



SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING
PLANNING & ZONING BOARD (PZB) SITE PLAN APPLICATION

Rev: 2 | Revision Date: 10/01/2020 | I.D. Number: SPA

PLANNING & ZONING BOARD (PZB)

Site Plan Application

- Cover:** Deadline, Notes, and Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Required Documentation / Submittal Checklist
- Page 3:** Sign Notification Requirements & Affidavit
- Addendum:** PZB Rezone with Flex Allocation <<if applicable>>
- Addendum:** Parking Reduction Information <<if applicable>>

DEADLINE: Submittals must be received by 4:00 PM each business day. Pursuant to Section 47-24.1(1), the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via email, if plans do not meet the submittal requirements and if changes are required.

NOTE: If your development site is separated by any public right-of-way (alley, alley reservation, or ROW easement) you must complete a separate application for each parcel.

NOTE: Optional 15-minute time slots are available during DRC meetings for scheduling to applicants, for general project inquiries or to obtain signatures on completed DRC plans (including Pre-Planning and Zoning Board, Pre- City Commission and Final DRC plans) from all representatives at one time in preference to scheduling individual appointments. Appointments are subject to availability. To make an appointment, please call 954-828-6531 latest by Friday at 12:00 noon prior to the meeting date.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

<input type="checkbox"/> Planned Development District (PDD) and Planned Unite Development (PUD)	\$ 9,500.00
<input checked="" type="checkbox"/> Site Plan Level IV and in the RAC	\$ 4,100.00
<input type="checkbox"/> Site Plan Level III and in the RAC	\$ 4,300.00
<input type="checkbox"/> Change of Use Requiring PZB review	\$ 750.00
<input type="checkbox"/> Parking Reduction In addition to above site plan fee	\$ 900.00
<input type="checkbox"/> Site Plan Deferral	\$ 950.00
<input type="checkbox"/> Appeal of DRC Review	\$ 2,550.00



Page 1: PZB Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Sunrise FTL Ventures LLLP
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	150 SE 2nd Avenue, Suite 800, Miami, FL 33131
E-mail Address	Paul@IntegraFL.com (Paul Drummond)
Phone Number	305-774-0110
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Nectaria M. Chakas, Esq.
Applicant / Agent's Signature	<i>Nectaria Chakas</i>
Address, City, State, Zip	1401 E. Broward Blvd, # 303, Fort Lauderdale FL 33301
E-mail Address	NChakas@LochrieLaw.com
Phone Number	954-779-1123
Letter of Consent Submitted	Submitted

Development / Project Name	Ocean Park Hotel and Residences
Development / Project Address	Existing: 2828, 2860, 2826, 2870, 2882, 2884, 2892, 2908 E SUNRISE BLVD New: 2851, 2901 NE 9 CT
Legal Description	Lots 1-13 of Seabridge, according to Plat thereof, recorded in Plat Book 21, Page 46
Tax ID Folio Numbers (For all parcels in development)	504201140120, 504201140110, 504201140100, 504201140090, 504201140080, 504201140070, 504201140060, 504201140050, 504201140040, 504201140030, 504201140020, 504201140010
Request / Description of Project	Mixed Use Project (Hotel, Residential and Commercial Uses)
Applicable ULDR Sections	Sec. 47-25.2, Sec. 47-25.3, 47-12 Central Beach
Total Estimated Cost of Project	\$ 65 million (Including land costs)

NOTE: Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

Estimated Park Impact Fee	\$ 246,900	Fee Calculator: http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm
Future Land Use Designation	Central Beach RAC (RAC)	
Proposed Land Use Designation	Central Beach RAC (RAC)	
Current Zoning Designation	Sunrise Lane Area (SLA)	
Proposed Zoning Designation	Sunrise Lane Area (SLA)	
Current Use of Property	Restaurant and retail uses	
Residential SF (and Type)	114,564 sf (Condo)	
Number of Residential Units	54	
Non-Residential SF (and Type)	122,815 gross building area for Hotel Buidling; 4,698 sf commercial uses within hotel	
Total Bldg. SF (include structured parking)	237,379 SF (below ground garages excluded from gross floor area calculations per 47-2.2.c.)	
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	None	54,870 / 1.26 ac.
Lot Density	48 units/acre (60 units max); 90 hotel/ac (113 max rooms)	54 dwelling units; 100 hotel rooms
Lot Width	None	550'
Building Height (Feet / Levels)	120' max	120' / 12 Floors
Structure Length	200'	200'
Floor Area Ratio	Commercial = 2.0 max	Commercial = 0.086
Lot Coverage	None	20,793 sf / 38%
Open Space	None	20,170 SF / 37%
Landscape Area	25% min	15,302 SF / 28%
Parking Spaces	196 (191+5 (off-site pkg agreement))	205

NOTE: State north, south, east or west for each yard.

Setbacks/Yards*	Required	Proposed
Front [S]	20'-0"	20'-0"
Side [E]	10'-0"	40'-0"
Side [W]	10'-0"	10'-1"
Rear [N]	20'-0"	20'-0"

Page 2: Required Documentation / Submittal Checklist

One (1) copy of the following documents:

- Original Pre-PZB signed-off set of plans and all supplemental documentation (ie. narratives, photos, etc.)
- Completed application (all pages must be filled out where applicable)
- One (1) electronic version of complete application and plans in PDF format

**Two (2) original sets, signed and sealed, of Pre-PZB plans at 24" x 36"
Thirteen (13) copy sets, of Pre-PZB half-size scaled plans at 12" x 18"**

- Narrative** describing project specifics, to include but not be limited to: architectural style and important design elements, trash disposal system, security/gating system, hours of operation, dock facilities, etc. Narratives must be on letterhead, dated, and with author indicated.
- Narrative** quoting all applicable sections of the ULDR, with point-by-point responses of how project complies with such criteria. Narratives must be on letterhead, dated, and with author indicated.
- Land Use and Zoning maps** indicating all properties within 700 ft. of the subject property. These should be obtained from Urban Design & Planning Division. Site should be highlighted or clearly marked to identify the parcel(s) under consideration on all sets.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built and Topographic with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City.
- Most **current recorded plat** including amendments, with site highlighted. This may be obtained from Broward County Public Records at 115 S. Andrews Ave. **Note: for Change of Use applications, this is not required.**
- Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- Plans "A" thru "H".** **Note, for Change of Use applications, items asterisked (*) are only required if proposed changes affect these plans. Otherwise, these items should be obtained from Property Records if showing current conditions.**
 - A. Site Plan
 - B. Details*
 - C. Floor Plans
 - D. Building Elevations*
 - E. Additional Renderings*
 - F. Landscape Plans*
 - G. Photometric Diagram*
 - H. Engineering Plans*

Note: All copy sets must be clear and legible. If original set is in color, copy sets must also be in color.

Note: Plans must be bound, stapled and folded to 8 1/2" x 11". All non-plan documents should be 8 1/2" x 11" and stapled or bound.

Note: Civil Engineering plans are only required at Final-DRC sign-off. Contact DRC Engineering Representative for details.

Note: For examples of project narratives, site plan data tables, and renderings required with your application, please refer to the "Submittal Reference Book" available at Urban Design & Planning.

<p>Applicant's Affidavit I acknowledge that the Required Documentation and Technical Specifications of the application are met:</p> <p>Print Name <u>Nectaria M. Chakas, Esq.</u></p> <p>Signature <u></u></p> <p>Date <u>03/10/2022</u></p>	<p>Staff Intake Review For Urban Design & Planning staff use only:</p> <p>Date <u>03/17/2022</u></p> <p>Received By <u>Karlanne Grant</u></p> <p>Tech. Specs Reviewed By <u>Karlanne Grant</u></p> <p>Case No. <u>UDP-S21031</u></p>
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JC CONSULTING ENTERPRISES, INC.

Cecelia Ward, AICP, President

CELL: (954) 815-4298

cward@jcconsultinginc.net

18081 SE Country Club Drive – Unit 313
Tequesta, Florida 33469

Subject Property:

March 2, 2022

Ocean Park Hotel and Residences
2851 and 2901 NE 9th Court
Fort Lauderdale, FL

RE: Site Plan Level IV Review

City of Fort Lauderdale Case No. UDP-S21031

PREPARED BY: Cecelia Ward, AICP

GENERAL PROJECT NARRATIVE

1. General information. Sunrise FTL Ventures, LLLP, is the owner of property a 1.26 acre parcel located at 2851 and 2901 NE 9th Court, generally located on the south side of Sunrise Boulevard, just west of N. Birch Road (the “Property”). An aerial of the Property is shown below as the “Development Site”.



2. Project information. The Property is contained within the Central Beach Regional Activity Center (RAC) Future Land Use Designated area and is located within the Sunrise Lane Area (SLA) zoning district. The Project is proposed to include one 11 story building (condo- east building) and one 12-story building (hotel – west building), which contain the following proposed uses:

East building (Hotel):

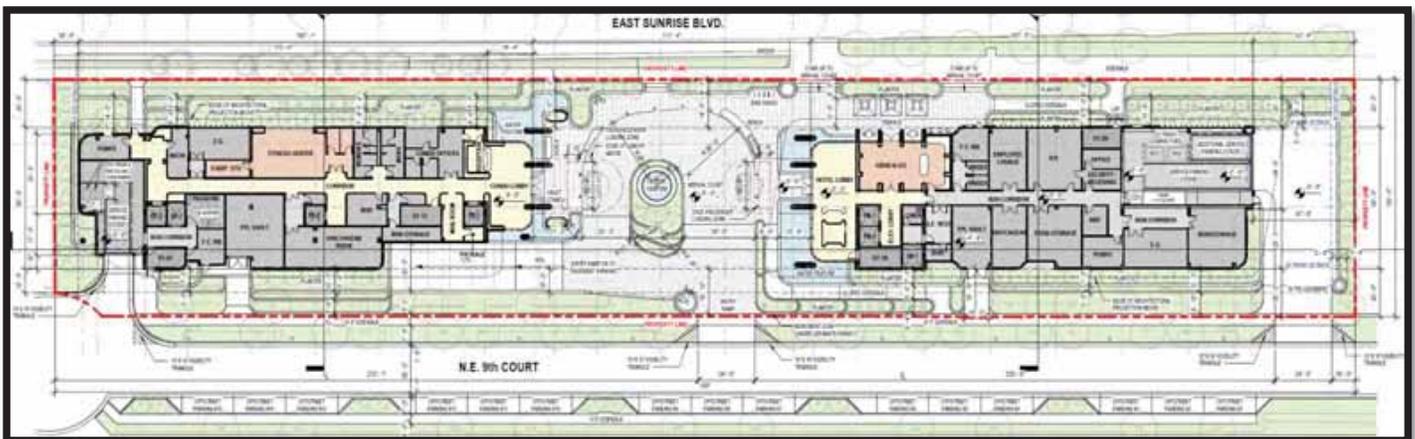
Hotel: 100 rooms (up to 113 rooms are allowed by code)
 Commercial: 4,698 sf commercial uses (3,210 restaurant, 663 sf pool bar, 825 sf retail)
 Amenities: Fitness Areas and Rooftop Pool and Bar/Lounge Area

West building (Residential):

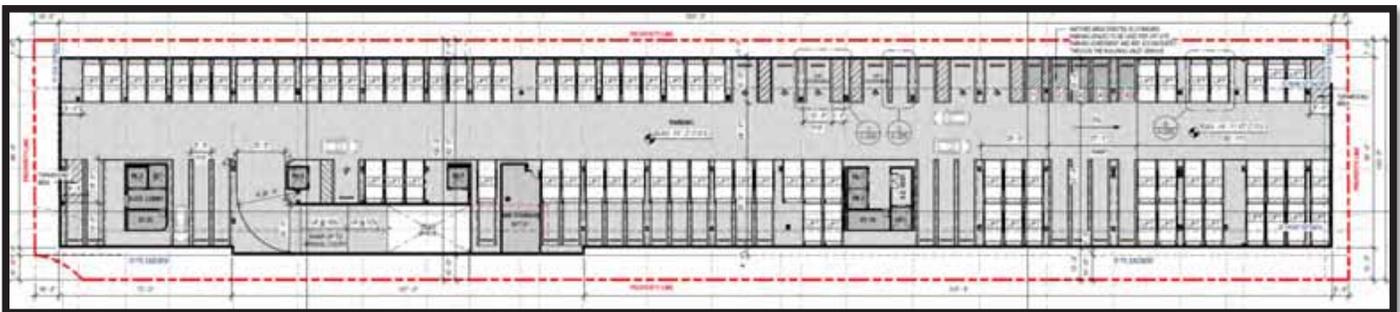
Residential: 54 multifamily units (up to 60 units are allowed by code)
 16 units @ 1 bedrooms plus den
 17 units @ 2 bedrooms
 21 units @ 3 bedrooms
 Amenities: Fitness area and a rooftop pool for residents only

3. Parking. The total required parking is 196 spaces (205 spaces are provided). All parking (including the 5 spaces required per the Offsite Parking Agreement) will be provided in a subterranean garage, which contains 1 level of parking (total of 205 parking spaces including a combination of standard spaces, tandem spaces and parking lifts). Any non-standard parking spaces (lifts and tandem) will be operated solely by the valet and the owner will be entering into a Valet Parking Agreement with the City as required by the City’s Unified Land Development Regulations. The arrival court/motor court at ground level will be used for valet, guests, rideshare, taxi etc. Below is the layout of the ground level arrival court and entry ramp to the garage. Also included below is the floor plan for the subterranean parking garage.

Ground Level:



Basement level parking garage:



4. **Architectural design/style.** The project is composed of 2 buildings that sit above a below grade parking structure. The towers are compatible in materials, but each has a distinct identity on the site. The long and narrow site sits across from the City's fire station and Hugh Taylor Birch State Park. To maximize the views of the surroundings parks and waterways, the project incorporates the use of long continuous sweeping terraces to break down the mass of the buildings and allows for a continuous view of the surrounding landscape. Pronounced vertical elements frame curved terraces that vary in geometry on different levels. Window walls with gentle curved corners help to unify the two buildings while breaking down the physical barrier between the inside and outside. Organic natural colors are used throughout the project to make a visual connection to its surroundings. The lush planting and water features on the ground level and usable rooftop amenity decks on the roof level provides a natural color palette that is used as a unifying feature in both buildings and enhances the sightlines of the surrounding buildings (rather than a view of a blank roof deck).

5. **Loading/Service Areas.** The service/loading areas are also located within the building volume at ground level. A letter from Wilkinson Hi-Rise dated 7/6/2021 confirms that the building will be serviced by a private waste hauler and pick-up will be arranged within the loading areas located within the building volume. Frequency of pick-up will be determined as needed, but the condo is expected to be serviced approximately 3 days a week or more if needed. The hotel pick-up schedule will be determined by the hotel operator.

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Subject Property:

Ocean Park Hotel and Residences
2851 and 2901 NE 9th Court
Fort Lauderdale, FL

March 2, 2022

RE:

Review of Section 47-25.2 ADEQUACY REQUIREMENTS
Site Plan Level IV Review
City of Fort Lauderdale Case No. UDP-S21031

NARRATIVE PREPARED BY: Cecelia Ward, AICP

The following narrative provides my review of the proposed Ocean Park Hotel and Residences Site Plan Level IV, City of Fort Lauderdale DRC Case No. UDP S21301. It is my expert planning opinion that the proposed development is in compliance with all of the requirements set forth in Section 47.25.2 Adequacy Requirements of the City of Fort Lauderdale Unified Land Development Regulations, as further detailed below.

Sec. 47-25.2. Adequacy requirements.

- A. *Applicability.*** The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

- B. *Communications network.*** Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

Response: The Project will not interfere with the City's communications network.

- C. *Drainage facilities.*** Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff

from the entire site or two and one-half (2 ½) inches of runoff from the impervious surface whichever is greater.

Response: Application will be made to Broward County and the applicant will satisfy all current criteria for surface water requirements and obtain all local and state licenses so as to ensure that the stormwater management facilities comply with the City’s adopted level of service standards.

D. Environmentally sensitive lands.

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and well field protection which ordinances are incorporated herein by reference:
 - a. Broward County Ordinance No. 89-6.
 - b. Section 5-198(l), Chapter 5, Article IX of the Broward County Code of Ordinances.
 - c. Broward County Ordinance No. 84-60.

2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

Response: There are no environmentally sensitive lands on this site. Additionally, the subject property is not located within a well field protection area.

- E. Fire Protection.** Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

Response: Watermains exist adjacent to the site. The project has been designed to comply with all Florida Building Code and South Florida Fire Code standards to ensure that fire protection service shall be adequate to protect people and property in the proposed development. Additionally, the applicant will be installing a new 16” water main along NE 9th Court and Birch Road to increase water service. The applicant received the Water and Wastewater Capacity Letter from the Public Works Division confirming that the 16” watermain will provide sufficient water flow for the project.

F. Parks and open space.

1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact fees, of the ULDR.
2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

Response: Applicant will pay all required park impact fees prior to the issuance of a building permit in accordance with the Park Impact Fee provisions of Section 47-38A of the City's ULDRs.

G. *Police protection.* Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

Response: The project has incorporated four (4) principles of CPTED, as follows:

- 1. Natural surveillance.** The Project incorporates natural surveillance measures by using natural sight lines, low planters and hedges. Since the streetscape is being redesigned, this will encourage pedestrian activity and "eyes on the street" to decrease the risk of criminal activity.
- 2. Natural access control.** The Project strategically places doors, landscaping, shrubs and other physical elements to limit access to the buildings. Public access to the buildings occurs through one centralized arrival/motor court which will service both the residential building and the hotel building. Valet and hotel staff will be present as cars, residents and guests arrive.
- 3. Territorial reinforcement.** The Project has been designed to provide clear definition between public, semi-public and private spaces. The public realm is clearly defined along the perimeter of the site via sidewalks flanked by landscaping. As one moves to the semi-public areas, the use of materials and signage changes (i.e., the arrival court will be marked with pavers) to provide a demarcation between the public and semi-private realm. Planters are also placed strategically to provide a clear delineation that the public realm is ending and shifting to a semi-private to private realm. The private realm will be clearly delineated through signage and physical barriers such as doors and other security measures.
- 4. Maintenance and management.** The residential and hotel buildings will be professionally managed. The streetscape installed in the right-of-way will also be maintained by the hotel and/or condominium. Such maintenance and management, which will also serve to ensure continued surveillance of the proposed development.

H. *Potable water.*

- 1.** Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area

which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. *Potable water facilities*

- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.

Response: The project has been designed to ensure that adequate potable water service shall be provided for the needs of the proposed development in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. In this regard, a new 16" water main will be installed along NE 9th Court and Birch Road. The Public Works Department confirmed that capacity exists to service the proposed development the 16" water main will provide adequate capacity/service to address impacts of the proposed development.

I. *Sanitary sewer.*

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
3. Where the county is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

Response: Sanitary Sewer mains exist adjacent to the site. The City's Public Works Dept confirmed that the existing infrastructure provides sufficient capacity to service the development.

- J. **Schools.** For all residential plats, the applicant shall contribute to school facilities in accordance with the Broward County Land Development Code and shall provide documentation to the city that such contribution has been satisfied.

Response: Applicant received the School Capacity Availability Determination (“SCAD”) which states that there is adequate capacity for students.

K. **Solid waste.**

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. *Solid waste facilities.* Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

Response: Owner will contract with a private waste hauler to ensure that adequate solid waste collection facilities and services shall be provided in connection with the proposed development and that all solid waste will be disposed of in a manner that complies with all governmental requirements.

Additionally, a letter from Wilkinson Hi-Rise, a chute company, was submitted to the DRC, indicating the make and model of proposed equipment that will meet the capacity needs of the development, describing recycling chutes and Bi-sorter with compactors to accommodate recycling.

- L. **Stormwater.** Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

Response: The project has been designed with on-site storm water retention through exfiltration to ensure that removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other acceptable engineering standards. Additionally, application will be made to Broward County and the applicant will be required to satisfy all current criteria for surface water requirements and obtain all local and state licenses.

M. **Transportation facilities.**

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If

a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.

2. *Regional transportation network.* The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.
3. *Local streets.* Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.
4. *Traffic impact studies.*
 - a. When the proposed development may generate over one thousand (1,000) daily trips; or
 - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in traffic ways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

- ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed traffic ways.
- iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local traffic ways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
- iv. A further detailed analysis and any other information that the review committee considers relevant.
- v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
- vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

Response: The Applicant's traffic engineer, Suzanne Danielsen attended a traffic methodology meeting with City staff on July 20, 2021, and it was agreed that the following intersections would be analyzed: Sunrise Boulevard/Birch Road and Birch Rd/NE 9th Court. The traffic study was submitted and reviewed by the City's outside traffic consultant. Comments were provided and addressed. The updated traffic study was submitted to the City on January 28, 2022. In addition, the applicant prepared a traffic generation statement comparing existing uses to the proposed uses. The results show that the proposed uses result in a net reduction of trips in the PM Peak Hour.

5. *Dedications of rights-of-way.* Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

Response: For Sunrise Boulevard, the planned width is 120' per the Broward County Trafficways Plan. The existing width of Sunrise is 140', therefore, no additional right-of-way is needed in order to comply with the Trafficways Plan. For NE 9th Court, the existing right-of-way width is 50' per the Seabridge Plat (PB 21/46), which meets the City's minimum width requirements for rights-of-way. Therefore, no additional right-of-way is needed in order to accommodate the development.

6. *Pedestrian facilities.* Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for

as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

Response: Applicant is providing sidewalks along all street frontages. At the request of the neighboring condominium, the Applicant is proposing on street parallel parking and sidewalk along the south side of NE 9th Court to provide additional parking for the area. In addition to the foregoing, the Applicant will be providing a pedestrian access easement through the site to provide a pedestrian connection between NE 9th Court and Sunrise Boulevard.

7. *Primary arterial street frontage.* Where a proposed development abuts a primary arterial street either existing or proposed in the traffic ways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

Response: Project does not provide vehicular access on the arterial frontage (Sunrise Blvd). All access is provided to/from NE 9th Court.

