOG	CLEANOUT ON GRADE
• НВ	HOSE BIBB W/VB

	PLUMBING FIXTURE SCHEDULE									
<u>NAME</u>	FIXTURE	MODEL #								
WC	WATER CLOSET (TANK)	BY OWNER								
LAV	DROP-IN LAVATORY	BY OWNER								
MS	MOP SINK	BY OWNER								
SHR	SHOWER	BY OWNER								

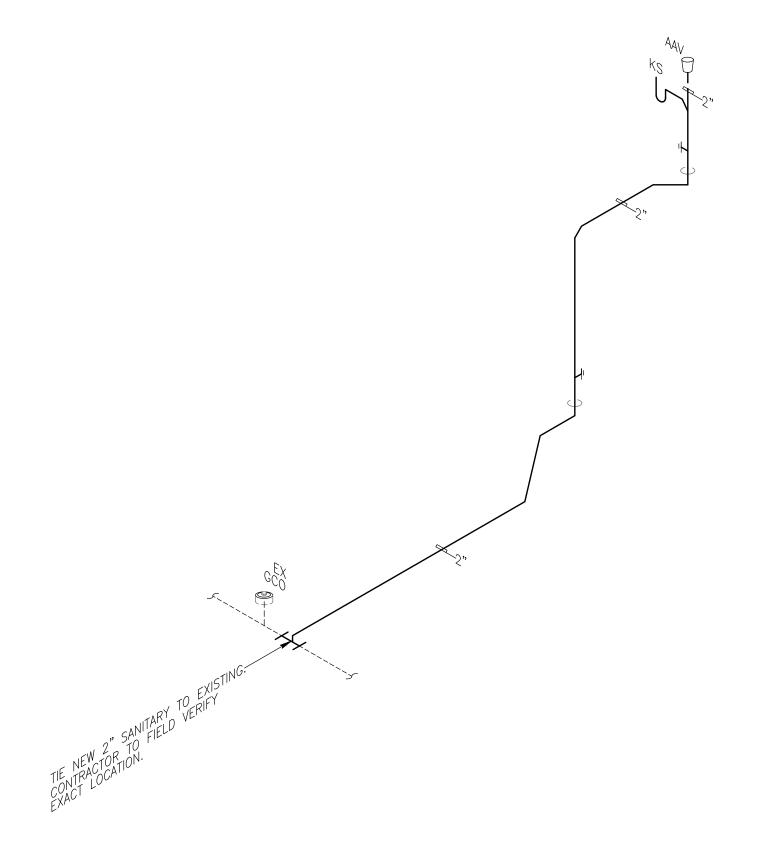
ALL TUB AND SHOWER VALVE SHALL BE ANTI-SCALD AND SHALL COMPLY WITH ASSE 1016.

<u> HIX TURE</u>	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
WATER CLOSET (TANK)	1/2"	3″	1.28 GPF
LAVATORY	1/2"	1 1/4"	1.5 GPM
* ALL PLUMBING FIXTURE AND INSTALL BY CONTRA	ES SHALL BE SELECTED B ACTOR	Υ	









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PROPOSED RENOVATION FOR:

CALL OF AFRICA

920 N.E. 13TH STREET

SEAL: AR NO. 0007957

DRAWN
CHECKED
G.J.C.