8. *Other roadway improvements.* Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

Response: The Applicant has acknowledged the required compliance with these provisions.

9. *Street trees.* In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

Response: The Project includes landscaping and street trees/palms along both frontages. Street trees are provided along NE 9th Court and Sunrise Boulevard to frame the street consistent with the requirements of the ULDR.

N. *Wastewater.*

1. *Wastewater.* Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

Response: Sanitary Sewer service will be provided by the City of Ft. Lauderdale. The Applicant received confirmation that the existing infrastructure provides sufficient capacity to service the development.

- O. *Trash management requirements.*** A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

Response: The Applicant has acknowledged the required compliance with these provisions.

P. *Historic and archaeological resources.*

1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

Response: N/A. The Property has not been identified by any entity within the State of Florida authorized by law as having archaeological or historical significance.

Q. Hurricane evacuation. If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

Response: N/A. Applicant has requested the letter from Broward County confirming acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity.

JC CONSULTING ENTERPRISES, INC.

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18081 SE Country Club Drive – Unit 313

Tequesta, Florida 33469

Subject Property:

Ocean Park Hotel and Residences
2851 and 2901 NE 9th Court
Fort Lauderdale, FL

March 2, 2022

RE:

Review of Section 47-25.3 NEIGHBORHOOD COMPATIBILITY REQUIREMENTS
Site Plan Level IV Review
City of Fort Lauderdale Case No. UDP-S21031

NARRATIVE PREPARED BY: Cecelia Ward, AICP

The following narrative provides my review of the proposed Ocean Park Hotel and Residences Site Plan Level IV, City of Fort Lauderdale DRC Case No. UDP S21301. It is my expert planning opinion that the proposed development is in compliance with all of the requirements set forth in Section 47.25.3 Neighborhood Compatibility Requirements of the City of Fort Lauderdale Unified Land Development Regulations and the applicable Community Compatibility Criteria, as further detailed below.

Sec. 47-25.3. - Neighborhood compatibility requirements.

A. The neighborhood compatibility requirements are as follows:

1. *Adequacy requirements. See Sec. 47-25.2.*

RESPONSE: A separate point-by-point narrative addressing compliance with the adequacy requirements has been provided.

2. *Smoke, odor, emissions of particulate matter and noise.*
 - a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required.

- b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review.
- c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to the issuance of a building permit for the proposed development.

RESPONSE: Building permits will require the services of an Engineer certified in the State of Florida, which at that time, will ensure that the project will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County. Should any County licenses be required, the applicant will apply and obtain.

3. *Design and performance standards.*

- a. *Lighting.* No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property.
 - i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) footcandle on any abutting residential property except as provided in subsection iii. of this subsection a.

RESPONSE: The site lighting has been designed by a licensed engineer. A photometric plan has been provided which demonstrates that any light produced by the project shall be less than 1 foot candle at the property lines adjacent to existing residential properties in accordance with the city standards. See sheet L-7 of the DRC submittal.

- ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark.

RESPONSE: The project has been designed to control the effects of lights from automobiles by providing for parking that is contained in a subterranean garage.

- iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.

RESPONSE: Acknowledged.

- b. *Control of appearance.* The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3.

- i. *Architectural features.* The facade of any side of a nonresidential building facing the *residential property* shall be constructed to compliment a residential structure and shall include the following:
 - a) Fenestration such as windows, doors and openings in the building wall; and
 - b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:
 - 1. Detail and embellishments:
 - a. Balconies,
 - b. Color and material banding,
 - c. Decorative metal grates over windows,
 - d. Uniform cornice heights,
 - e. Awnings.
 - 2. Form and mass:
 - a. Building mass changes including projection and recession,
 - b. Multiple types and angles of roofline, or any combination thereof.
 - c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet.

RESPONSE: The above referenced design standards apply to nonresidential development which *abuts residential properties*.

Section 47-35 Definitions of the ULDRs define residential properties as “Property which is zoned RS-4.4, RS-8, RD-15, RC-15, RM-15, RML-25, RMM-25, RMH-25, RMH-60 or MHP and which is used for a residential use, or which is vacant.”

The subject property and all abutting properties are located in the Central Beach Regional Activity Center and are zoned Sunrise Lane Area District (SLA), which is not included in the city’s definition of residential zoned properties. As such, the design standards contained in this subsection do not apply to the subject property.

That being said, the Project proposes fenestration such as windows and openings in the building wall, balconies, and color material banding to enhance the appearance of the building.

- ii. *Loading facilities.* Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.

RESPONSE: The loading/ service area is located at the east end (hotel building) and south end (residential building) of the Property. Therefore, each building has its own loading and service areas. The east tower service area is screened from Sunrise Boulevard with a Landscape Buffer. The trash compactors and service areas are inside the building and not fronting any streets. The west tower service area is architecturally treated to be compatible with the design of the building. The trash and service areas are inside the building. In both towers, the trash and service trucks have enough dimension to be within the property line and out of the R.O.W.

- iii. *Screening of rooftop mechanical equipment.* All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be required to be screened with material that matches the material used for the principal structure and shall be at least as high as six (6) inches above the top most surface of the roof mounted structure.

RESPONSE: The mechanical rooftop equipment, stair and elevator towers are screened as an integral part of the building, with screening that is at least 6 inches above the top surface of the mechanical equipment. Both towers are composed of curved rooftop elements that emphasize the sweeping corners of the building geometries and reinforce the organic basis of the overall design. The mechanical enclosures have been primarily located fronting the arrival drive in order to create a dialogue between the two towers and reinforce the appearance of movement in the space between them. Cladding of these enclosures not only serves to screen equipment from sight but also to pronounce material contrast that creates a vertical composition down to the ground floor, which both frames the building's curved terraces as well as visually connects the roof to the ground floor.

- c. *Setback regulations.* When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:
- i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to a maximum width equal to one-half ($\frac{1}{2}$) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

RESPONSE: The Project is not contiguous to any residential property as reflected in the definition of residential property provided in Section 47-35 of the ULDRs. As such, these setback regulations do not apply to the project.

- d. *Bufferyard requirements.* Excluding parks, open space and conservation areas, when a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:
- i. *Landscape strip requirements.* A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of Section 47-21, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line. All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.

RESPONSE: The Project is not contiguous to any residential property as reflected in the definition of residential property provided in Section 47-35 of the ULDRs. As such, these bufferyard requirements do not apply to the project.

- ii. *Parking restrictions.* No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.

RESPONSE: The Project is not contiguous to any residential property as reflected in the definition of residential property provided in Section 47-35 of the ULDRs. As such, these parking restrictions do not apply to the project. Notwithstanding, the Project includes a subterranean parking garage, which otherwise achieves the intent of these parking provisions.

- iii. *Dumpster regulations.* All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property and shall be screened in accordance with the Dumpster requirements, as provided in Section 47-19, Accessory Uses, Buildings and Structures.

RESPONSE: The Project is not contiguous to any residential property as reflected in the definition of residential property provided in Section 47-35 of the ULDRs. As such, these dumpster regulations do not apply to the project.

- iv. *Wall requirements.* A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with Section 47-19.5 and subject to the following:

- a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of Section 47-19.5,
- b) Shall be located within, and along the length of the property line which abuts the residential property,
- c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property,
- d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in Section 47-19.5, may be erected in lieu of the wall required by subsection iv. above. The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.

RESPONSE: The Project does not abut residential property as reflected in the definition of residential property provided in Section 47-35 of the ULDRs. The project is also not located adjacent to an alley. As such the provisions requiring a wall are not applicable to the project.

- v. *Application to existing uses.* Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur:

RESPONSE: The provisions of subsection v. and its corresponding provisions only apply to existing uses and as such, are not applicable to the Project.

e. *Neighborhood compatibility and preservation.* In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:

- i. All developments subject to this Sec. 47-25.3 shall comply with the following:
- a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

RESPONSE: The proposed use of the Property is a mixed use development (multifamily, hotel and commercial uses) that consists of 54 residential units and 100 hotel rooms with 4,698 square feet of commercial uses.

The Project preserves the intent of the Sunrise Lane Area (SLA) neighborhood by proposing uses that are compatible with the character and integrity of the adjacent SLA neighborhood, as further described below:

- **Proposed Uses:** The surrounding neighborhood contains a similar mixture of condos, hotel, time shares and various restaurants, retail shops and bars that are similar in scale and mass.
- **Height:** A “Context Plan” has been provided in the site plan submission, which illustrates that the Project is surrounded by buildings that are significantly taller than the proposed Project.
 - The Project is a maximum of 12 stories in height, which is consistent with and less of an impact than the pattern of existing high-rise development in the area.
 - With the exception of a couple of 2-3 story condos located south of the development site, the surrounding high-rise buildings range in height from 15 to 20 stories.
 - The adjacent condominium, Sunrise East, is 20 stories in height.
 - The proposed project at 12 stories, which is 8 stories less in height than the adjacent condominium.
- **Setbacks:** The Project also provides the following setbacks as allowed by the SLA zoning district:
 - **Front (Sunrise Blvd): 20 feet***

- **Front (NE 9th Court): 20 feet***
- **Side (East): 39'-9"***
- **Side (West): 10 feet***
- *** If approved as Site Plan Level IV**

The setbacks of the proposed project are similar to those of other high rise buildings within the SLA zoned area.

The Project also proposes improvements and modifications on-site that improve existing conditions, have no adverse impact, or minimize potential adverse impacts from traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods, as further described below:

- **Mass and Scale:**
 - **Floor Area Ratio:** With respect to scale, the project proposes a Floor Area Ratio for its commercial retail uses that is far less than the maximum permitted in the SLA district.
 - The SLA district allows up to a 2.0 Floor Area Ratio for retail/commercial uses.
 - The development site is 54,870 square feet in size, while the total square feet proposed for commercial use on the property is 4,698 square feet.
 - This equates to a 0.086 FAR, which is far below the maximum 2.0 FAR allowed in the SLA.
 - **Design Elements:**
 - The "5th facade" concept was applied to the Project as an important architectural character and defining feature for the Project.
 - Extensive design considerations went into the rooftop layouts of the Project in order to create both sculptured forms for the buildings, as well as to carve space for landscaped pool decks to enhance views of the roof deck from adjacent high-rise buildings
 - The massing on both decks steps down in scale and are meant to be perceived as a single composition, rather than 2 individual towers.
 - In lieu of maximizing the build out of the east tower's top floor, the majority of the plate steps down to further emphasize the massing variations between the two towers.
 - This varying massing concept will animate the sightlines of the tower's roof silhouettes.
 - Though varying in form and scale, both towers share common materials and design elements that tie them together as a single composition on the site.

- **Traffic Analysis:** The Applicant hired Suzanne Danielsen, DC Engineers, to address traffic-related impacts. A methodology meeting was conducted with City staff and the Applicant agreed to study the intersections of Sunrise Boulevard/Birch Road and Birch Road/NE 9th Court. In addition, a Trip Generation Statement was prepared comparing the traffic generated by the existing uses vs. the proposed uses. The proposed uses will result in no increase in trips during the AM Peak Hour and a net reduction of -19 trips during the PM Peak Hour.
- **Review of Noise and Odor:**
 - Potential impacts from noise and odors are reduced as a result of locating outdoor activities on the roof deck, where they are also screened from view.
 - Additionally, by locating the parking within an enclosed parking garage the design of the project reduces the potential for vehicular noise typically generated from outdoor, exposed and surface parking lots.
- **Shadow Study:** Based on the three shadow studies that were prepared for the Project, and due to the buildings' positions, there are no negative impacts to the adjacent condominium and or amenities as the longest shadows occur at Sunrise and Sunset and are predominately shadowing to the North. There are no shadow impacts to any adjacent existing pools.
- **Review of Visual Nuisance Issues:**
 - The proposed Project improves the visual nuisances resulting from outdated commercial buildings and an expanse of surface parking lots that currently exist on the site.
 - Visual nuisances created by existing overhead powerlines, which currently stretch along NE 9th Court, will also be removed and replaced with underground powerlines to aesthetically enhance the street which serves as the main entrance to not only the proposed Project but also to other developments along this street.
 - The Project has also been designed with consideration of the views from nearby existing high-rise towers, albeit the criteria that is applicable under this section of the code applies to visual nuisances and not a change in views.
 - The project is 120' in height and is limited to 200' in building length for each building.
 - The site itself is a narrow site (only 100' in width).
 - The buildings are only 60' in width and separated by approximately 99, which allows for light, air and breezes to pass through.
 - The buildings have been sited to allow for the maximum separation possible, far exceeding the code minimum requirement.
 - The proposed buildings are also significantly lower in height compared to the high-rise buildings adjacent to them.
 - Both buildings are proposing rooftop landscaped decks to soften the views from the adjacent towers and animate the "5th facade" component of each building, as previously discussed.

- **Preservation of Sunrise Boulevard View Corridors:**
 - It should also be noted that the plans developed over time for the Central Beach speak to the preservation of views in the public realm, as it pertains to views along Sunrise Boulevard as one approaches the beach from the intracoastal bridge.
 - The Project does not include any modifications that result in a visual nuisance along Sunrise Boulevard as the public approaches the Central Beach area.
- **Pedestrian Enhancements:** Pedestrian activity will also be improved with the construction of new sidewalks and landscaping to frame the internal and perimeter streets/driveways.
- **Parking Improvements:** All of the parking is accommodated via a subterranean garage to mitigate perceived impacts of a parking garage and to allow for a more seamless transition and buffering from sidewalk to the building (without interruption by a ground level parking garage). In addition, the Applicant is proposing 6 on street parallel parking spaces.

- b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

RESPONSE: As noted on the City's website, there has been significant master planning for redevelopment in the Central Beach that has been ongoing for more than 30 years, the emphasis of which was to improve the remaining portions of the Central Beach to achieve the vision as a dynamic, mixed-use and pedestrian-friendly urban beach destination.

While a Central Beach master plan has not been formally adopted by the City, the Project does incorporate a mixture of uses and design elements that result

in a more pedestrian-friendly environment, consistent with the redevelopment planning for the Central Beach and the SLA area, as described below:

- The pedestrian experience will be greatly enhanced along 9th Court with the redesign of the street, adding a sidewalk and shade trees in the R.O.W. No sidewalk currently exists for the full length of 9th Court.
 - Extensive landscaping is proposed on both the South and North sides of the property facing the abutting streets.
 - A pedestrian plaza and bike racks have been added to promote pedestrian connectivity to the Sunrise Blvd. sidewalk, adjacent to a Retail component programmed on the ground floor of the Hotel.
 - Ample steps connecting to the property have been introduced, as well as sloped sidewalks providing a safe, accessible route.
 - Furthermore, to eliminate the need for podium parking, the Applicant is proposing to place all parking in a subterranean parking garage. This enables the ground level to be devoted to the hotel and condominium uses without having an unsightly parking garage at ground level.
- ii. Reserved.
 - iii. Reserved.
 - iv. All development that is located on land within the CBA zoning districts;
 - a) In addition to meeting the other applicable review requirements of this subsection 3., it shall be determined if a development meets the Design and Community Compatibility Criteria.

The purpose of the Community Compatibility Criteria is to define objectives for private sector development which either abuts or is readily visible from public corridors. The relationship between private and public sector development must be carefully planned to avoid negative impacts of one upon the other. The city's intent in implementing these objectives is to:

- i. Protect the investment of public funds in public corridor improvements.
- ii. Improve the visual and functional quality of both public and private development by coordinating the transition between these areas.
- iii. The ultimate goal of these objectives is to integrate buildings, vehicular circulation, pedestrian circulation, open space and site elements into a unique, pedestrian sensitive environment which stimulates revitalization.

The Community Compatibility Criteria that are required to be met are as follows:

b) *Bulk Controls:*

Density:

Building density should be consistent with the proposed use, adjacent development, and as required under the Central Beach Area, RMM-25, RMH-25 and RMH-60 zoning districts.

RESPONSE: The following is a breakdown of the density proposed for the Project, which is less than the maximum density permitted in the SLA zoning district:

<u>Use / Density limitation</u>	<u>Allowed</u>	<u>Proposed</u>
Residential (48 units/acre):*	60 units	54 units
Hotel (90 rooms/acre):*	113 rooms	110 rooms
*Development Site = 1.26 acre		

Floor Area Ratio:

Building floor area ratio (F.A.R.) should be consistent with the proposed use, and as required under the Central Beach Area.

- **RESPONSE:** The Project proposes a Floor Area Ratio for its commercial retail use that is far less than the maximum permitted in the SLA district.
 - The SLA district allows up to a 2.0 Floor Area Ratio for retail/commercial uses.
 - The development site is 54,870 square feet in size, while the total square feet proposed for commercial use on the property is 4,698 square feet.
 - This equates to a 0.086 FAR, which is far below the maximum 2.0 FAR allowed in the SLA.

Maximum Height:

Building height should be consistent with the proposed use, adjacent development, and as required under the Central Beach Area, and RMM-25, RMH-25 and RMH-60 zoning districts. No portion of a structure in excess of thirty-five (35) feet in height shall exceed the prescribed Beach Shadow Ordinance setback.

- **RESPONSE:** A “Context Plan” has been provided in the site plan submission, which illustrates that the Project is surrounded by buildings that are significantly taller than the proposed Project.
 - The Project is 12 stories in height, which is consistent with and less of an impact than the pattern of existing high-rise development in the area.
 - With the exception of a couple 2-3 story condos located south of the development site, the surrounding high-rise buildings range in height from 15 to 20 stories.
 - The adjacent condominium, Sunrise East, is 20 stories in height, as shown below.
 - The proposed project at 12 stories, which is 8 stories less in height than the adjacent condominium.

northbound A1A frontage should be built to the future right-of-way line unless otherwise approved under that district's community redevelopment plan.

RESPONSE: The Project is located in the Sunrise Lane Area (SLA) zoning district. As such, the provisions of this subsection do not apply to the Project.

c) *Massing Guidelines:*

Overall Height:

Buildings should be encouraged to vary in overall height and not be contained in a single volume of continuous height.

RESPONSE: The overall height is limited to 120 feet which is consistent with the SLA zoning district requirements. The hotel building (the east building) is 11 stories plus a rooftop recreational deck which has habitable areas on the rooftop. Thus, the building has the appearance of 12 stories with some rooftop structures which count toward the 120' height limitation. The residential condo building is 11 stories with a roof top deck (no habitable areas on the roof deck); therefore, the height has been measured to the roof slab consistent with the ULDR requirements.

Vertical Plane Moderation:

Buildings exceeding thirty-five (35) feet in height should be encouraged to maintain no more than three (3) stories without horizontal moderation in vertical surface plane. This moderation should consist of a minimum four feet horizontal variation in surface plane such as brise soleil, balconies, building projections, etc. Repetitive moderations should be discouraged.

RESPONSE: Both towers are composed of curved, streamline terraces that alternate geometries on varying levels of each building. Both towers share common materials but are composed so as to create separate compositions within the site.

Cornice Height:

All buildings should be encouraged to display a uniform cornice height of a maximum of thirty-five (35) feet in height. This cornice height should consist of a uniform alteration to the building massing for a minimum of twenty (20) feet perpendicular to the vertical surface.

RESPONSE: Both towers include a horizontal band that wraps the perimeter of each building. The band is located on the 3rd level of the east tower & on both the 2nd & 3rd levels of the west tower. The west tower's alternating bands help to create a dialogue between the 2 towers while maintaining a separate identity for each building.

Facade Treatment:

The first thirty-five (35) feet of exterior facade vertical plane should be encouraged to enhance the pedestrian environment by incorporating appropriate architectural features. Such features include cornice detailing, belt courses, corbelling, molding, stringcourses, ornamentation, changes in material or color, and other sculpting of the architectural surface which add special interest and are compatible with public sector site elements.

RESPONSE: Both towers incorporate contrasting materials and composition below the 2nd & 3rd levels horizontal belt lines. The horizontal belt lines help to maintain a sense of pedestrian scale and provide for a natural transition to the composition of the lower levels from the typical floors above.

Overstreet Connections:

Connections between structures which pass over public right-of-way may be permitted providing those connections have secured legitimate air rights over the public corridor and meet all applicable codes. Connections over A1A to the beach should be limited to select locations where significant amounts of above grade pedestrian traffic will be generated. Where possible, overstreet connections should access the promenade/beach at or near major beach portal features. All overstreet connections should be of exceptional design, which enhances the visual and functional quality of the streetscape and should be compatible with public sector site elements.

RESPONSE: There are no overstreet connections proposed for the Project. As such the criteria of this subsection does not apply to the Project as proposed.

d) *Street Level Guidelines:**Active Use:*

The first floor of all buildings, including structured parking, should be designed to encourage pedestrian scale activity. To stimulate pedestrian activity, buildings which front on A1A northbound should devote a majority of their first floor area to retail activities such as restaurants, shops, galleries and similar active uses. Street level retail uses should have direct access to the adjoining public sector sidewalk in addition to any other access which may be provided.

RESPONSE: The building does not front on A1A. As such the criteria of this subsection does not apply to the Project.

Structured parking facilities should be designed with street level frontages consisting of either occupied retail space or an architecturally articulated facade which screens the parking area of the structure. Street level openings to parking structures should occur only on sidestreets and be minimized to accommodate necessary vehicle entrances and pedestrian access only.

RESPONSE: Parking proposed for the Project is contained within a submerged parking structure, which is below grade. As such the criteria for street level

frontages, and other elements of this subsection do not apply to the Project as proposed.

Buildings which provide pedestrian active retail uses along a majority of their A1A northbound street level frontage may be permitted to exceed setbacks established under the Central Beach Area Zoning Districts (Section 47-12). In addition, street level retail and restaurant uses may be permitted to use a portion of the public sector sidewalk for sidewalk displays and/or outdoor dining areas. Private use of public sector sidewalks must be temporary only and subject to all applicable codes and lease arrangements. All displays, furnishings and other elements associated with these active street level uses should be designed and maintained to enhance the visual and functional quality of the streetscape and should be compatible with public sector site elements.

RESPONSE: Project is not located on A1A. As such the criteria of this subsection does not apply to the Project.

Fenestration:

To complement pedestrian scale activity on A1A and all People Streets, a majority of the first floor facade on these frontages should be windows, doors or other transparent architectural features. Expanses of solid wall should be minimized. Reflective surfaces on windows or doors should be discouraged. Street level windows and doors should be recessed or receive special design detailing which distinguish them from the building shaft and add variety to the streetscape.

RESPONSE: Project is not located on A1A nor is it located on a People Street. As such the criteria of this subsection does not apply to the Project.

Arcades/Canopies:

Buildings which border directly on A1A northbound or Las Olas Boulevard within the Planned Resort Development (PRD) district should incorporate an arcade or continuous architectural canopy along these frontages, unless otherwise approved under a community redevelopment plan. Buildings in other districts should be encouraged to incorporate an arcade or continuous canopy along their A1A northbound frontage providing the feature is consistent with the proposed use, adjacent development and meets all applicable codes. Arcades or continuous canopies should be a minimum of ten feet wide and maintain acceptable minimum clear height. Arcades and canopies should be designed as a fixed non-retractable element integral to the building's architectural mass and compatible with public sector site elements.

Non-continuous canopies, awnings and marquees should also be provided over street level window treatments and building entrances. Such features may be constructed of either rigid or flexible material but should complement the visual and functional quality of the streetscape and be compatible with public sector site elements. No arcade, canopy, awning or marquee should extend into the future public right-of-way nor interfere with street light fixtures or the growth and maintenance of street trees.

RESPONSE: The property does not border A1A or Las Olas Blvd. As such the criteria of this subsection does not apply to the Project.

Trash/Loading Facilities:

All building facilities for loading, trash and service should be incorporated within building volume and screened so as not to be visible from the street and pedestrian circulation areas. Trash/loading facilities should be discouraged on A1A and People Street frontages. Where buildings are of inadequate volume to accommodate these facilities, trash/loading facilities should be architecturally treated as part of the building mass and screened by solid walls, fences, planting or architectural devices which are compatible with public sector site elements. Trash/loading facilities must be of sufficient size and design to accommodate access by large vehicles.

RESPONSE: The East Tower service area is screened from Sunrise Blvd. with a Landscape Buffer. The trash service area is inside the building and not fronting any streets. The West Tower Service area is architecturally treated to be compatible with the design of the building. The trash service area is inside the building. In both towers, the trash trucks have enough dimension to be within the property line and out of the right-of-way.

e) *Other Guidelines:*

Energy Conservation:

Buildings should be oriented to take advantage of southeasterly breezes for summer cooling and interrupt occasionally strong northeasterly winds. Exterior glass surfaces should be shaded to improve energy efficiency. Roof and exterior wall finishes should be light in color to encourage maximum reflection/minimum transmission of heat loadings.

RESPONSE: Both towers are oriented to take advantage of the prevailing winds. Deep terraces will help shade the glazed envelope. The project includes Energy efficient glazing, roofing and insulation assemblies. Planting areas on the elevated decks will help minimize heat island effect.

Building Separation:

Buildings should allow adequate space between structural masses for the passage of natural breezes. New building masses should be sited to the extent feasible so they maintain reasonable views to the ocean and Intracoastal Waterway from existing structures.

RESPONSE: The buildings have been sited to allow for the maximum separation possible, far exceeding the code minimum requirement. The buildings are only 60' in width and separated by 99'-6", which allows for light, air and breezes to pass through.

Rooftop Design:

Where possible, rooftops should be designed to accommodate various forms of human activity such as sun decks, tennis courts, outdoor cafes, etc. Roof surfaces not allocated to human activity should be finished with a surface material that does not effect the quality of views from surrounding buildings.

RESPONSE: Both buildings (condo tower and hotel tower) have usable rooftops. The condo will have a pool and sundeck for use by the residents. Site furnishings at the rooftop will also be provided. Similarly, the hotel tower also incorporates a recreational pool deck which also includes a small rooftop bar in addition to landscaping and site furnishings.

All rooftop mechanical equipment, stair and elevator towers should be designed as an integral part of the building volume and/or adequately screened.

RESPONSE: The mechanical rooftop equipment, stair and elevator towers are screened as an integral part of the building, with screening that is at least 6 inches above the top surface of the mechanical equipment. Both towers are composed of curved rooftop elements that emphasize the sweeping corners of the building geometries and reinforce the organic basis of the overall design. The mechanical enclosures have been primarily located fronting the Arrival Drive in order to create a dialogue between the two towers and reinforce the appearance of movement in the space between them. Cladding of these enclosures not only serves to screen equipment from sight but also to pronounce material contrast that creates a vertical composition down to the ground floor, which both frames the building's curved terraces as well as visually connects the roof to the ground floor.

f) *Vehicular Circulation:**Ingress/Egress:*

For the CBA zoning districts, access drives to individual parcels should be limited to those necessary for the adequate function of the use contained therein. Direct vehicular access from A1A northbound should be discouraged unless otherwise approved under the Planned Resort Development (PRD) district community redevelopment plan. Direct vehicular access from A1A southbound should be limited to minimize traffic impacts on the state roadway. Direct vehicular access from sidestreets should be encouraged. Smaller parcels should be encouraged to share common access with adjacent parcels keeping curb cuts to a minimum.

RESPONSE: Applicant is proposing vehicular access from NE 9th Court. Access openings to Sunrise Blvd will be closed to allow for continuous pedestrian experience along Sunrise Boulevard and to allow for better vehicular flow on Sunrise Boulevard.

Arrival/Drop-off Areas:

Major arrival/drop-off areas should only be encouraged along sidestreets, especially those designated as People Streets. Arrival/drop-off areas should be encouraged to provide sufficient room for vehicle stacking, loading, unloading, and other main entrance functions. Pedestrian entries for all residential, hotel and commercial structures should be located the maximum possible distance from loading and service areas.

RESPONSE: Vehicular access will be solely from the side street of NE 9th Court (rather than Sunrise Blvd). There will be one main arrival court area where guests and residents can drop off their vehicle with the valet. The motor court area has been designed so the valet circulation is completely internal to the Property.

Other:

Individual parcels should be encouraged to accommodate transit stops for the county bus service, the proposed water taxi and other transit systems. Fire access lanes and other emergency vehicular accessways may be designated by the appropriate public agency. Uses that require service by large vehicles should be designed to allow large vehicle access without blockage of adjoining vehicular or pedestrian circulation.

g) *Pedestrian Circulation:**Urban Open Spaces/Plazas:*

Open spaces for public congregation and recreation should be encouraged to the extent that these spaces do not substantially interrupt the streetscape edge at the building line. Open spaces should be permitted both within and behind building yards in proportion to the bulk of the adjacent building. The streetscape edge should be maintained by architectural features (arcades) site furnishings (flagpoles, light standards) for landscape elements (palms, etc.) which provide continuity between the building line of adjoining structures.

All urban open spaces should be accessible and visible from the adjoining public sector corridor while providing for the safety and security of patrons. Severe elevation change and walls should be discouraged between the adjoining public corridor and the open space. Entryways and steps to these open spaces should be kept wide and welcoming in character. All urban open space must be kept handicap accessible.

The following amenities should be encouraged within urban open spaces: ornamental fountains, waterfalls, sculpture, trellises, arbors, seating facilities, landscape features, etc. Design features of these open spaces should serve to enhance the visual and functional quality of the adjoining corridor and be compatible with public sector site elements.

RESPONSE: An outdoor plaza area is proposed along Sunrise Boulevard adjacent to the "Grab-N-Go" located on the bottom floor of the east tower (the

hotel tower). Seating and bicycle racks are proposed within this plaza area to enhance the public realm and encourage pedestrian activity for the area. In addition the streetscape along NE 9th Court and Sunrise Boulevard will be enhanced through new landscaping and lighting.

Pedestrian Corridors:

Private sector pedestrian corridors, which supplement public sector pedestrian facilities and improve access to the beach and/or Intracoastal Waterway should be encouraged. These corridors should be of a width and design which encourages pedestrian use and whenever possible allows for emergency vehicle access. The corridors may pass through open air or enclosed portions of surrounding buildings providing the pedestrian experience is largely uninterrupted.

RESPONSE: For public sector pedestrian facilities, the pedestrian experience will be greatly enhanced along 9th Court with the complete redesign of the north side of the street, adding a sidewalk, landscaping, lighting and parallel parking in the right-of-way. No sidewalk currently exists for the full length of 9th Court, so the new streetscape and burying of the powerlines along NE 9th Court will be a significant upgrade from the current conditions.

Semi-private pedestrian connections are provided from the sidewalks through the motor court area to provide a pedestrian connection between Sunrise and NE 9th Court.

Parking:

Parking should be provided consistent with the proposed use, adjacent development and as required under Section 47-20. Access drives to parking should be limited to those necessary for the function of the facility and comply with vehicular ingress/egress guidelines outlined herein. Direct backout or "head-in" parking should be expressly prohibited.

Parking facilities should be located in close proximity to the building they serve with direct pedestrian access from parking to building which does not impact public pedestrian facilities. Vehicular circulation within parking areas should remain internal to the parking facility and public roads should not be utilized as part of the parking circulation system. Structure parking should be encouraged subject to the street level building guidelines outlined herein. Covered parking should also be encouraged providing the overhead structures are compatible with adjoining architecture/ site elements and comply with the building rooftop design guidelines outlined herein. Grade level parking must be adequately screened so parked cars are not visible from adjoining public corridors, and landscaped to moderate views from surrounding buildings.

Parking perimeters may incorporate walls, fencing, mounds and/or landscape treatments to meet the screening requirement providing these elements are compatible with adjoining public sector site elements and allow safe and secure use of parking facilities. Trash, storage and mechanical equipment located within

parking facilities should also comply with the screening requirements outlined herein.

RESPONSE: All parking (including the 5 spaces required per the Offsite Parking Agreement) will be provided in the subterranean garage. There is no surface parking (except for the loading areas).

h) *Perimeter Treatments:*

Screening:

All exterior trash, loading and equipment storage facilities should be screened so as not to be visible from adjoining public corridors and landscaped to moderate views from surrounding buildings. Mechanical equipment including all handling units, exhaust outlets, transformer boxes, electric switching units, etc. should be appropriately screened by planting and/or low walls wherever it cannot be concealed within the building volume.

RESPONSE: The east tower service area is screened from Sunrise Blvd. with a landscape buffer. The trash service area is inside the building and not fronting any streets. The west tower service area is architecturally treated to be compatible with the design of the building. There's sufficient height in the west tower to accommodate the front loading trucks to operate inside the building. Rooftop mechanical equipment will be fully screened w/ a perimeter aluminum screen assembly. Details of the aluminum assembly have been provided.

Grade level parking lots should be appropriately screened from adjacent pedestrian areas with walls, fencing and/or planting. Shrubs surrounding ground level parking lots should be of sufficient height to hide automobile grill work. Landscape material used to meet the above requirements should provide 100% screening within one growing season, and must be provided with an automatic irrigation system.

RESPONSE: All parking (including the 5 spaces required per the Offsite Parking Agreement) will be provided in the subterranean garage. There is no surface parking (except for the loading areas).

Any lot that becomes vacant through removal of a structure should be screened from the abutting public corridor. Vacant lot screening should utilize the elements described above and additional treatments as necessary to protect the visual and functional quality of the adjoining public corridor. Screening design, materials and maintenance should be compatible with public sector site elements.

RESPONSE: Acknowledged. The buildings will be demolished when the owner is ready to commence construction on the new building. Therefore, the property will not be vacant for any extended period. The owner will follow the construction mitigation (fencing, screening) requirements for construction sites.

Paving:

Public sector paving should be as shown on the approved Beach Revitalization streetscape plans or as specified in other sections of these guidelines. Paving systems used on private plazas and walkways should be compatible in pattern and scale to public sector paving. Private paving systems which immediately abut and are readily visible from adjoining public corridors should reflect the same color, material and texture as the public sector paving and provide a cohesive visual and functional transition without interruption.

While private paving systems should be of outstanding design and character, they should be encouraged to fit within the overall fabric of the streetscape and not dominate the visual experience. Private paving should be sensitive to the needs of the beach-going public and be handicap accessible. Paving design, materials and maintenance should be compatible with public sector site elements.

RESPONSE: The hardscape for the project includes decorative paving systems to complement the new streetscape that will be constructed along NE 9th Court and Sunrise Boulevard.

Landscape:

Private sector landscape planting should be consistent with the proposed use, adjacent development, and as required under Section 47-12 of the ULDR. Existing trees should be preserved or otherwise mitigated as outlined in the ordinance. Plant material should be used in a contemporary urban context, acknowledging the limitations of the beach environment, and creating a lush tropical environment in keeping with the visual quality of the beach and adjoining public corridors. Plant massings should be rich in material, with special attention given to the ground plane treatment. Color should be used in bold, massive statements where appropriate.

Private sector plant material which immediately abuts and is readily visible from adjoining public corridors should reflect the species, size, and spacing of the public sector landscape and provide a cohesive visual and functional transition without interruption. Landscape design and maintenance should be compatible with public sector site elements. Private sector landscape planting should be consistent with the proposed use, adjacent development, and as required under Section 47-12. Existing trees should be preserved or otherwise mitigated as outlined in Section 47-12. Plant material should be used in a contemporary urban context, acknowledging the limitations of the beach environment, and creating a lush tropical environment in keeping with the visual quality of the beach and adjoining public corridors. Plant massings should be rich in material, with special attention given to the ground plane treatment. Color should be used in bold, massive statements at intersections and where appropriate.

Private sector plant material which immediately abuts and is readily visible from adjoining public corridors should reflect the species, size, and spacing of the public sector landscape and provide a cohesive visual and functional transition without interruption. This street frontage landscaping should not be blocked visually by fences or other architectural treatments. All street frontages should

have palms and shade trees. One half of the trees on these frontages should be shade trees. Property abutting the Intracoastal Waterway should have trees and palms planted along this water frontage. Landscape design and maintenance should be compatible with public sector site elements.

RESPONSE: Complies. There is minimal landscaping on the site today. However, the new development proposes to significantly improve the aesthetics by installing new landscaping around the perimeter of the site and along the public corridors. Landscaping within the right-of-way of Sunrise Blvd will be approved by the Florida Department of Transportation, and the landscaping along NE 9th Court will be approved by the City. Overhead powerlines along NE 9th Court will be placed underground to improve the aesthetics of the streetscape and widen the variety of plant/tree species which can be planted along the streets (without the constraints that overhead powerlines would otherwise impose).

i) *Site Furnishings:*

Private sector site furnishings should be consistent with the proposed use, adjacent development, and as required by applicable codes. Site furnishings should be considered an integral component of the urban streetscape and designed/located accordingly. Emphasis should be given to maximizing passive relaxation opportunities in locations which allow varying degrees of interaction with adjacent pedestrian corridors. Visual clutter and haphazard distribution of site furnishings should be discouraged. Site furnishing design, materials, and maintenance should be compatible with public sector site elements.

Vending machines visible from public rights-of-way should be located and/or designed to be compatible with the adjacent development and public sector site elements. The location of these vending machines shall be compatible with adjacent architectural color and style; uniform in style, material, height and color when located next to other vending machines and must not interfere with public automobile or pedestrian access.

RESPONSE: There are no site furnishings proposed within the public right-of-way. As such, the provisions of this subsection do not apply to the Project.

j) *Signage:*

Private sector signage should be consistent with the proposed use, adjacent development, and as required under Section 47-12. Signage should be considered an integral component of the urban streetscape and designed/located accordingly. Signage should be restrained in character and no larger than necessary for adequate identification. Wherever possible, signage should be integrated with the building architecture, arcades or canopies. Private signage which improves the pedestrian's orientation to adjoining pedestrian and vehicular circulation systems should be encouraged.

Building signage should be discouraged above the building's second floor elevation except on hotels which may be permitted to display a single discrete

sign on both the north and south faces of the main building mass. Roof signs and billboards should be expressly prohibited. Freestanding signs should be located and sized so they do not obstruct views to/from adjoining parcels or impede clear view of pedestrian and vehicular traffic and traffic control devices.

The intensity and type of signage illumination should not be offensive to surrounding parcels or the uses therein. Signage style and character should enhance the visual and functional quality of the adjoining public corridor. Signage design, material and maintenance should be compatible with public sector site elements.

RESPONSE: All signage will be designed to code, as required under Section 47-12 Signage of the ULDR.

k) *Lighting:*

Private sector site lighting should be consistent with the proposed use, adjacent development, and as required under applicable codes. Site lighting should be considered an integral component of the urban streetscape and designed/located accordingly. Emphasis should be placed on both the nighttime effects of illumination quality and the daytime impact of the standard's appearance.

Site lighting should be consistent with the theme of the immediate context and compatible with the lighting of adjacent parcels. Light distributions should be relatively uniform and appropriate foot-candle levels should be provided for various uses. (Refer to adopted Public Sector Site Lighting Guidelines for average maintained foot-candle recommendations). All exterior private sector spaces should be sufficiently lit to allow police and citizen surveillance, enhance personal security, and discourage undesirable activities. Exterior lighting should be controlled by an automatic timer or photocell to insure regular activation.

Site lighting which immediately abuts and is readily visible from adjoining public corridors should reflect the fixture style, light source and illumination intensity of adjoining public lighting and provide a cohesive visual and functional transition without interruption. Site lighting design, materials and maintenance should be compatible with public sector site elements.

RESPONSE: A lighting plan has been included and designed to meet the standards set forth in the ULDR.

l) *Utilities:*

Private sector utilities should be consistent with the proposed use, adjacent development, and as required under applicable codes. Above-grade utilities should be integrated with surrounding uses and carefully located to minimize visual and functional impact on the adjoining streetscape.

New development should be encouraged to provide underground utility lines. Existing or renovated development should be encouraged to relocate overhead utility lines underground.

Any above-grade utility elements should be consistent in placement, orientation, mounting and material. All above-grade utility elements should be painted one unobtrusive color which allows the elements to blend with their surroundings. All above-grade utilities should be screened by planting and/or low walls so they are not visible from the street and pedestrian circulation areas.

RESPONSE: Overhead powerlines along NE 9th Court are going to be relocated underground.

m) *Site Plan Objectives:*

The following Site Plan Objectives shall be incorporated in all development proposals for the Central Beach Revitalization Area and RMM-25, RMH-25 and RMH-60 zoning districts. This section provides an outline on how and what outdoor spaces need to be provided as part of development proposals. The intent is to ensure that development is more than buildings and structures. The quality of the Central Beach Revitalization area will be enhanced with the addition of planned outdoor spaces.

RESPONSE: The project is not located in the Central Beach Revitalization Area. As such, the provisions of this subsection are not applicable to the Project.

n) *Usable Outdoor Spaces:*

Hotel and residential development shall provide usable outdoor recreation spaces designated to accommodate passive areas (sitting, etc.) and active areas (pools, etc.). Commercial development shall provide usable outdoor sitting and gathering spaces designed to furnish a place for pedestrians to view, use or consume the goods and services offered.

There shall be a variety in the sizes of outdoor spaces and the level of detail shall be such as ornamental fountains, waterfalls, sculptures, trellises, arbors, seating facilities and landscape features.

The total size required for the outdoor spaces will be evaluated on the size and use of the proposed development.

RESPONSE: Both the multifamily building and the hotel building provide rooftop recreational/pool decks for the residents and hotel guests. In addition to the rooftop amenities, the building incorporate amenities within the building as well. These include fitness and meeting/lounge areas customary to hotels and condo buildings.

Pedestrian Accessible Spaces:

Hotel and commercial development shall provide direct access to adjoining public sidewalks in order to stimulate pedestrian activity. These spaces shall supplement public sector walkways and improve access to the beach and the Intracoastal Waterway, or both.

RESPONSE: The proposed Project to improve Pedestrian Accessible space as a result of the following Project pedestrian-oriented design elements:

- The pedestrian experience will be greatly enhanced along 9th Court with the redesign of the street, adding a sidewalk and shade trees in the R.O.W. No sidewalk currently exists for the full length of 9th Court.
- Extensive landscaping is proposed on both the South and North sides of the property facing the abutting streets.
- A pedestrian plaza and bike racks have been added to promote pedestrian connectivity to the Sunrise Blvd. sidewalk, adjacent to a Retail component programmed on the ground floor of the Hotel.
- Ample steps connecting to the property have been introduced, as well as sloped sidewalks (not ramps) providing a safe, accessible route.
- Furthermore, to eliminate the need for podium parking, the Applicant is proposing to place all parking in a subterranean parking garage. This enables the ground level to be devoted to the hotel and condominium uses without having an unsightly parking garage at ground level.

o) *Defensible Space:*

All projects shall promote a secure environment. This is to be accomplished by designing with CPTED (Crime Prevention Through Environmental Design) principles.

RESPONSE: The project has incorporated four (4) principles of CPTED, as follows:

1. **Natural surveillance.** The Project incorporates natural surveillance measures by using natural sight lines, low planters and hedges. Since the streetscape is being redesigned, this will encourage pedestrian activity and “eyes on the street” to decrease the risk of criminal activity.
2. **Natural access control.** The Project strategically places doors, landscaping, shrubs and other physical elements to limit access to the buildings. Public access to the buildings occurs through one centralized arrival/motor court which will service both the residential building and the hotel building.
3. **Territorial reinforcement.** The Project has been designed to provide clear definition between public, semi-public and private spaces. The public realm is clearly defined along the perimeter of the site via sidewalks flanked by landscaping. As one moves to the semi-public areas, the use of materials and signage changes (i.e., the arrival court will be marked with pavers) to provide a demarcation between the public and semi-private realm. Planters are also placed strategically to provide a clear delineation that the public realm is ending and shifting to a semi-private to private realm. The private realm will be clearly delineated through signage and physical barriers such as doors and other security measures.
4. **Maintenance and management.** The residential and hotel buildings will be professionally managed. The streetscape installed in the right-of-way will

also be maintained by the hotel and/or condominium. Such maintenance and management, which will also serve to ensure continued surveillance of the proposed development.