DATE
11-12-22
SCALE

JOB. NO.
22-053
SHEET

P-4

OF SHEETS

WINDOW SCHEDULE																
ARK . ·	RK			ROUGH OPENING DIMENSION		FRAME		ING				RESSURE	FODESS /		PRODUCT	
	SIZE	TYPE	WIDTH (INCHES)	HEIGHT (INCHES)	MATERIAL	FINISH	GLASS	FINISH	U-FACTOR	SHGC	MIN. DESIGN PRESS. ( - ) ZONE 4	MIN. DESIGN PRESS. ( - ) ZONE 5	EGRESS / ESCAPE	SHUTTER	ACCEPTANCE	REMARKS
	FIRST FLOOR					ĺ										
IA	144" X 132"	STOREFRONT	144" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1B	51" X 132"	STOREFRONT	51" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1C	96" X 132"	STOREFRONT	96" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
ID	48" X 132"	STOREFRONT	48" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1E	48" X 132"	STOREFRONT	48" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1F	48" X 132"	STOREFRONT	48" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1G	48" X 132"	STOREFRONT	48" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1H	40" X 132"	STOREFRONT	40" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1J	40" X 132"	STOREFRONT	40" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
1K	48" X 132"	STOREFRONT	48" V.I.F.	132"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	8'-0" HIGH PANEL W/ 3'-0" HIGH TRANSOM ABOVE.
+	SECOND FLOOR															
2A	36" X 48"	FIXED	38"	50"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	
2B	36" X 48"	FIXED	38"	50"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	
2C	36" X 36"	FIXED	38"	38"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	
2D	36" X 36"	FIXED	38"	38"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	NO	IMPACT	DADE CO.	
2E	36" X 48"	FIXED	38"	50"	ALUM	E.S.P.	IMPACT	TINT			SEE STRUC	URAL PLANS	N0	IMPACT	DADE CO.	

1. ALL EXTERIOR WINDOWS UNLESS OTHERWISE NOTED SHALL BE PRE-FINISHED (E.S.P.) FINISH - COLOR SELECTED BY OWNER.

GLASS SHALL HAVE A SHADING COEFFICIENT TO BE CONFIRMED WITH ENERGY CODE. HURRICANE IMPACT RESISTANT CONSTRUCTION.

2 WINDOW ELEVATIONS

2. WINDOW SIZES BASED ON PGT MANUFACTURER. GENERAL CONTRACTOR SHALL VERIFY WITH MANUFACTURER ALL ROUGH OPENINGS PRIOR TO

FABRICATION AND INSTALLATION AND MASONRY OPENING COORDINATION.

3. SUBMIT MIAMI-DADE COUNTY PRODUCT APPROVAL FOR ALL WINDOWS, PRIOR TO INSTALLATION HIGHLIGHTING THE COMPONENTS, GLAZING AND PRESSURES TO BE USED.

4. CONFIRM EGRESS WINDOWS COMPLY WITH EGRESS CODE REQUIREMENTS.

4. COORDINATE DOORS AND WINDOWS 'U' & SHGC VALUES WITH ENERGY CODE CALCULATIONS.

								DOOR	SCHEDU	JLE							
MARK	۲.		TYPE	ROUGH OPENING DIMENSION					WIND PRESSURE						EGRESS /	CHUTTED	PRODUCT
	QTY	SIZE		WIDTH	HEIGHT	MATERIAL	FRAME	FINISH	MIN. DESIGN PRESS. ( - )	MIN. DESIGN PRESS. (+)	HDWR.	U-FACTOR	SHGC	REMARK	ESCAPE	SHUTTER	ACCEPTANCE
		FIRST FLOOR															
101		(2)3'-0" X 8'-0"	SWING	5'-0"	8'-2"	ALUM/GLS	ALUM	E.S.P.	SEE STRUCT		KEY LOCK/DB			3'-0" HIGH TRANSOM ABOVE	YES	IMPACT	DADE CO.
102		(2)3'-0" X 8'-0"	SWING	5'-0"	8'-2"	ALUM/GLS	ALUM	E.S.P.	SEE STRUCT	JRAL PLANS	KEY LOCK/DB			3'-0" HIGH TRANSOM ABOVE	YES	IMPACT	DADE CO.
103		(2)3'-0" X 8'-0"	SWING	5'-0"	8'-2"	ALUM/GLS	ALUM	E.S.P.	SEE STRUCT	URAL PLANS	KEY LOCK/DB			3'-0" HIGH TRANSOM ABOVE	YES	IMPACT	DADE CO.
104		(2)3'-0" X 8'-0"	SWING	5'-0"	8'-2"	ALUM/GLS	ALUM	E.S.P.	SEE STRUCT	URAL PLANS	KEY LOCK/DB			4'-0" HIGH TRANSOM ABOVE	YES	IMPACT	DADE CO.
105		OMITTED															
106		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
107		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
108		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
109		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
110		(2)3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PASSAGE						
111		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
112		(2)3'-0" X 7'-0"	FLUSH			WOOD HC	WOOD	PAINT			PASSAGE						
113		(2)3'-0" X 7'-0"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
114	П	3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
		SECOND FLOOR															
201		3'-0" X 7'-0"	FLUSH			HOL MTL	METAL	PAINT			KEY LOCK/DB			SELF CLOSE	YES	IMPACT	DADE CO.
202		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
203		2'-8" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PASSAGE						
204		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
205		(2)3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
206		3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
207		(2)3'-0" X 6'-8"	FLUSH			WOOD HC	WOOD	PAINT			PRIVACY						
		, ,															
	П			1													
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## **GENERAL NOTES:**