In addition to the above requirements, the following may be required based on the site specifics of each project:

Provide plant material in the adjacent right-of-way.

RESPONSE: Applicant is proposing new landscaping along the right-of-way which will include street trees/shade trees as required by code.

Provide foundation/entry plantings to the development.

RESPONSE: The Project incorporates foundation and entry plantings along the perimeter of the site to provide a transition from the street to the building entrances.

All sites should exhibit lush tropical landscaping.

RESPONSE: Complies, see landscape plans.

Provide large trees/shrubs (mature plantings). This may be required in order to mitigate certain objectionable uses or needed to assist in the neighborhood compatibility of the proposed development.

RESPONSE: The Project is a hotel and residential project which is consistent with the existing pattern of development in the area. The landscaping has been designed to aesthetically improve the appearance of NE 9th Court which presently is dominated by surface parking lots with back-out parking and highly visible “back of house” areas belonging to the existing restaurant/commercial buildings on the Property. The new development incorporates landscaping elements which will improve the aesthetics of the street by burying unsightly overhead powerlines, constructing new sidewalks, new landscaping and placing loading areas within the building volume to mitigate unsightly back of house activities.

Preserve view corridors. The City recognizes that existing and new views to and from the Intracoastal Waterway, Atlantic Ocean, Bonnet House and public parks are important to maintain.

RESPONSE: The Project has been designed with consideration of the views from nearby existing high-rise towers, albeit the criteria that is applicable under this section of the code applies to visual nuisances and not a change in views.

- **The project is 120’ in height and is limited to 200’ in building length for each building.**
- **The site itself is a narrow site (only 100’ in width).**

- The buildings are only 60' in width and separated by 99'-6", which allows for light, air and breezes to pass through.
- The buildings have been sited to allow for the maximum separation possible, far exceeding the code minimum requirement.
- The proposed buildings are also significantly lower in height compared to the high-rise buildings adjacent to them.
- Both buildings are proposing rooftop landscaped decks to soften the views from the adjacent towers and animate the "5th facade" component of each building, as previously discussed.

Preservation of Sunrise Boulevard View Corridors:

- It should also be noted that the plans developed over time for the Central Beach speak to the preservation of views in the public realm, as it pertains to views along Sunrise Boulevard as one approaches the beach from the intracoastal bridge.
- The Project does not include any modifications that result in a visual nuisance along Sunrise Boulevard as the public approaches the Central Beach area.



PROJECT

**OCEAN PARK
HOTEL AND
RESIDENCES**

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REVISIONS		
NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADD: JO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

**A-000
COVER**

03.10.2022



**OCEAN PARK
HOTEL AND RESIDENCES**

DRC Case Number UDP-S21031

DRC LIST OF DRAWINGS

-	SURVEY
-	PLAT
R-001	RENDERINGS
R-002	RENDERINGS
R-003	RENDERINGS
R-004	RENDERINGS
R-005	RENDERINGS
R-006	RENDERINGS
R-007	RENDERINGS
SP-1	SITE PLAN

ARCHITECTURE DRAWINGS

A-001	ZONING DATA
A-002	ZONING DIAGRAM
A-003	AERIAL WITH CONTEXT PHOTOS
A-004	CONTEXT - SITE PHOTOS
A-005	CONTEXT - SITE PHOTOS
A-200	GROSS AREA CALCULATION
A-200	BASEMENT LEVEL
A-201	0100 & 0200 LEVELS
A-202	0300 & 0400 - 0900 LEVELS
A-203	1000 & 1100 LEVELS
A-204	1200 & ROOF LEVEL
A-300	SOUTH ELEVATION
A-301	NORTH ELEVATION
A-302	HOTEL EAST & WEST ELEVATIONS
A-303	CONDO EAST & WEST ELEVATIONS
A-500	DETAILS / MATERIALS
A-500A	DETAILS / MATERIALS
A-600	SECTION - OVERALL
A-601	BUILDING SECTIONS
A-602	ENLARGED SECTIONS
A-603	ENLARGED SECTIONS
A-604	WALL SECTION
A-605	ROOF SECTIONS
A-606	ROOF SECTIONS
A-700	3D AXO
A-701	3D AXO

LANDSCAPE DRAWINGS

L-1	TREE DISPOSITION PLAN, TABLE AND CALCULATIONS
L-2	HARDSCAPE PLAN
L-3	PLANTING PLAN (CONDO SITE)
L-4	PLANTING PLAN (HOTEL SITE)
L-5	LANDSCAPE DATA, PLANT LIST, DETAILS AND SPECIFICATIONS

LIGHTING DRAWINGS

L-6	LIGHTING SCHEDULE AND PHOTOMETRIC PLAN
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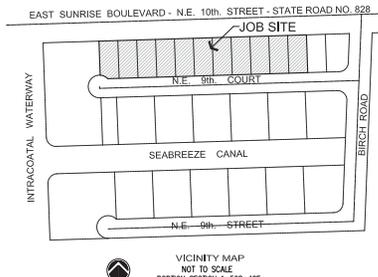
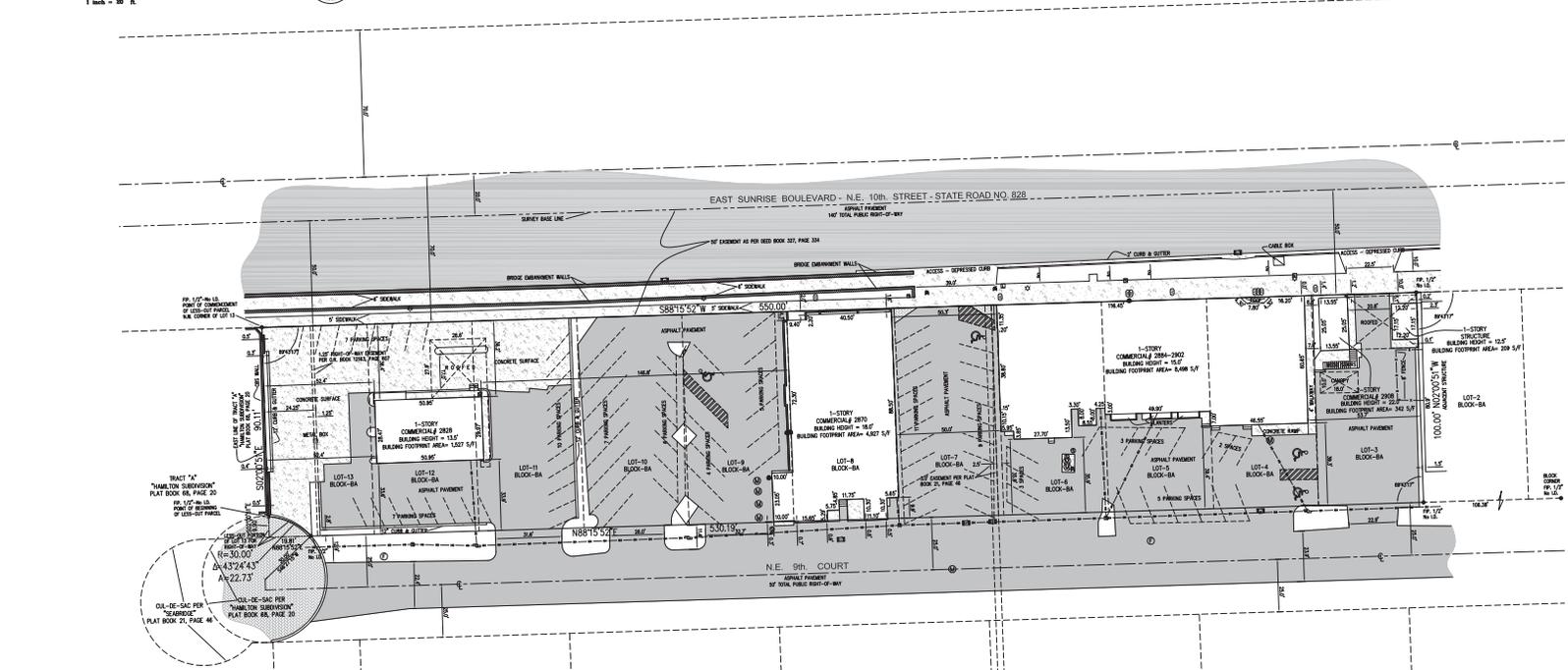
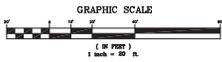
CIVIL DRAWINGS

C1	CONCEPTUAL PAVEMENT MARKING AND SIGNAGE PLAN
C2	PAVING, GRADING AND DRAINAGE PLAN
C3	WATER & SEWER PLAN

EXHIBIT DRAWINGS

X1	VEHICLE CIRCULATION EXHIBIT
X2	MAINTENANCE AGREEMENT EXHIBIT
X3	UTILITY / PUBLIC ACCESS EASEMENT EXHIBIT

ALTANSPS LAND TITLE SURVEY



TITLE REVIEW NOTES:
 SCHEDULE B - SECTION II
 TITLE COMMENT PROVIDED BY:
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 Commitment Order No. 84462-JL, effective date January 5, 2021 @ 11:00 PM
 Items 1 through 4, "Standard Exceptions".

- All matters contained on the Plat of SEABREEZE, as recorded in Plat Book 21, Page 46, Public Records of Broward County, Florida. (Does affect Subject Property - Records Plat)
- Easement to City of Fort Lauderdale, Florida for right of constructing and maintaining, governing, installing, parking, fire alarm system, telephone and electric wires, storm sewers and/or sanitary system and sewer mains, recorded in Deed Book 327, Page 33A, Public Records of Broward County, Florida. (Does NOT affect Subject Property - Platted on Survey in Right-of-Way)
- INTENTIONALLY DELETED
- INTENTIONALLY DELETED
- Resolution No. A-1143 for construction of sanitary sewers, recorded in O.R. Book 2743, Page 871, Public Records of Broward County, Florida. (Does affect Subject Property - Not a Plottable Survey Item)
- Right of Way Easement to State of Florida, Department of Transportation for right of way for public road purposes, recorded in O.R. Book 12863, Page 807, Public Records of Broward County, Florida. (As to Lots 11, 12 and 13) (Does affect Subject Property - Platted on Survey)
- Off-Street Parking Agreement as referenced in Resolution 85-5 recorded in O.R. Book 12283, Page 418, Public Records of Broward County, Florida. (As to Lots 11, 12 and 13) (Does affect Subject Property - Not a Plottable Survey Item)

NOTE: 7 foot Parapetway Easement recorded in O.R. Book 116, Page 11, Public Records of Broward County, Florida. DOES NO LONGER AFFECT SUBJECT PROPERTY, released on per Instrument Number 117384983, Public Records of Broward County, Florida.

SURVEYOR'S NOTES:

- This map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standards Detail Requirements for ALTA / NPS Land Title Surveys, jointly established and adopted by ALTA and NPS and meets the requirements for an urban survey defined therein.
- This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Easement of Encumbrances. OPINION ONLY.
- An examination of Commitment issued by OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, Commitment Order No. 84462-JL, effective date January 5, 2021 @ 11:00 PM was made in accordance with the requirements of the Survey. There may be additional restrictions not shown on the survey that may be found in the Public Records of this County.
- Accuracy:**
 The horizontal positional accuracy of well-defined improvement on this survey is +/- 0.2'. The vertical accuracy of elevations of well-defined improvement on this survey is +/- 0.1'. Details described are not shown herein.
- Not used without the signature and the original notes and a Florida Licensed Surveyor and Mapper Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- Contact the appropriate authority prior to any design work on the herein-described parcel for building and zoning information.
- Underground utilities are not depicted herein, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown herein.
- The surveyor does not determine fence and/or wall ownership.
- Drawings subject to OPINION OF TITLE.
- Type of Survey: ALTA / NPS LAND TITLE SURVEY.
- The north arrow shown herein is based on recorded plat of "SEABREEZE", according to the plat thereof as recorded in Plat Book 21, Page 46, Public Records of Broward County, Florida.
- ZONING INFORMATION:**
 Zoning Classification: SLA (Sunrise Lane Area District)
 Building Setback: Front, Rear & Street Side = 0 feet
 Number of Parking Spaces = 79 Standard Spaces & 4 Standard Spaces
 All measurements shown herein are made in accordance with the United States Standard Feet.
 Flood Zone Data Community Flood (22101/22831) Dated: 05/19/2014
 Flood Zone: "AE" Base Flood Elevation = +9'
 Elevations shown herein are relative to North American Vertical Datum of 1988
 Benchmark Used: Broward County Benchmark
 Subject Property has access to the following Public Right-of-Way: East Sunrise Boulevard and N.E. 9th Court.
 All parcels are contiguous to each other and taken together form one parcel without any intervening strip, strip or gaps.
 This SURVEY has been prepared for the exclusive use of the entities named herein. The Certificate does not extend to any successors.

PROPERTY ADDRESS / FOLIO:

LOT 3 - FOLIO #5042-01-14-0020 - 2908 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 4 - FOLIO #5042-01-14-0030 - 2902 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 5 - FOLIO #5042-01-14-0040 - 2892-98 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 6 - FOLIO #5042-01-14-0050 - 2892-98 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 7 - FOLIO #5042-01-14-0060 - 2870 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 8 - FOLIO #5042-01-14-0070 - 2870 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 9 - FOLIO #5042-01-14-0080 - 2870 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 10 - FOLIO #5042-01-14-0090 - 2828 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 11 - FOLIO #5042-01-14-0100 - 2828 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 12 - FOLIO #5042-01-14-0110 - 2828 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL
 LOT 13 - FOLIO #5042-01-14-0120 - 2828 EAST SUNRISE BOULEVARD, FORT LAUDERDALE, FL

LEGAL DESCRIPTION:
 Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 13, Block BA, of "SEABREEZE", according to the plat thereof as recorded in Plat Book 21, Page 46, Public Records of Broward County, Florida, LESS and except that portion of Lot 13 for road right-of-way, being more particularly described as follows:
 Commence at the Northwest corner of said Lot 13; Thence run S22°00'51"E, along the West line of said Lot 13, for a distance of 261.1 feet to the front of Beginning or parcel of land hereinafter to be described; Thence continue S22°00'51"E, along the West line of said Lot 13, for a distance of 59.0 feet to the Southwest corner of said Lot 13; Thence run N68°15'52"E, along the South line of said Lot 13, for a distance of 19.81 feet to a point on survey, said point being S42°27'57"E to the north point of a circular curve, concave to the Southwest and having for its elements a Radius of 30 feet and a Central Angle of 43°24'43"; Thence run Northeastward, along the arc of said circular curve, for an arc distance of 22.73 feet to the Point of Beginning.

SURVEYOR'S CERTIFICATE:
 THIS SURVEY CERTIFIED TO:
 - SUBJECT FOLIO (S) LIST - A Florida limited liability limited partnership
 - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 - THE JACOBS LAW GROUP

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standards Detail Requirements for ALTA / NPS Land Title Surveys, jointly established and adopted by ALTA and NPS, and meets the requirements for an urban survey defined therein. I further certify that this Survey meets the requirements for a Surveyor's Certificate as set forth by the Florida Board of Professional Surveyors and Mappers, Chapter 557.10, Florida Administrative Code, pursuant to Section 472.227, Florida Statutes.

Not used without the signature and the original notes and a Florida Licensed Surveyor and Mapper Additions or deletions to this survey map or reports by other than the signing party or parties are prohibited without written consent of the signing party.

For the Firm Royal Point Land Surveys, Inc. IBE 7282
 I, JACQUES JORDON, PROFESSIONAL SURVEYOR AND MAPPER, LICENSE #4333, STATE OF FLORIDA,
 I HEREBY CERTIFY THAT I AM THE SURVEYOR OF RECORD FOR THIS SURVEY.
 Survey Field Date: January 12, 2021
 Surveying Station: January 2021
 Remarks: June 30, 2021 Removal of easement between Lots 3 & 4

LEGEND

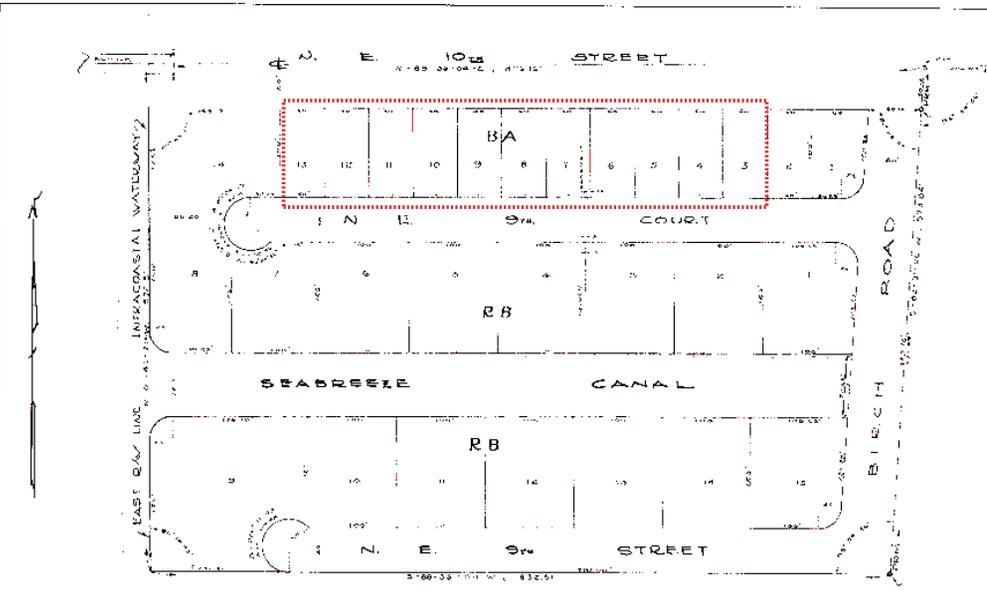
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--- Dotted Blue Line	--- Chain Division	--- Utility Easement
--- Solid Blue Line	--- Chain Division	--- Utility Easement
--- Dashed Red Line	--- Chain Division	--- Utility Easement
--- Dotted Red Line	--- Chain Division	--- Utility Easement
--- Solid Red Line	--- Chain Division	--- Utility Easement
--- Dashed Green Line	--- Chain Division	--- Utility Easement
--- Dotted Green Line	--- Chain Division	--- Utility Easement
--- Solid Green Line	--- Chain Division	--- Utility Easement
--- Dashed Yellow Line	--- Chain Division	--- Utility Easement
--- Dotted Yellow Line	--- Chain Division	--- Utility Easement
--- Solid Yellow Line	--- Chain Division	--- Utility Easement
--- Dashed Purple Line	--- Chain Division	--- Utility Easement
--- Dotted Purple Line	--- Chain Division	--- Utility Easement
--- Solid Purple Line	--- Chain Division	--- Utility Easement
--- Dashed Orange Line	--- Chain Division	--- Utility Easement
--- Dotted Orange Line	--- Chain Division	--- Utility Easement
--- Solid Orange Line	--- Chain Division	--- Utility Easement
--- Dashed Brown Line	--- Chain Division	--- Utility Easement
--- Dotted Brown Line	--- Chain Division	--- Utility Easement
--- Solid Brown Line	--- Chain Division	--- Utility Easement
--- Dashed Grey Line	--- Chain Division	--- Utility Easement
--- Dotted Grey Line	--- Chain Division	--- Utility Easement
--- Solid Grey Line	--- Chain Division	--- Utility Easement
--- Dashed Black Line	--- Chain Division	--- Utility Easement
--- Dotted Black Line	--- Chain Division	--- Utility Easement
--- Solid Black Line	--- Chain Division	--- Utility Easement

ROYAL POINT LAND SURVEYS, INC.
 6775 NW 150th Street, Suite 321, Miami Lakes, FL 33054
 Phone: 305-552-2662 Fax: 305-552-2669
 Email: info@royalpointland.com
 www.royalpointland.com

DATE: 01/12/2021
SCALE: 1" = 20'
FIELD DATE: 01/12/2021
JOB NO.: RP21-0055

DRWN: J.C.
CHECKED: P.J.A.
SCALE: 1" = 20'
FIELD DATE: 01/12/2021
JOB NO.: RP21-0055

1
 OF 1 SHEET



SEABRIDGE

A SUBDIVISION IN SECTION 1, TOWNSHIP 30 SOUTH, RANGE 42-EAST, FOOT LAUDERDALE, BROWARD COUNTY, FLORIDA.

DEVELOPED BY
DECKER, HANDLEY, AND SHEFFER, INC.
WALTER A. McFRESH, ENGINEER.

STATE OF FLORIDA
COUNTY OF BROWARD 35

Know all men by these presents: DECKER, HANDLEY, AND SHEFFER, INC., a CORPORATION, the owners of all the lands shown and described on this plat, has caused said lands to be subdivided and plotted in the manner herein shown, said subdivision to be known as "SEABRIDGE".

All streets, Avenues, Roads, and Waterways are hereby dedicated to the perpetual use of the public, reserving, however, unto DECKER, HANDLEY, AND SHEFFER, INC., a CORPORATION, its successors and assigns, the reversion or reversions whenever any of the same may be discontinued by law.

In witness whereof DECKER, HANDLEY, AND SHEFFER, INC., a CORPORATION, has caused this instrument to be signed by its president, and its corporate seal to be affixed and attested by its secretary this 11th day of April, A.D. 1946.

Signed, sealed and delivered in the presence of:
Walter A. McFresh
Walter A. McFresh

DECKER, HANDLEY AND SHEFFER, INC.
W. O. Decker
Walter A. McFresh

STATE OF FLORIDA
COUNTY OF BROWARD 35

I, hereby certify that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, W. O. Decker and Walter A. McFRESH, as president and secretary respectively, of DECKER, HANDLEY, AND SHEFFER, INC., a CORPORATION, and they acknowledged before me that they executed the foregoing dedication of the plat of "SEABRIDGE" as such officers of said corporation, in the name of said corporation, being duly authorized by said corporation to execute said dedication, and that said dedication is the act and deed of said corporation for the purpose therein expressed.

Witness my hand and official seal at Fort Lauderdale, Broward County, Florida this 11th day of April, A.D. 1946.

My Commission expires: *July 2, 1947*

STATE OF FLORIDA
COUNTY OF BROWARD 35

Know all men by these presents, that the undersigned FREDERICK CLAY BARTLETT and EVELYN FORBUSH BARTLETT, his wife, owners and holders of Mortgage Dated *March 17, 1946* and now on the lands shown on this plat do for themselves, their heirs, executors, administrators and assigns hereby join in consent to and approve the aforesaid plat of said lands executed by DECKER, HANDLEY, AND SHEFFER, INC., a CORPORATION.

We have hereunto set our hands and seals at Fort Lauderdale in said County and State on this 12th day of April, A.D. 1946.

Signed, sealed and delivered in the presence of:
Fredrick Clay Bartlett
Evelyn Forbush Bartlett

FREDERICK CLAY BARTLETT (HIS)
WIFE OF EVELYN FORBUSH BARTLETT

STATE OF FLORIDA
COUNTY OF BROWARD 35

I, hereby certify that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, FREDERICK CLAY BARTLETT and EVELYN FORBUSH BARTLETT, his wife, in me well known to be the individuals described in and who executed the foregoing dedication of plat of "SEABRIDGE", and that they acknowledged before me that they executed the same freely and voluntarily for the purpose therein expressed.

Witness my hand and official seal at Fort Lauderdale, Broward County, Florida this 12th day of April, A.D. 1946.

My Commission expires: *July 2, 1947*

STATE OF FLORIDA
COUNTY OF BROWARD 35

CITY CLERK CERTIFICATE

I, S. H. MARSHALL, CITY AUDITOR and CLERK of the CITY of FOOT LAUDERDALE, in Broward County, Florida, do hereby certify that this plat of "SEABRIDGE" was approved and accepted for record by the CITY COMMISSION of said CITY of FOOT LAUDERDALE in and by ordinance No. 2022 duly adopted at a regular meeting of said CITY COMMISSION on the 27th day of APRIL, A.D. 1946.

In witness whereof, I have hereunto set my hand and affixed the corporate seal of said CITY in said CITY this 27th day of APRIL, A.D. 1946.

S. H. Marshall
CITY AUDITOR AND CLERK AS AFORESAID.

STATE OF FLORIDA
COUNTY OF BROWARD 35

COUNTY CLERK CERTIFICATE

I, TED CABOT, Clerk of the circuit court of said county, and ex-officio clerk of the board of County Commissioners of said County, do hereby certify that this plat of "SEABRIDGE" was approved and accepted for record by the said Board of County Commissioners in and by resolution adopted by said board on this 27th day of APRIL, A.D. 1946.

Also that this plat complies with the provisions of "An Act to Regulate the MAKING OF SURVEYS AND PILING THE RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA", approved by the Governor June 16, 1925.

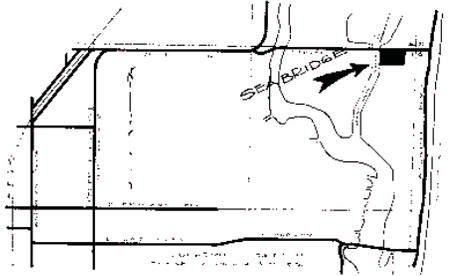
In witness whereof, I have set my hand and affixed the seal of said County of FOOT LAUDERDALE, Florida this 27th day of APRIL, A.D. 1946.

Ted Cabot
CLERK AS AFORESAID.

DESCRIPTION

A part of Government Lot 1, Section 1, Township 30 South, Range 42 East, Broward County, Florida, more particularly described as follows:

Beginning at a point on the North boundary of said Section 1, 486.03 ft West of the Northeast corner of said Section 1, thence South 2 degrees, 31 minutes, 00 seconds West, a distance of 571.84 feet to a point 572.0 feet South of, measured at right angles to the North boundary of said Section 1, thence South 88 degrees, 34 minutes, 04 seconds West, along a line parallel to and 572.0 feet South of, measured at right angles to said North boundary of said Section 1, a distance of 832.31 feet, to a point on the Easterly Right-of-way line of the Intra-coastal Waterway from Jacksonville, Florida, to Miami, Florida, according to the plat thereof recorded in Book 17 of page 44 of the public records of Broward County, Florida; thence along said Easterly Right-of-way line, North 01 degree, 40 minutes, 21 seconds West, a distance of 572.5 feet, to a point on the North boundary of said Section 1, thence along said North boundary of said Section 1, North 88 degrees, 34 minutes, 04 seconds East, a distance of 876.16 feet, to the point of beginning, containing 10.82 Acres more or less. Subject, however, to a road easement to the City of Fort Lauderdale, Florida, of 50 feet along the North boundary of said described property as described and recorded in Deed Book 327 of page 336 of the public records of Broward County, Florida, containing 05 Acres more or less.



PLANNING BOARD CERTIFICATE

This is to Certify that the CITY PLANNING BOARD of the City of FOOT LAUDERDALE, having approved and accepted this plat by resolution adopted this 12th day of April, A.D. 1946.

J. T. ...

COUNTY ENGINEER

This plat of "SEABRIDGE" approved for record this 12th day of April, A.D. 1946.

J. T. ...

CITY ENGINEER

This plat of "SEABRIDGE" approved for record this 12th day of April, A.D. 1946.

J. T. ...

STATE OF FLORIDA
COUNTY OF BROWARD 35

I, WALTER A. McFRESH, Registered Engineer and Registered Land Surveyor, do hereby certify that this plat of "SEABRIDGE" is a true representation of all the lands plotted and shown hereon, that PERMANENT REFERENCE MONUMENTS have been set as indicated by "R.S.M.", that these measurements have been made on the ground under my direction and are true and correct to the best of my knowledge and belief.

Dated at Fort Lauderdale, Florida, this 11th day of April, A.D. 1946.

Walter A. McFresh
Registered Eng. No. 4510
Reg. Land Surveyor No. 45
State of Florida



OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNRISE FTI VENTURES, LLP
150 SE 2nd AVENUE | SUITE 800
MIAMI, FL 33131

CONSULTANTS
LAND DEVELOPMENT ATTORNEY
LODGE & CHAMAS, P.A.
1401 E. BROWARD BLVD., SUITE 200
FORT LAUDERDALE, FL 33301
954.778.1119

ARCHITECT
NICHOLS BROSCH WURST WOLFE & ASSOCIATES, INC.
151 AMBER AVE
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305.463.0287
AIC 000680

LANDSCAPE ARCHITECT
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2300 NW CORPORATE BLVD., SUITE 214
BOCA RATON, FL 33431
561.212.3541

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, P.A.
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TRAFFIC ENGINEER
DC ENGINEERS, INC.
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CORAL SPRINGS, FL 33071
954.798.9928

SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6175 NW 13TH ST., SUITE 321
MIAMI GARDENS, FL 33074
305.822.6002

NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC SUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

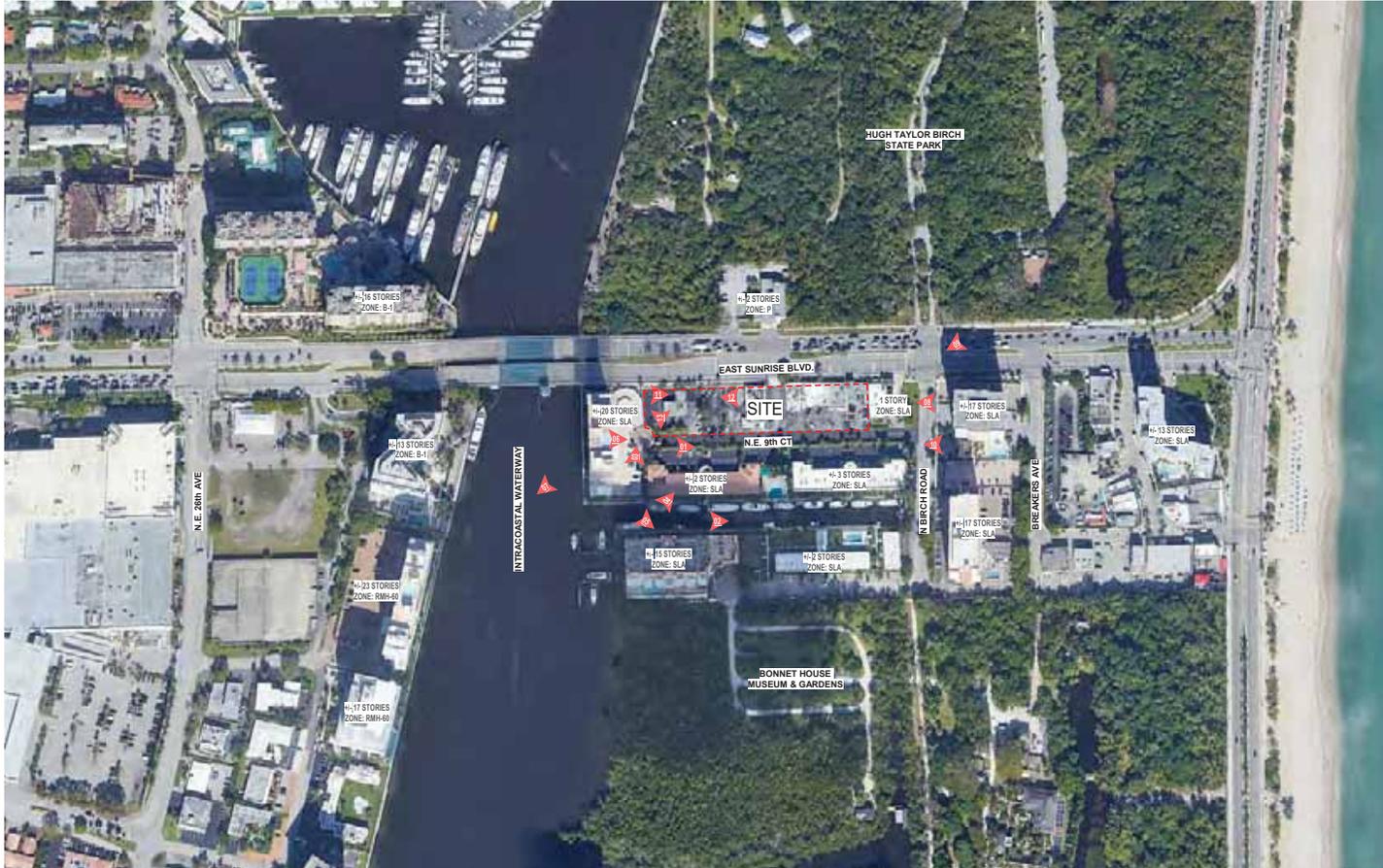
PROJECT NO.
21006

SEAL & SIGNATURE
ADD:FO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

A-003
AERIAL WITH CONTEXT
PHOTOS

03.10.2022



 **1** **A-003** NEIGHBORHOOD AERIAL WITH CONTEXT
1" = 1'-0"



**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNSHINE FTI VENTURES, LLP
150 SE 2nd AVENUE | SUITE 800
MIAMI, FL 33131

CONSULTANTS

LAND DEVELOPMENT ATTORNEY
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ROYAL POINT LAND SURVEYORS, INC.
6175 NW 15TH ST., SUITE 121
MIAMI LAKES, FL 33074
305.822.6000

NO.	DATE	ISSUE
1	09.20.21	DRC SUBMITTAL
2	03.10.22	DRC SUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

A-004
CONTEXT - SITE
PHOTOS
03.10.2022



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OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
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MIAMI, FL 33131

CONSULTANTS
LAND DEVELOPMENT ATTORNEY
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CIVIL ENGINEER
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LAUDERDALE-SENECA, FL 33308
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TRAFFIC ENGINEER
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CORAL SPRINGS, FL 33071
954.798.9928

SURVEYOR
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MIAMI LAKES, FL 33074
305.822.6063

NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

A-005
CONTEXT - SITE
PHOTOS

03.10.2022



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PROJECT

**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNRISE VTL VENTURES, LLP
150 SE 2nd AVENUE | SUITE 800
MIAMI, FL 33131

CONSULTANTS

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AIC 000680

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CIVIL ENGINEER
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TRAFFIC ENGINEER
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CORAL SPRINGS, FL 33071
954.798.9028

SURVEYOR
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6175 NW 113TH ST., SUITE 121
MIAMI LAKES, FL 33074
305.822.6002

NO.	DATE	ISSUE
1	03.10.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

R-001
RENDERINGS

03.10.2022



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PROJECT

**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNRISE FT. VENTURES, LLP
100 SE 2nd AVENUE | SUITE 800
MIAMI, FL 33131

CONSULTANTS

LAND DEVELOPMENT ATTORNEY
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FORT LAUDERDALE, FL 33301
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ARCHITECT
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AIC 000680

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NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

R-002
RENDERINGS

03.10.2022



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PROJECT

**OCEAN PARK
HOTEL AND
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2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

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REVISIONS

NO.	DATE	ISSUE
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PROJECT STATUS
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**R-003
RENDERINGS**

03.10.2022





PROJECT
OCEAN PARK HOTEL AND RESIDENCES

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PROJECT STATUS
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AR01778

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2	03.10.22	DRC RESUBMITTAL

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03.10.2022

PROJECT STATUS
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DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

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ADOLFO REYNA, ARCHITECT
AR01978

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RENDERINGS

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PROJECT
OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
 FORT LAUDERDALE, FLORIDA

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REVISIONS

NO.	DATE	ISSUE
1	03.10.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
 03.10.2022

PROJECT STATUS
 DRC SUBMITTAL

PROJECT NO.
 21006

SEAL & SIGNATURE
 ADOLFO REYNA ARCHITECT
 AR01758

DRC RESUBMITTAL

R-007
 RENDERINGS

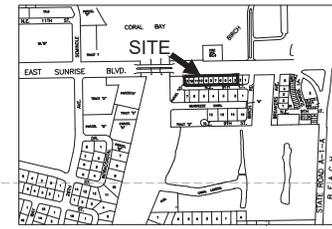
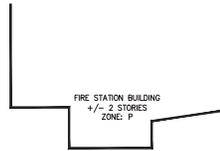
03.10.2022



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LAND DESCRIPTION:
 Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, and 13, Block BA, of "SEABRIDGE", according to the Plat thereof as recorded in Plat Book 21, Page 88, Public Records of Broward County, Florida, LESS and except that portion of Lot 13 for road Right-of-Way, being more particularly described as follows:

Commence at the Northwest corner of said Lot 13. Thence run S.02°00'51"E, along the west line of said Lot 13, for a distance of 90.11 feet to the Point of Beginning of parcel of land hereinafter to be described; Thence continue S.02°00'51"E, along the West line of said Lot 13, for a distance of 9.90 feet to the Southwest corner of said Lot 13; Thence run N.88°10'32"E, along the South line of said Lot 13, for a distance of 19.81 feet to a point on curve, said point bears S.48°27'15"W, to the radius point of a circular curve, concave to the Southwest and having for its elements a radius of 30 feet and a central angle of 43°24'43"; Thence run Northwesterly, along the arc of said circular curve, for an arc distance of 22.73 feet to the Point of Beginning.



LOCATION MAP
 NTS



FLYNN ENGINEERING
 211 CONGRESS BLVD. SUITE 1001
 FORT LAUDERDALE, FL 33304
 PHONE: (954) 552-1101 | WWW.FLYNNENGINEERING.COM

Sheet Title
SITE PLAN

Project Title
OCEAN PARK HOTEL AND RESIDENCES
 FORT LAUDERDALE, FLORIDA 33304



Revisions

No.	Description

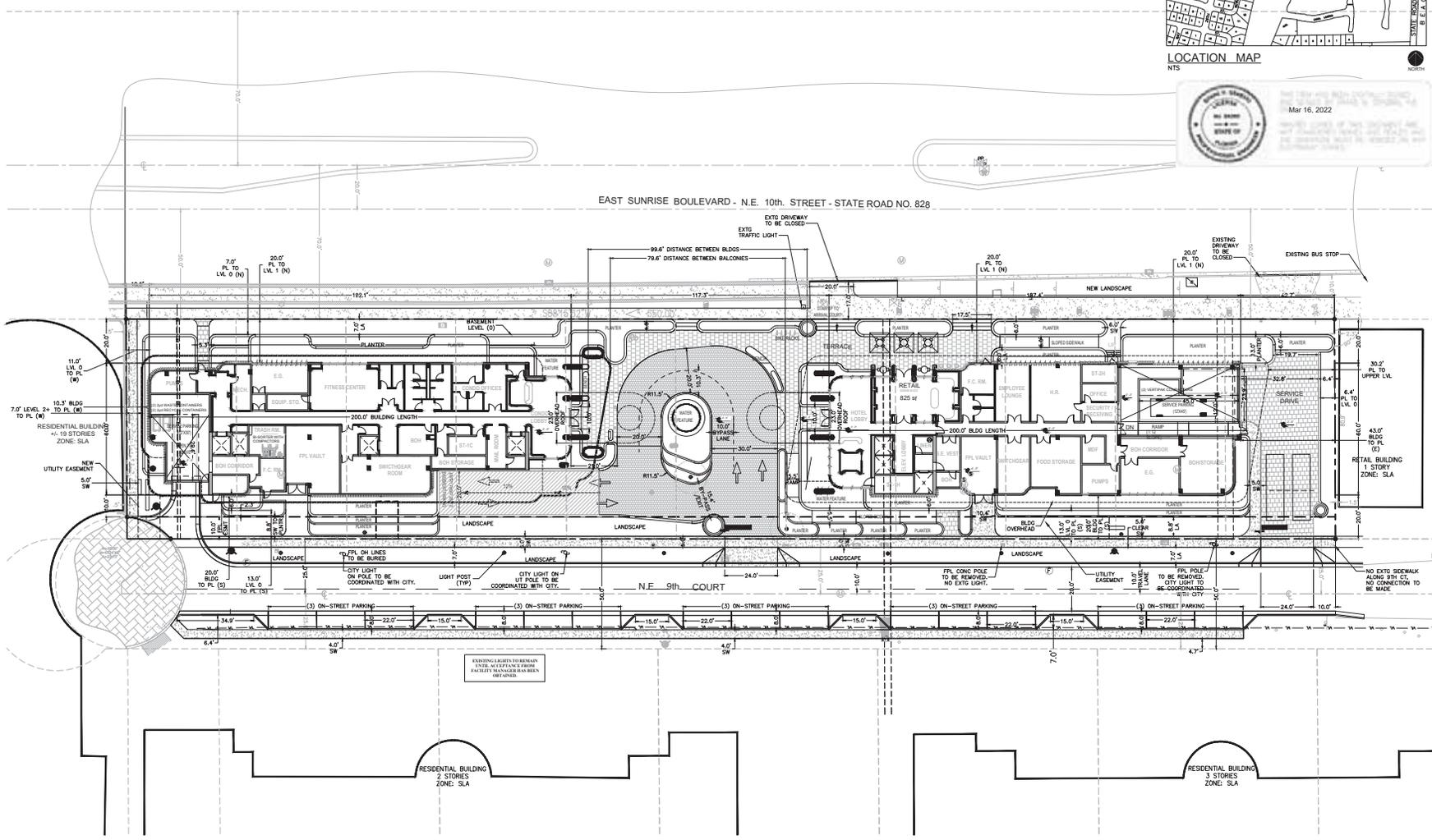
Phase:
 DRG # UDP-S21031
 DOCUMENTS

Shane H Grabski

Digitally signed by Shane H Grabski
 DN: cn=Shane H Grabski, o=Flynn Engineering, c=US
 Reason: I am the Signing Authority
 shaugh@flynneng.com
 Date: 2022.03.16 12:48:27 -0500

Scale:	Date:
1"=20'	07/09/21
21-1627.00	05/16/22
Drawn by: SHG	Sheet No.:
Proj. No.: SHG0	SP-1
Appr. by: AHF	1 of 1

03.10.2022



CASE:UDP-S21031
 PZB Exhibit 1
 Page 57 of 92



OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA
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REVISIONS

NO.	DATE	ISSUE
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DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