1. INCLUDE 1-1/2" HINGES (3 PER DOOR), LOCK, LOCKSET.

2. PROVIDE MIAMI DADE PRODUCT APPROVAL BY DOOR MANUFACTURER FOR ALL EXTERIOR DOORS.

3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS FOR WINDOWS & DOORS PRIOR TO SHOP DRAWINGS SUBMITTAL AND MASONRY OPENINGS COORDINATION.

4. KEY LOCK DOOR HARDWARE SHALL HAVE THUMBTURN INSIDE & KEYED OUTSIDE BY SCHLAGE OR APPROVED EQUAL

5. ALL WINDOWS, EXTERIOR DOORS, & O.H. DOORS SHALL BE WEATHERTIGHT.

6. FOR EXTERIOR DOORS, PROVIDE WEATHER STRIP AROUND THE ENTIRE DOOR.

7. HARDWARE STYLE, COLOR AND FINISH AS SELECTED BY OWNER.

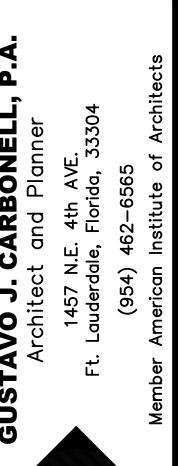
8. VERIFY TINTING AND SHADING COEFFICIENT WITH ENERGY CODE 'U' & SHGC VALUES.

9. SLIDING GLASS DOOR OPENINGS ARE BASED ON PGT MANUFACTURER W/ 1 X BUCK JAMB & HEAD AND MAX. AND 1/4" GROUT SILL. CONTRACTOR SHALL CONFIRM AND FIELD VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER PRIOR TO FABRICATION

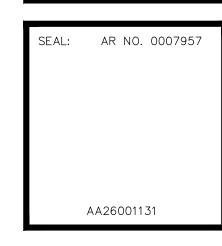
9. PROVIDE TREMCO VULKEM 350 WATER PROOFING ON CONCRETE BALCONIES, SILLS AND UP THE WALL A MINIMUM OF 6".
SLIDING GLASS DOOR SILL SCREWS AT BALCONIES SHALL BE CAULKED UNDER SILL WITH CAULKING COMPATIBLE W/ TREMCO VULKEM 350 WATER PROOFING.

# WINDOW SCHEDULE \$EE DOOR SCHEDULE SEE DOOR \$EE DOOR DOOR SCHEDULE SCHEDULE SCHEDULE (1D) (1H) (1G) (1K) $\langle 1J \rangle$ **(2B)** (2C) 2D 2E

# 3 DOOR SCHEDULE



RENOVA OF AF PROPOSED



DRAWN DBK
CHECKED G.J.C.
DATE <b>11-12-22</b>
SCALE
JOB. NO. <b>22-053</b>
SHEET
<b>A-9</b>
OF SHEETS