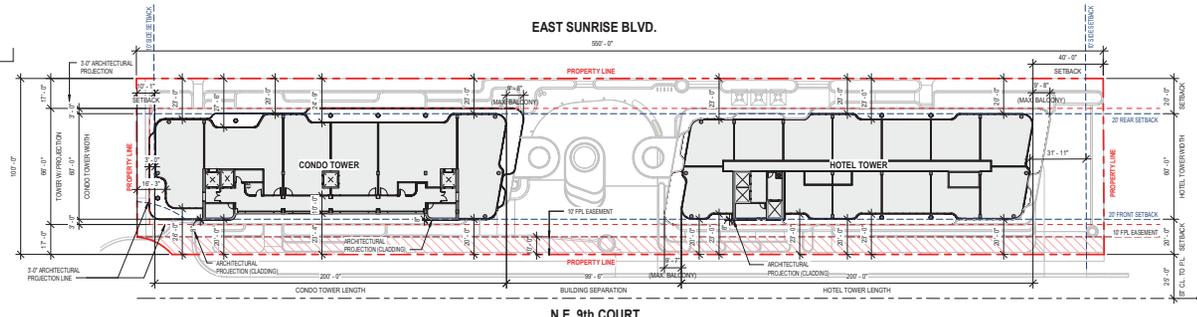
PROJECT NO.
21006

SEAL & SIGNATURE
ADD.FO REYNA ARCHITECT
AR1978

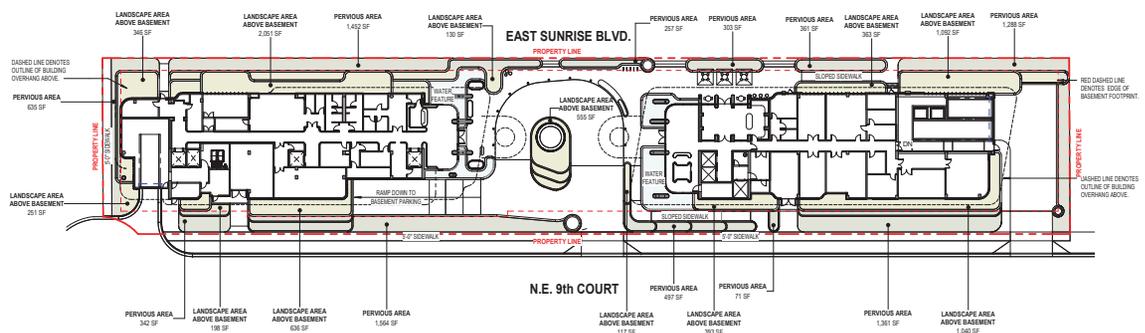
A-002
ZONING DIAGRAM

03.10.2022

DRC RESUBMITTAL



1 ZONING DIAGRAM - TYPICAL LEVEL
1" = 30'-0"



2 ZONING DIAGRAM - PERVIOUS AREA
1" = 30'-0"

PERVIOUS AREA

PERVIOUS AREA	8,130 SF	14.82%
LANDSCAPE AREA ABOVE BASEMENT	7,173 SF	13.07%
Grand total	15,302 SF	27.89%

- PERVIOUS AREA
- LANDSCAPE AREA ABOVE BASEMENT

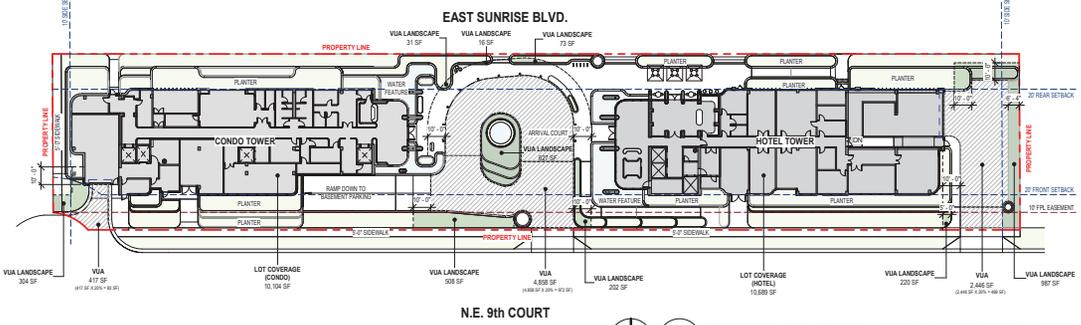
LOT COVERAGE

LOT COVERAGE (CONDO)	10,104 SF
LOT COVERAGE (HOTEL)	10,889 SF
LOT COVERAGE (TOTAL)	20,993 SF

VEHICULAR USE AREA (VUA)

VUA	7,720 SF
VUA LANDSCAPE	2,968 SF

- LOT COVERAGE (CONDO)
- LOT COVERAGE (HOTEL)
- VUA
- VUA LANDSCAPE



3 ZONING DIAGRAM - LOT COVERAGE & VUA
1" = 30'-0"
Graphic Scale: 1 inch = 30'-0"
0 15'-0" 30'-0" 60'-0" 90'-0" 120'-0"



OCEAN PARK HOTEL AND RESIDENCES

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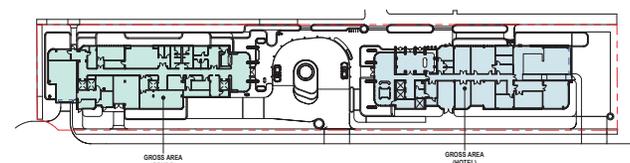
PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

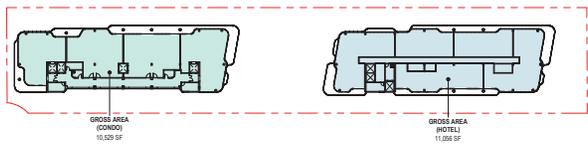
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AR9178

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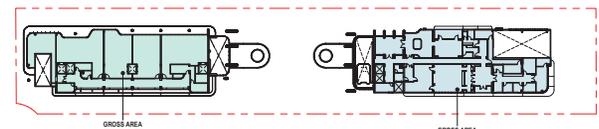
A-006
GROSS AREA
CALCULATION
03.10.2022



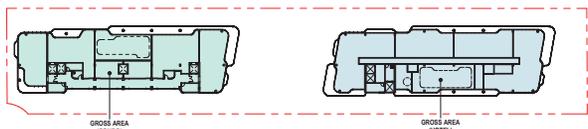
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A-006 1" = 50'-0"



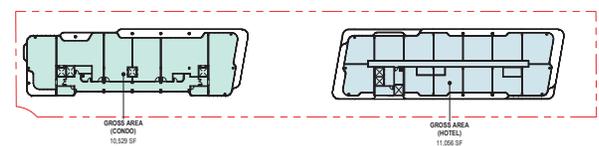
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A-006 1" = 50'-0"



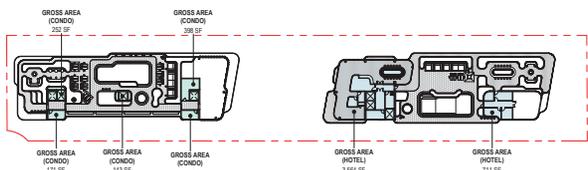
2 0200 LEVEL
A-006 1" = 50'-0"



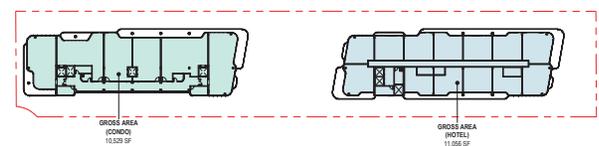
6 1100 LEVEL
A-006 1" = 50'-0"



3 0300 LEVEL
A-006 1" = 50'-0"



7 1200 LEVEL - ROOF TERRACE
A-006 1" = 50'-0"



4 0400 - 0900 LEVELS
A-006 1" = 50'-0"

GROSS AREA (CONDO)
GROSS AREA (HOTEL)



GROSS AREA CALCULATION	
LEVEL	AREA
CONDO	
0100 LEVEL	10,104 SF
CONDO 0200 LEVEL	8,563 SF
CONDO 0300 LEVEL	10,529 SF
CONDO 0400 LEVEL	10,529 SF
CONDO 0500 LEVEL	10,529 SF
CONDO 0600 LEVEL	10,529 SF
CONDO 0700 LEVEL	10,529 SF
CONDO 0800 LEVEL	10,529 SF
CONDO 0900 LEVEL	10,529 SF
CONDO 1000 LEVEL	10,529 SF
CONDO 1100 LEVEL	10,529 SF
CONDO ROOF LEVEL	11,336 SF
TOTAL	114,564 SF

GROSS AREA CALCULATION	
LEVEL	AREA
HOTEL	
0100 LEVEL	10,688 SF
HOTEL 0200 LEVEL	8,320 SF
HOTEL 0300 LEVEL	11,056 SF
HOTEL 0400 LEVEL	11,056 SF
HOTEL 0500 LEVEL	11,056 SF
HOTEL 0600 LEVEL	11,056 SF
HOTEL 0700 LEVEL	11,056 SF
HOTEL 0800 LEVEL	11,056 SF
HOTEL 0900 LEVEL	11,056 SF
HOTEL 1000 LEVEL	11,056 SF
HOTEL 1100 LEVEL	11,056 SF
HOTEL ROOF TERRACE	4,276 SF
TOTAL	122,815 SF
TOTAL GROSS AREA (CONDO + HOTEL)	237,379 SF

NOTE:
1. BASEMENT PARKING EXCLUDED FROM GROSS FLOOR AREA CALCULATIONS PER ILLOR REG. 412.2.C.



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REVISIONS

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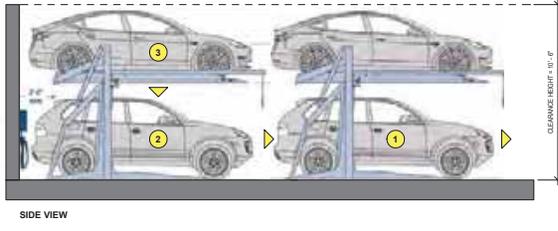
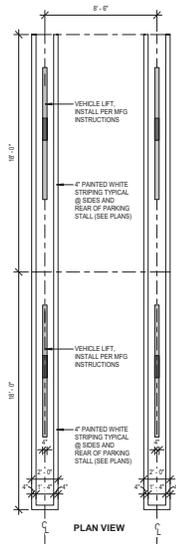
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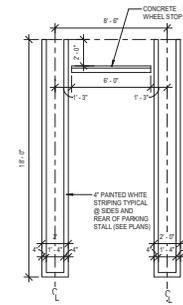
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BASEMENT LEVEL

03.10.2022

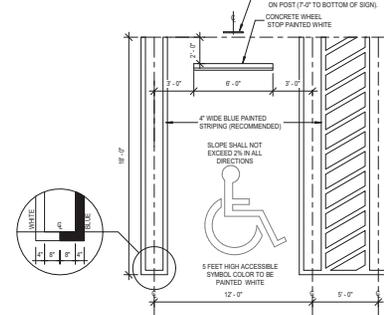
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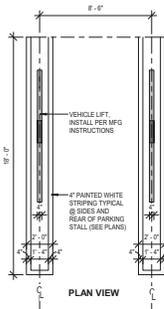
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A-200 1/4" = 1'-0"



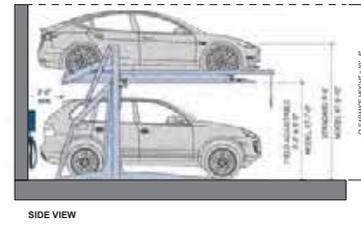
2 TYP. PARKING STALL
A-200 1/4" = 1'-0"



3 TYP. HANDICAPPED PARKING STALL
A-200 1/4" = 1'-0"

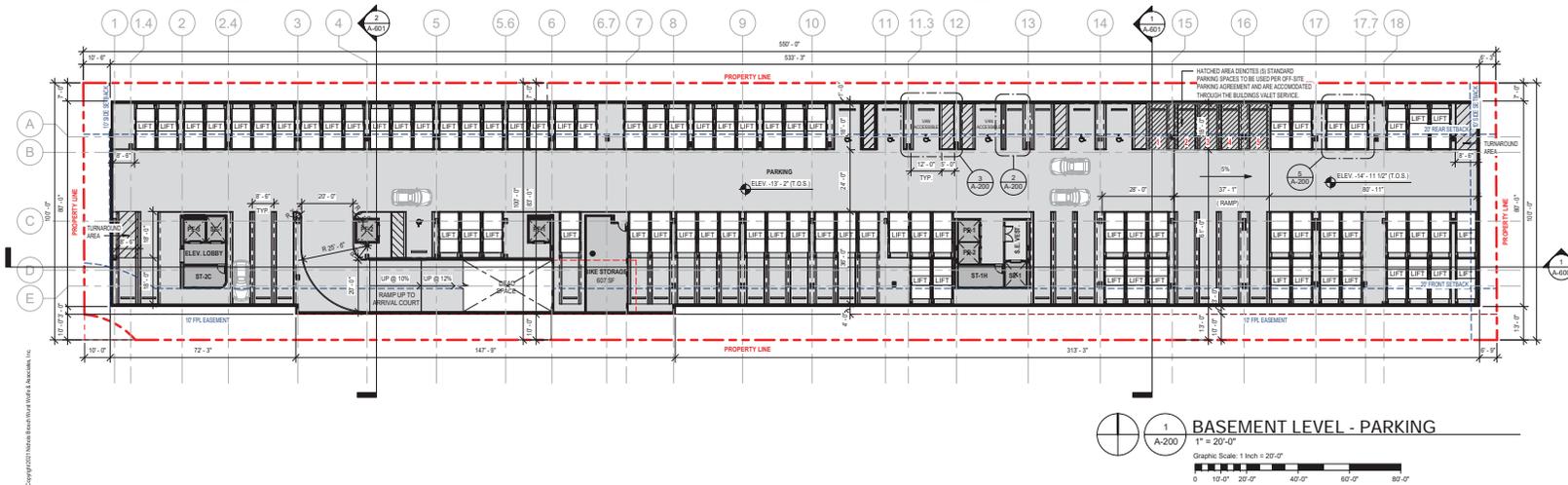


5 TYP. PARKING STALL WITH LIFT
A-200 1/4" = 1'-0"



PARKING SCHEDULE

PARKING TYPE	COUNT	TOTAL
ACCESSIBLE PARKING	2	0
STANDARD	7	7
STANDARD W/ LIFT	40	80
TANDEM	11	22
TANDEM W/ 2 LIFTS	13	52
TANDEM W/ LIFT	12	36
	93	205



1 BASEMENT LEVEL - PARKING
A-200 1" = 20'-0"
Graphic Scale: 1 Inch = 20'-0"
0 10'-0" 20'-0" 40'-0" 60'-0" 80'-0"



OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

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NO.	DATE	ISSUE
1	03.20.21	DRC Resubmittal
2	03.10.22	DRC Resubmittal

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

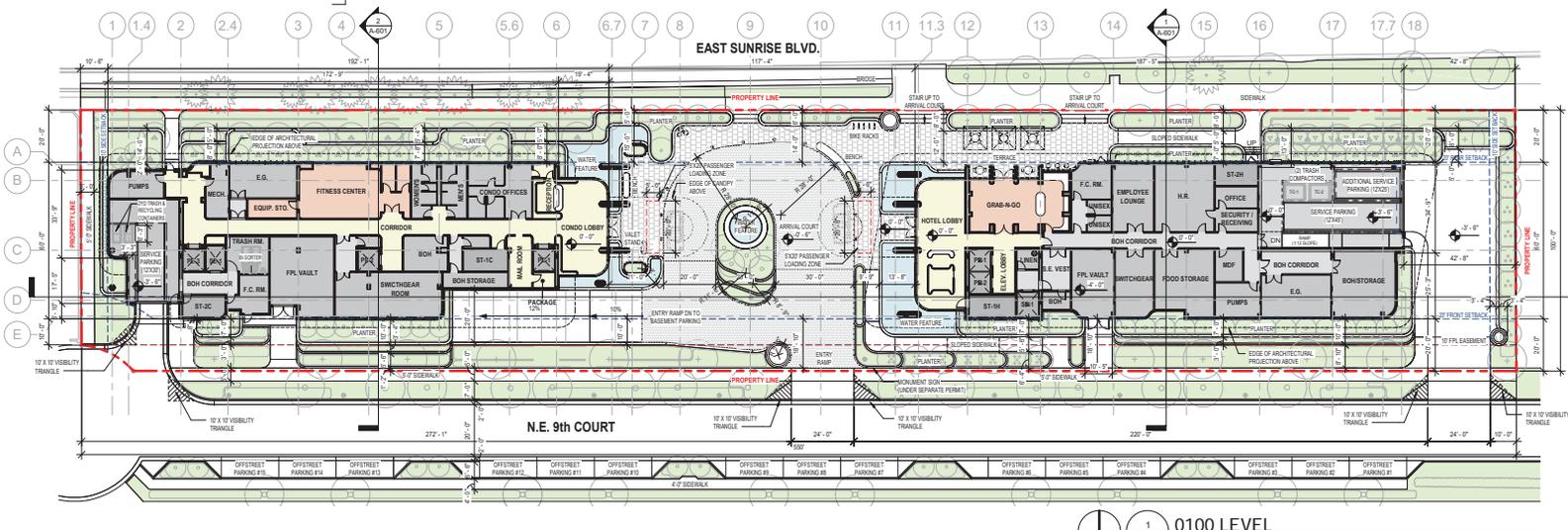
PROJECT NO.
21006

SEAL & SIGNATURE
ADD.FO REYNA ARCHITECT
AR9178

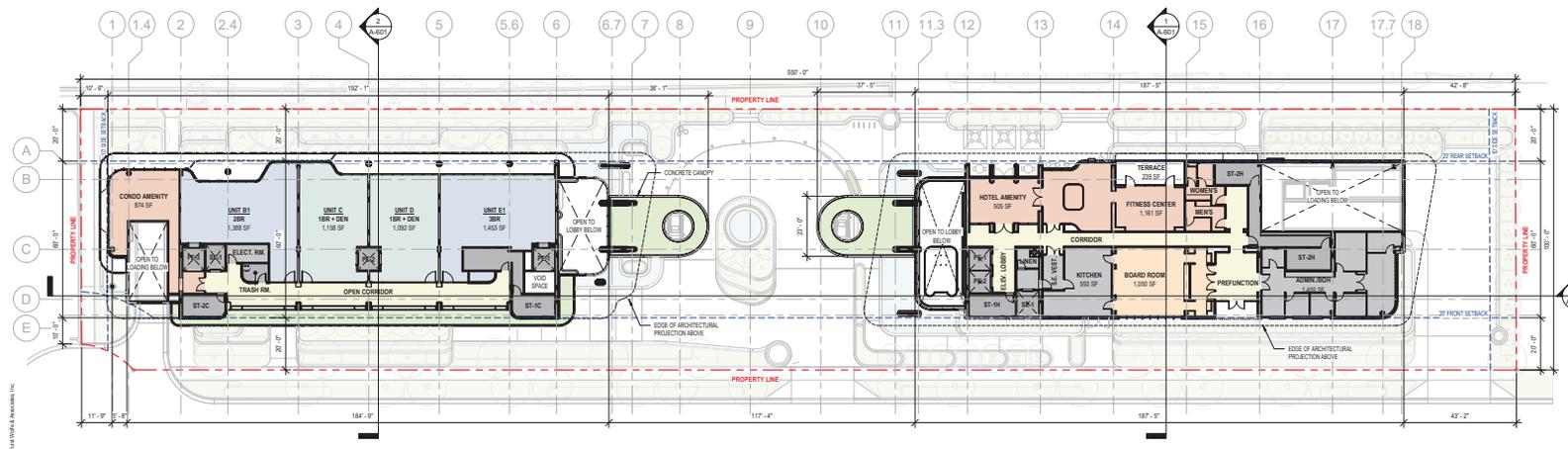
DRC RESUBMITTAL

A-201
0100 & 0200 LEVELS

03.10.2022



0100 LEVEL
1
A-201
1" = 20'-0"



0200 LEVEL
2
A-201
1" = 20'-0"



OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
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REVISIONS

NO.	DATE	ISSUE
1	03.10.21	DRC Resubmittal
2	03.10.22	DRC Resubmittal

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

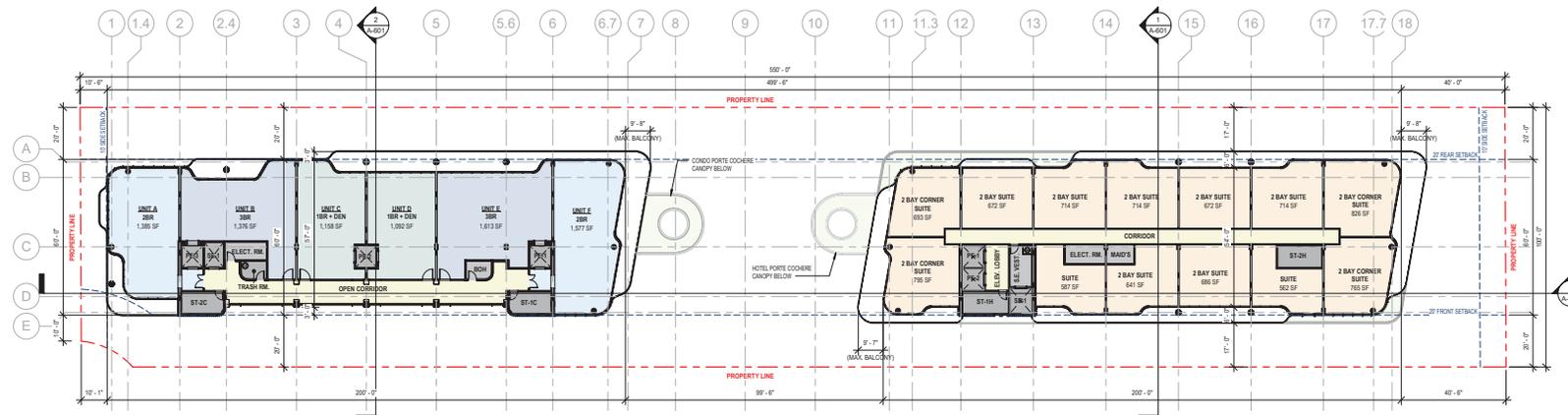
PROJECT NO.
21006

SEAL & SIGNATURE
ADD: JO REYNA, ARCHITECT
AR9178

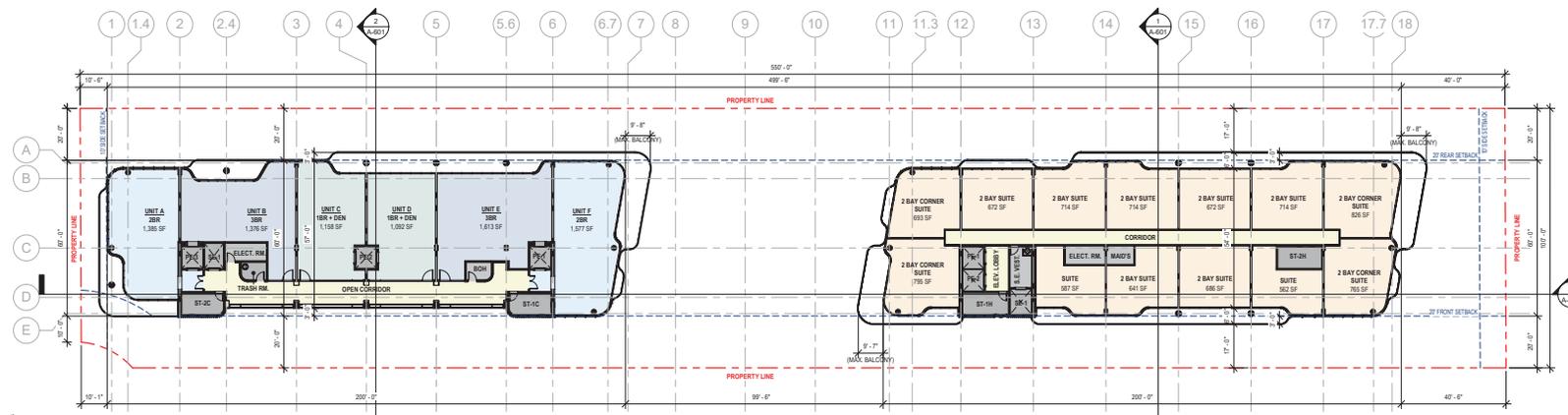
A-202
0300 & 0400 - 0900 LEVELS

03.10.2022

DRC RESUBMITTAL



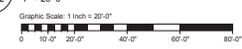
1 0300 LEVEL
A-202
1" = 20'-0"



2 0400 - 0900 LEVELS
A-202
1" = 20'-0"

LEGEND

- H_SUITE
- P_PUBLIC CIRCULATION
- R_1 BED
- R_2 BED
- R_3 BED
- S_BOH
- S_CORE



CASE:UDP-S21031
PZB Exhibit 1
Page 63 of 92



OCEAN PARK HOTEL AND RESIDENCES

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NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

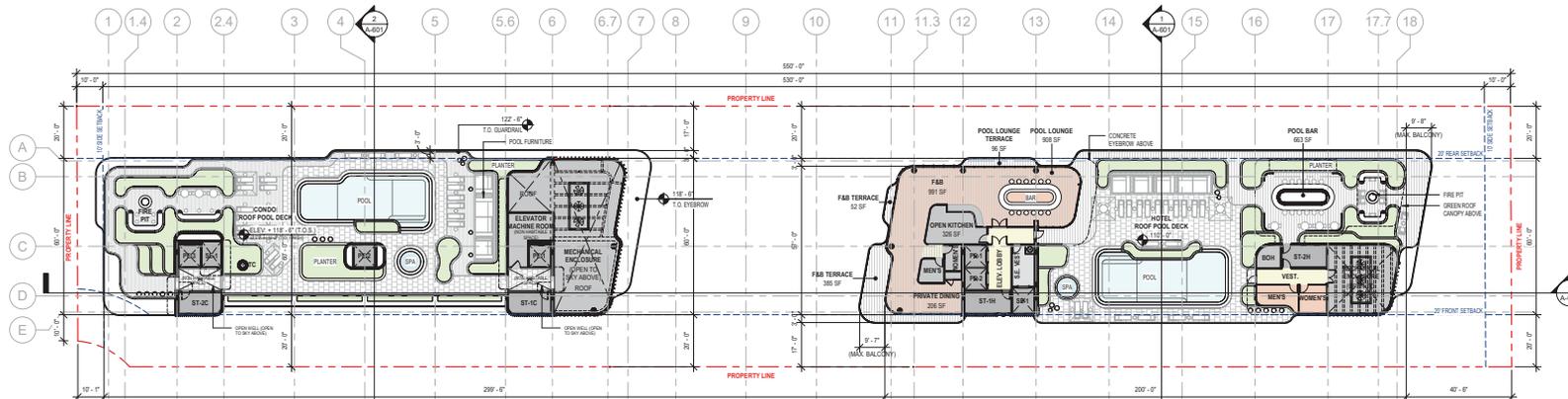
PROJECT NO.
21006

SEAL & SIGNATURE
ADDY REYNA ARCHITECT
AR9178

DRC RESUBMITTAL

A-204
1200 & ROOF LEVEL

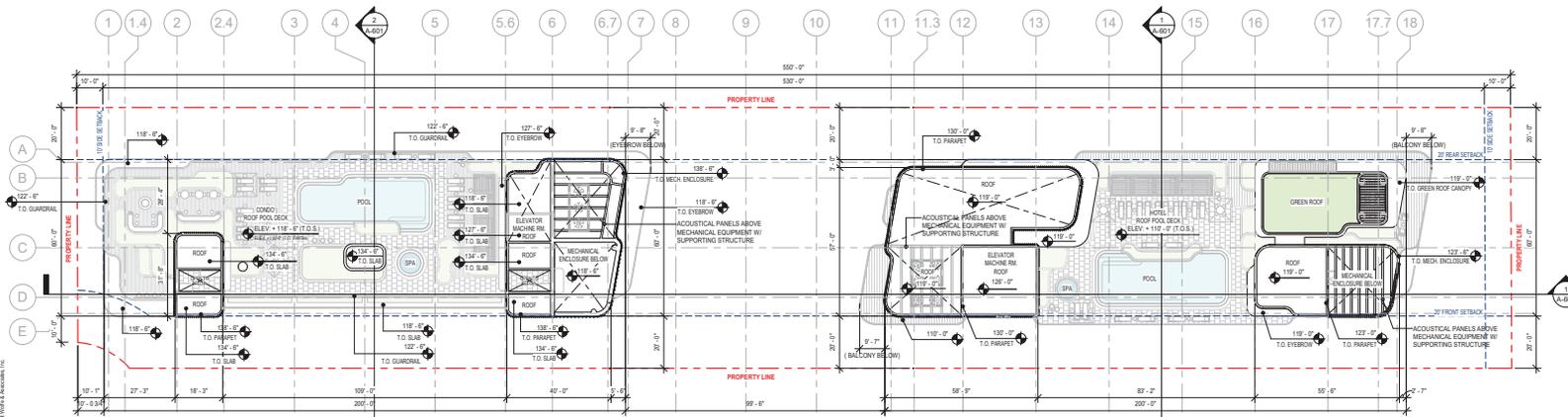
03.10.2022



LEGEND

- P_AMENITIES
- P_PUBLIC CIRCULATION
- P_RESTAURANT
- S_BOH
- S_BOH CIRCULATION
- S_CORE

1 1200 LEVEL - ROOF TERRACE
1" = 20'-0"



2 ROOF LEVEL
1" = 20'-0"

Graphic Scale: 1 inch = 20'-0"
0 10'-0" 20'-0" 40'-0" 60'-0" 80'-0"



OCEAN PARK HOTEL AND RESIDENCES

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NO.	DATE	ISSUE
1	03.10.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADD: FIORELLA ARCHITECT
AR9178

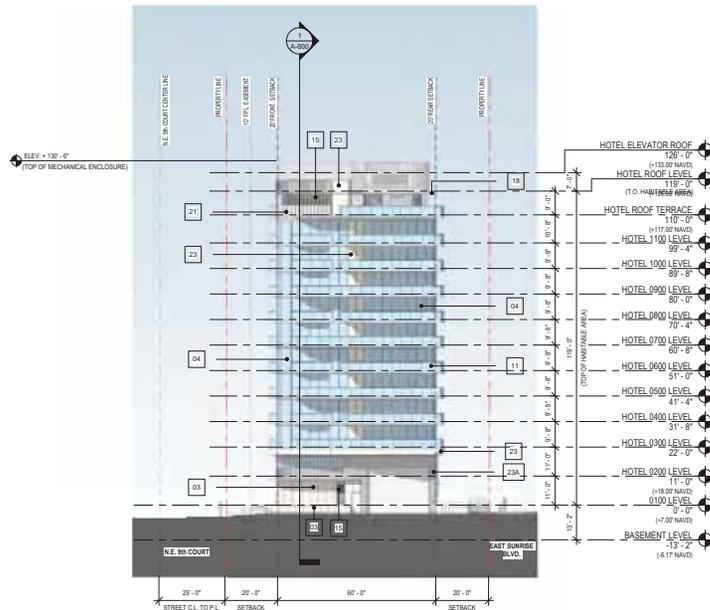
DRC RESUBMITTAL

A-302
HOTEL EAST & WEST ELEVATIONS

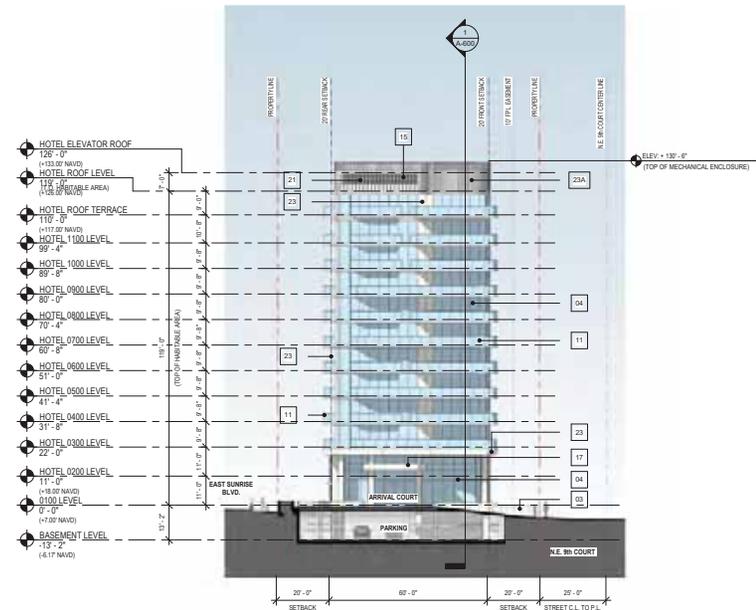
03.10.2022

#	DESCRIPTION
03	STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
11	ALUMINUM AND GLASS RAILING AT 42" A.F.F. W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
15	ALUMINUM MECHANICAL LOUVERS W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
17	CONCRETE CANOPY W/ ALUM. PANELIZED CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
18	GREEN ROOF CANOPY W/ ALUM. PANELIZED CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
21	ALUMINUM MECHANICAL EQUIPMENT VERTICAL VISION BARRIER SYSTEM W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS AND FREE AREA REQUIREMENTS.
23	PANELIZED ALUMINUM CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
23A	RIBBED EXTRUDED PANELIZED ALUMINUM CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.

- GENERAL NOTES**
- NO STRUCTURE SHALL EXCEED ONE HUNDRED TWENTY (120) FEET PER ULR SEC. 47-12.5.C.2
 - SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER ULR SEC. 47-23.3.A.3.B.III AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE. LOUVER SYSTEM WILL COMPLETELY SCREEN ALL MECHANICAL EQUIPMENT SO AS NOT TO BE SEEN.
 - MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION "AE 5" + 1.00' = +6.07' NAVD.



1 HOTEL EAST ELEVATION
A-302 1" = 20'-0"



2 HOTEL WEST ELEVATION
A-302 1" = 20'-0"



OCEAN PARK HOTEL AND RESIDENCES

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NO.	DATE	ISSUE
1	09.20.21	DRC Resubmittal
2	03.10.22	DRC Resubmittal

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADD: JO REYNA ARCHITECT
AR9178

DRC RESUBMITTAL

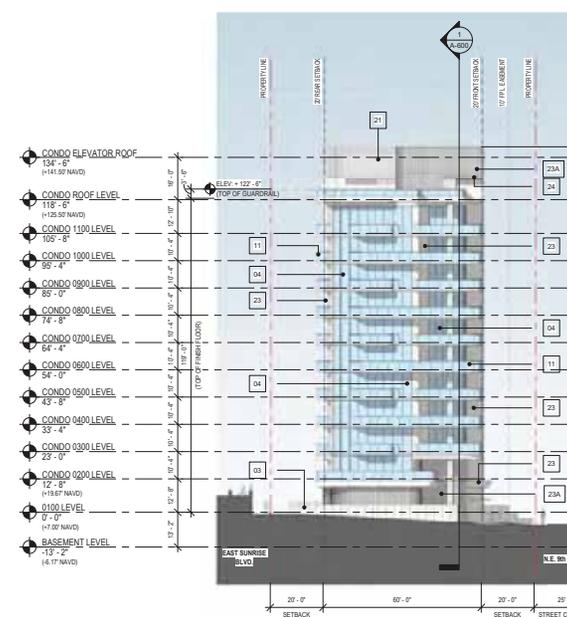
A-303
CONDO EAST & WEST ELEVATIONS
03.10.2022

KEYNOTE LEGEND	
#	DESCRIPTION
03	STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
11	ALUMINUM AND GLASS RAILING AT 42" A.F.F. W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
15	ALUMINUM MECHANICAL LOUVERS W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
17	CONCRETE CANOPY W/ ALUM. PANELIZED CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
21	ALUMINUM MECHANICAL EQUIPMENT VERTICAL VISION BARRIER SYSTEM W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS AND FREE AREA REQUIREMENTS.
23	PANELIZED ALUMINUM CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
23A	RIBBED EXTRUDED PANELIZED ALUMINUM CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
24	CONCRETE EYEBROW W/ ALUM. PANELIZED CLADDING W/ KYNAR FINISH, TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

- GENERAL NOTES**
- NO STRUCTURE SHALL EXCEED ONE HUNDRED TWENTY (120) FEET PER ULR SEC. 47-12.5.C.2
 - SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER ULR SEC. 47-26.3.A.3.B III AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE. LOWER SYSTEM WILL COMPLETELY SCREEN ALL MECHANICAL EQUIPMENT SO AS NOT TO BE SEEN.
 - MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION "AE 5" + 1.00' = +6.00' NAVD.



1 CONDO EAST ELEVATION
A-303 1" = 20'-0"



2 CONDO WEST ELEVATION
A-303 1" = 20'-0"



OCEAN PARK HOTEL AND RESIDENCES

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NO.	DATE	ISSUE
1	03.10.22	DRG SUBMITTAL
2	03.10.22	DRG SUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRG SUBMITTAL

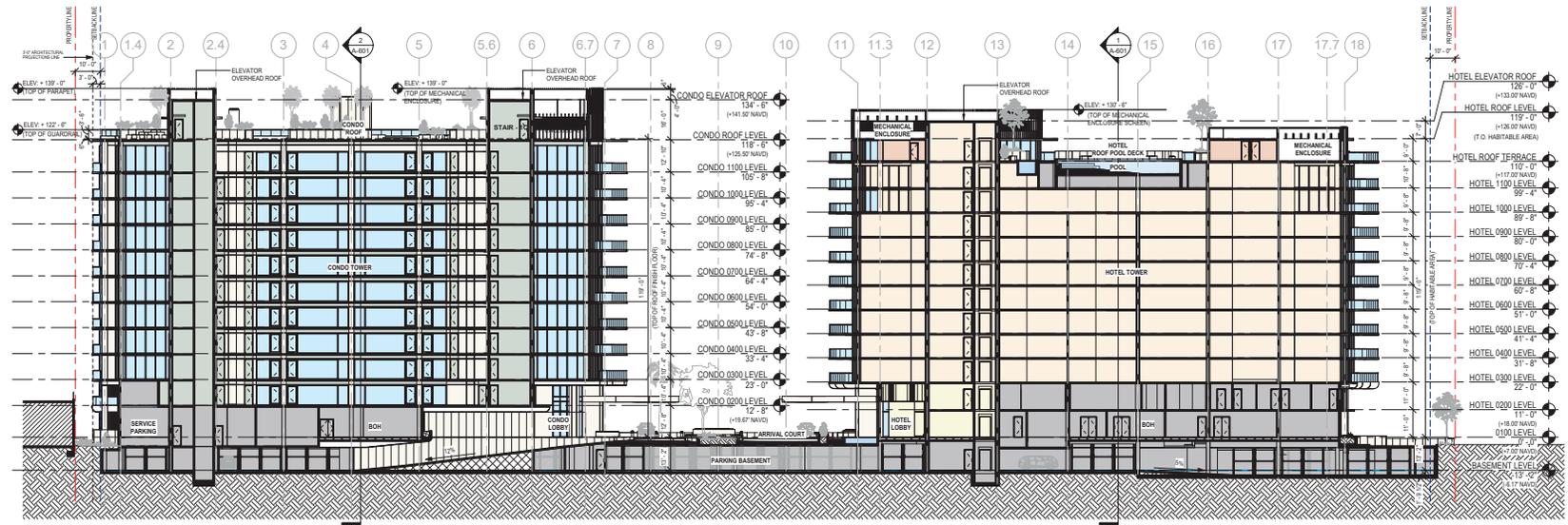
PROJECT NO.
21006

SEAL & SIGNATURE
ADD.FO REYNA ARCHT
AR9178

DRC RESUBMITTAL

A-600
SECTION - OVERALL

03.10.2022



1
A-600
OVERALL BUILDING SECTION
1" = 20'-0"

GENERAL NOTES

- NO STRUCTURE SHALL EXCEED ONE HUNDRED TWENTY (120) FEET PER ULDR SEC. 47-123.C.2.
- SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER ULDR SEC. 47-05.3.A.3.B.IV AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE. LOUVER SYSTEM WILL COMPLETELY SCREEN ALL MECHANICAL EQUIPMENT SO AS NOT TO BE SEEN.
- MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION "AE 5" + 1.00' = +6.00' NAVD.

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OCEAN PARK HOTEL AND RESIDENCES

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NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

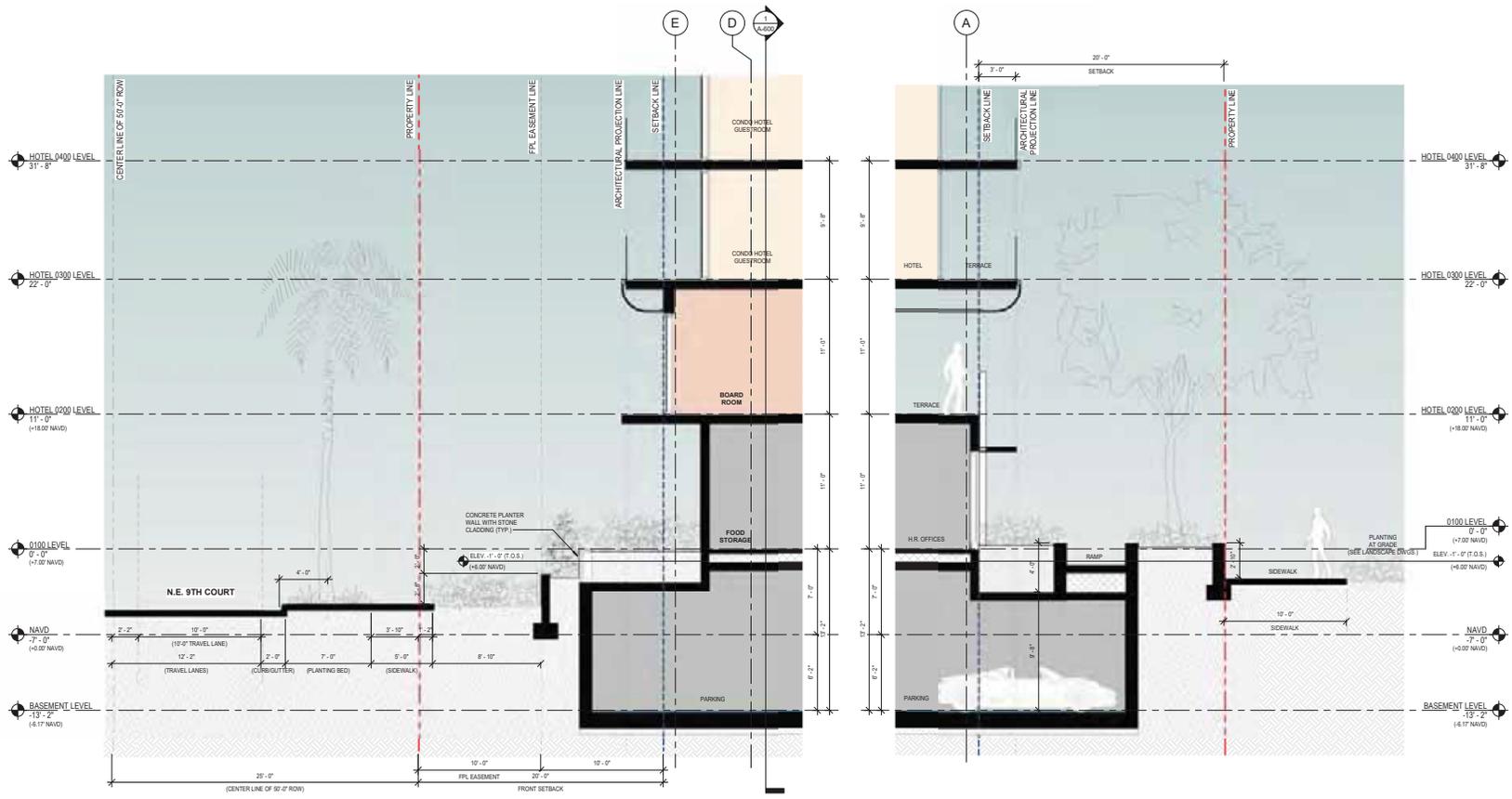
PROJECT NO.
21006

SEAL & SIGNATURE
ADD:FO REYNA ARCHITECT
AR9178

DRC RESUBMITTAL

A-602
ENLARGED SECTIONS

03.10.2022



1 NE 9TH COURT - SECTION HOTEL
A-602 1/4" = 1'-0"

2 SUNRISE BLVD. - SECTION HOTEL
A-602 1/4" = 1'-0"

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NO.	DATE	ISSUE
1	09.20.21	DRC RESUBMIT
2	03.10.22	DRC RESUBMIT

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

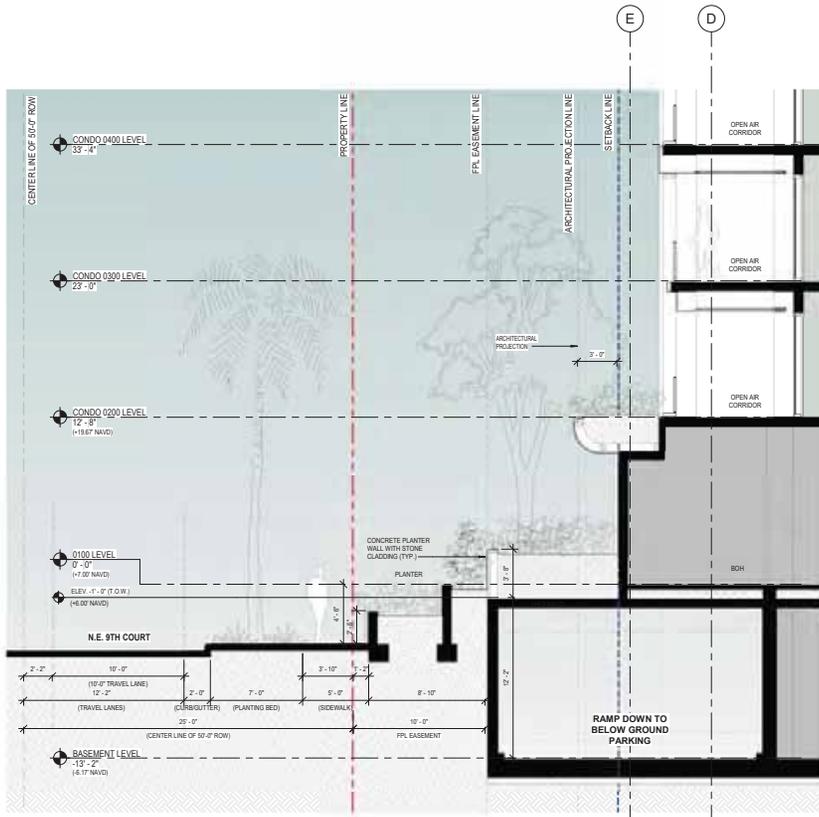
PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA, ARCHITECT
AR01798

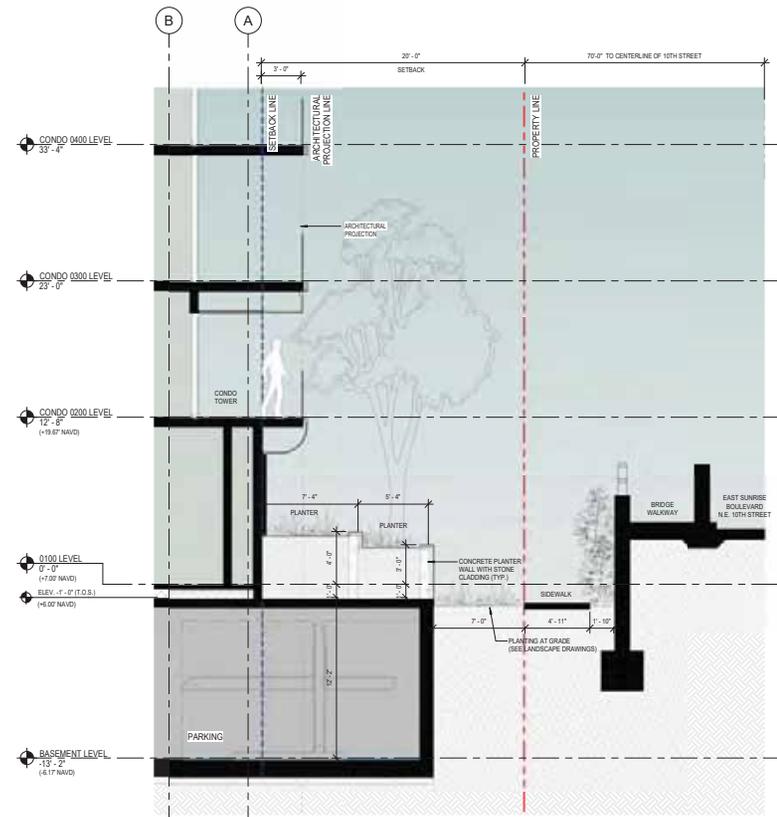
DRC RESUBMITTAL

A-603
ENLARGED SECTIONS

03.10.2022



1 NE 9TH COURT - SECTION CONDO
A-603 1/4" = 1'-0"



2 NE 10TH STREET - SECTION CONDO
A-603 1/4" = 1'-0"

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OCEAN PARK HOTEL AND RESIDENCES

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CORAL GABLES, FL 33134
305.443.1200
AIC 000680

LANDSCAPE ARCHITECT
SERBIN STUDIO BOCA, LLC
2300 NW CORPORATE BLVD., SUITE 214
BOCA RATON, FL 33481
561.212.3541

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, P.A.
241 COMMERCIAL BLVD.
LAUDERDALE-SENECA, FL 33308
954.522.1004

TRAFFIC ENGINEER
DC ENGINEERS, INC.
12142 NW 15TH COURT
CORAL SPRINGS, FL 33071
954.798.9928

SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6175 NW 15TH ST., SUITE 131
MIAMI GARDENS, FL 33074
305.822.6063

REVISIONS

NO.	DATE	ISSUE
1	09.20.21	DRG RESUBMITTAL
2	03.10.22	DRG RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRG SUBMITTAL

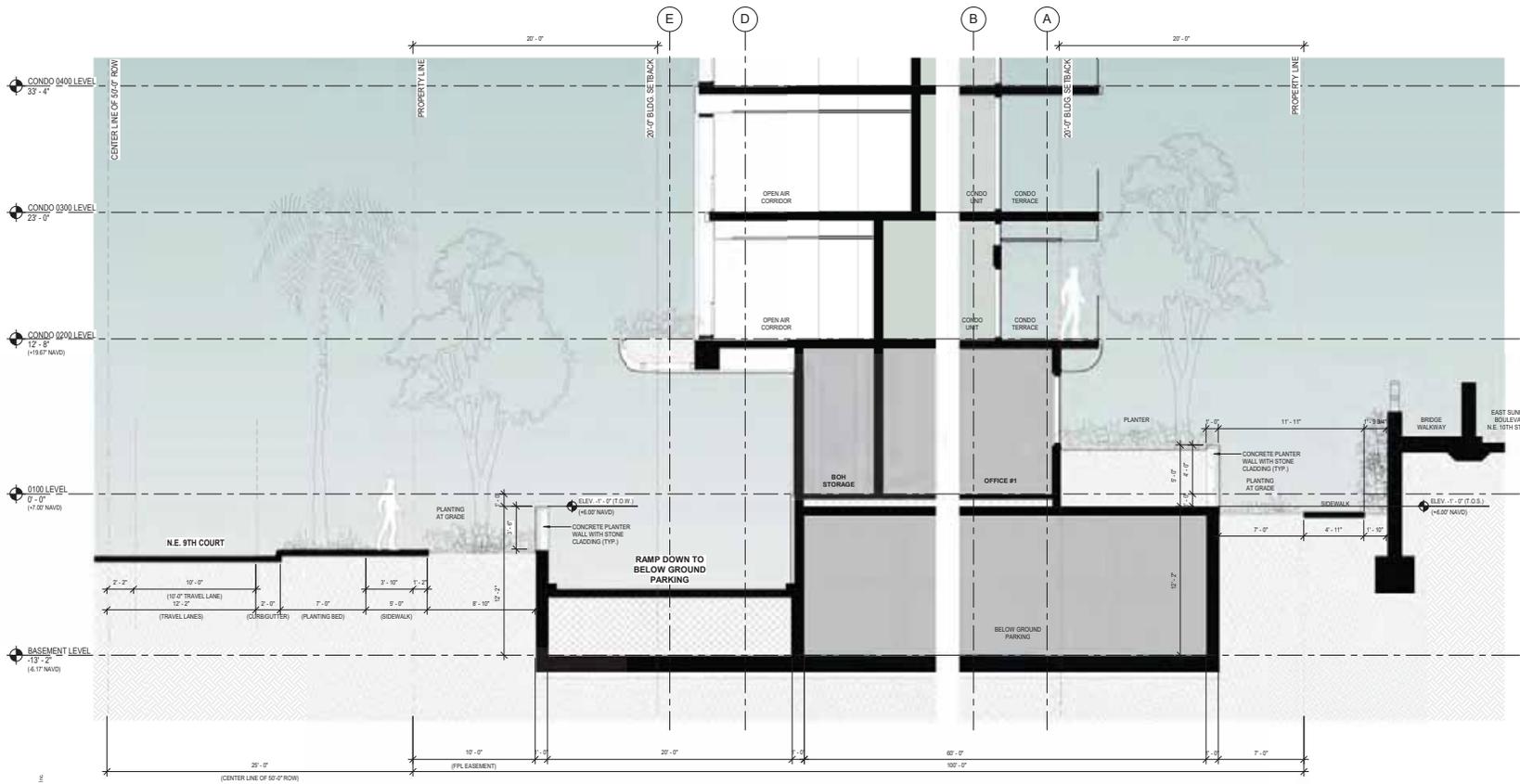
PROJECT NO.
21006

SEAL & SIGNATURE
ADD.FO REYNA ARCHITECT
AR0178

DRC RESUBMITTAL

A-604
WALL SECTION

03.10.2022



1
A-604 WALL SECTION - PARKING GARAGE RAMP
1/4" = 1'-0"

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**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNRISE FT. VENTURES, LLP
100 SE 2nd AVENUE | SUITE 800
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CONSULTANTS

LAND DEVELOPMENT ATTORNEY
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CORAL GABLES, FL 33431
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CIVIL ENGINEER
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MIAMI LAKES, FL 33074
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NO.	DATE	ISSUE
1	09.20.21	DRC SUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

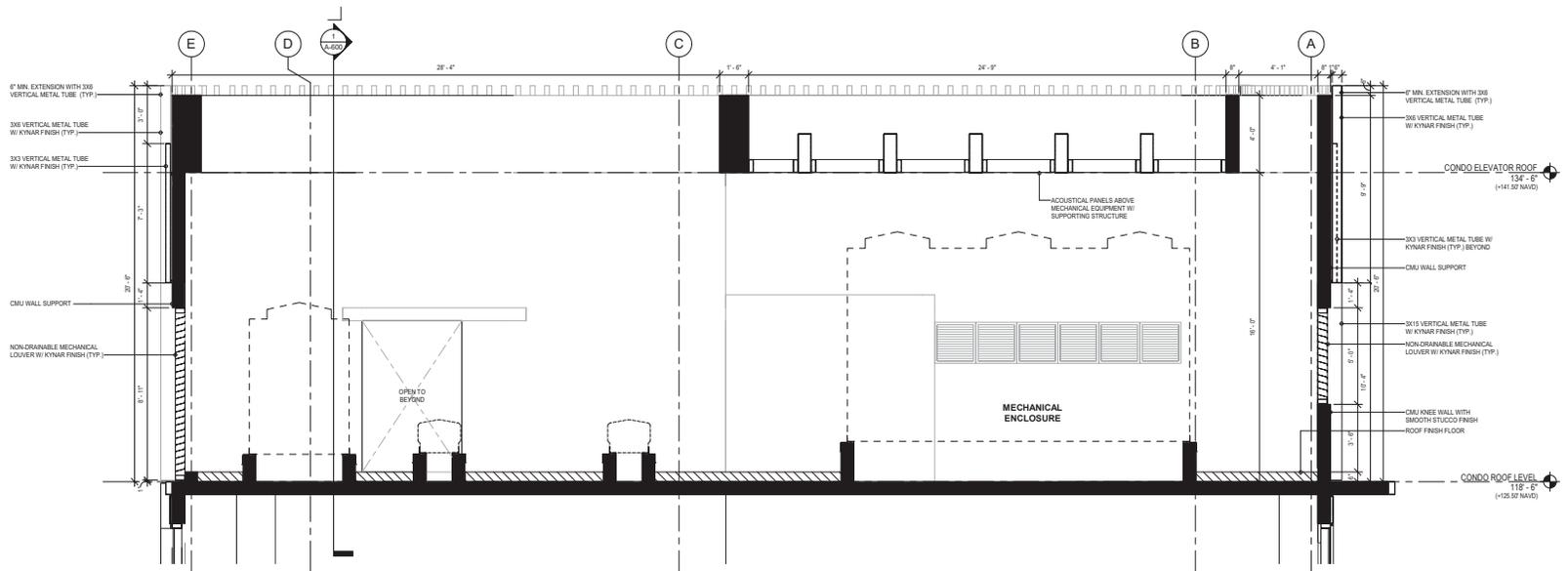
PROJECT NO.
21006

SEAL & SIGNATURE
ACQ/FD REYNA, ARCHITECT
AR0178

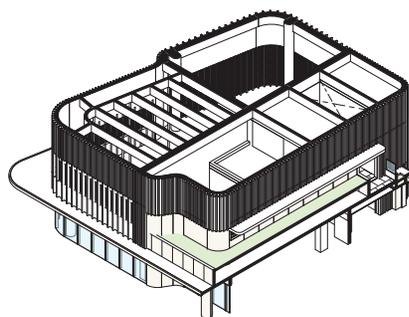
DRC RESUBMITTAL

A-605
ROOF SECTIONS

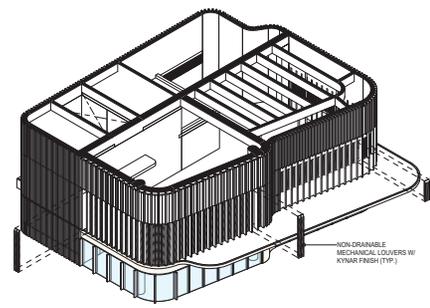
03.10.2022



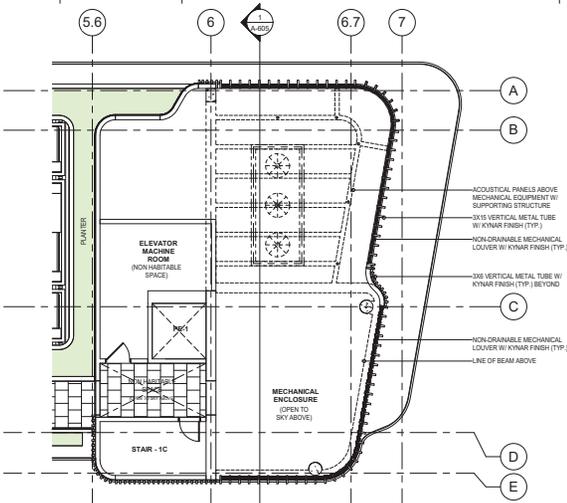
1
A-605
ROOF SECTION - CONDO MECHANICAL ENCLOSURE
3/8" = 1'-0"



**ISOMETRIC - VIEW: NW
CONDO MECHANICAL ENCLOSURE**
(SCALE: 3/32" = 1'-0")



**ISOMETRIC - VIEW: SE
CONDO MECHANICAL ENCLOSURE**
(SCALE: 3/32" = 1'-0")



2
A-605
CONDO 1200 LEVEL - MECHANICAL ENCLOSURE
1/8" = 1'-0"



OCEAN PARK HOTEL AND RESIDENCES

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNSHINE FLY VENTURES, LLP
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CONSULTANTS

LAND DEVELOPMENT ATTORNEY
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AIC 000680

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TRAFFIC ENGINEER
DC ENGINEERS, INC.
12142 NW 12TH COURT
CORAL SPRINGS, FL 33071
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SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6175 NW 103TH ST., SUITE 321
MIAMI GARDENS, FL 33074
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NO.	DATE	ISSUE
1	09.20.21	DRG. RESUBMIT
2	03.10.22	DRG. RESUBMIT

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRG. SUBMITTAL

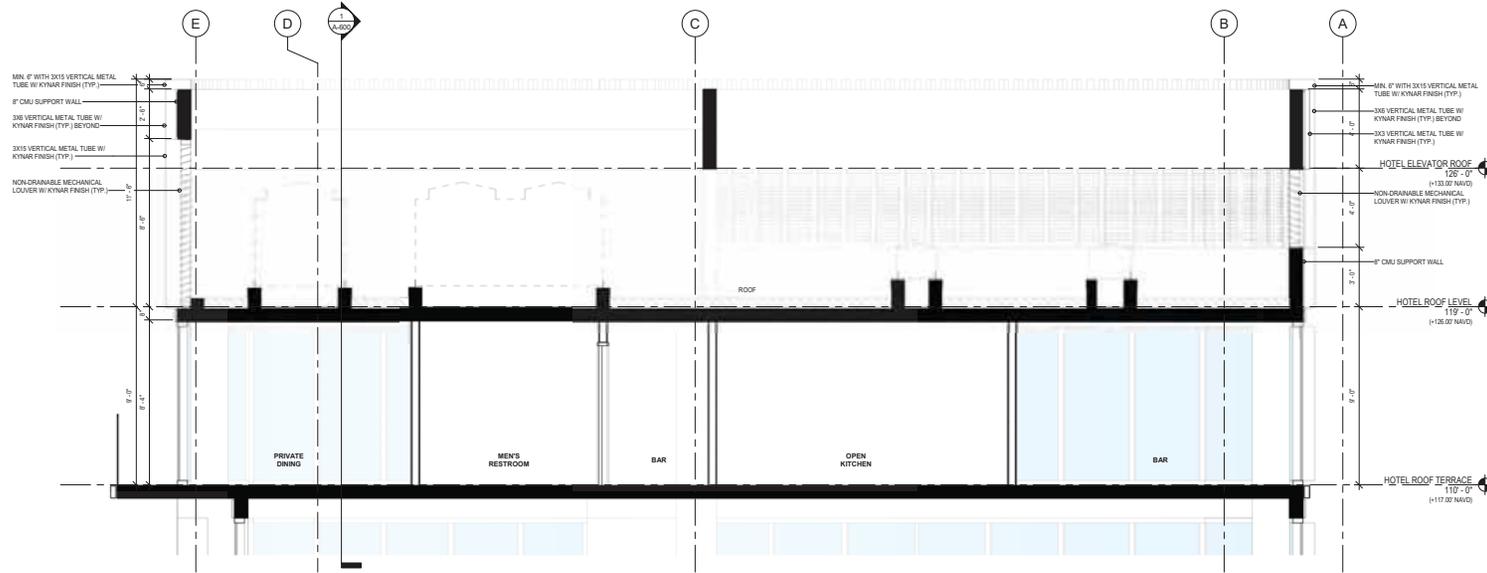
PROJECT NO.
21006

SEAL & SIGNATURE
ADD: FLORENTIA ARCHITECT
AR0178

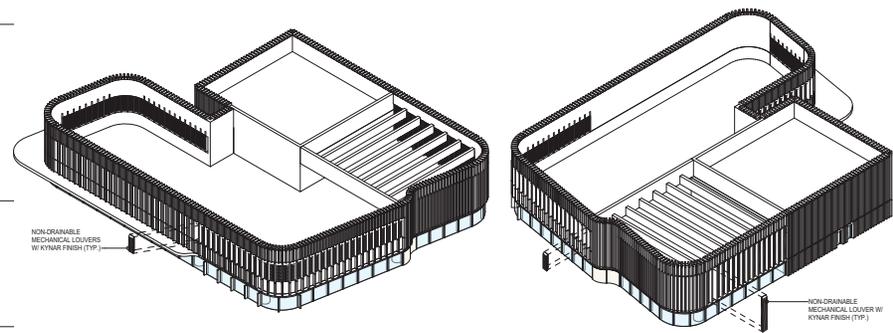
DRC RESUBMITTAL

A-606
ROOF SECTIONS

03.10.2022

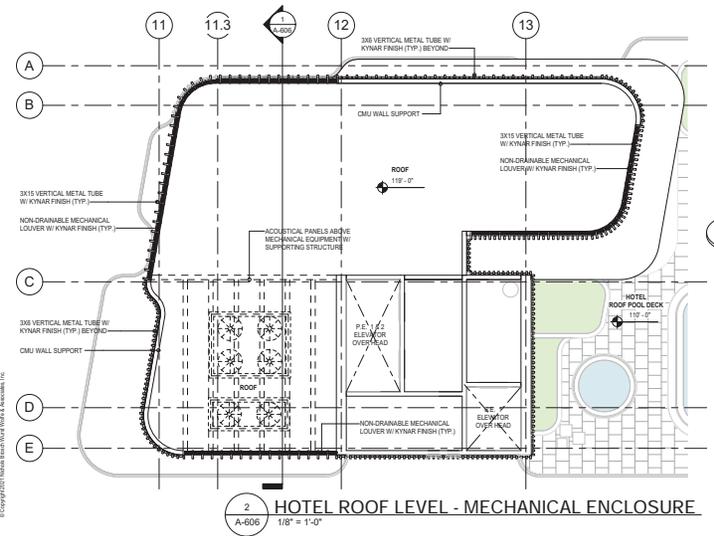


1
A-606
ROOF SECTION - CONDO / HOTEL MECHANICAL ENCLOSURE
3/8" = 1'-0"



ISOMETRIC - VIEW: NW
HOTEL MECHANICAL ENCLOSURE
(SCALE: 3/32" = 1'-0")

ISOMETRIC - VIEW: SW
HOTEL MECHANICAL ENCLOSURE
(SCALE: 3/32" = 1'-0")



2
A-606
HOTEL ROOF LEVEL - MECHANICAL ENCLOSURE
1/8" = 1'-0"



**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
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MIAMI, FL 33131

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LAND DEVELOPMENT ATTORNEY
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SUCKER HATCH, FL 33487
888.213.3544

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, P.A.
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LAUDERDALE-ON-THE-SEA, FL 33308
954.522.1004

TRAFFIC ENGINEER
DC ENGINEERS, INC.
1710 NW 10TH COURT
CORAL SPRINGS, FL 33071
954.788.9289

SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6175 NW 12TH ST., SUITE 121
CORAL GABLES, FL 33074
305.822.8083

REVISIONS

NO.	DATE	ISSUE
1	09.20.21	DRC SUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

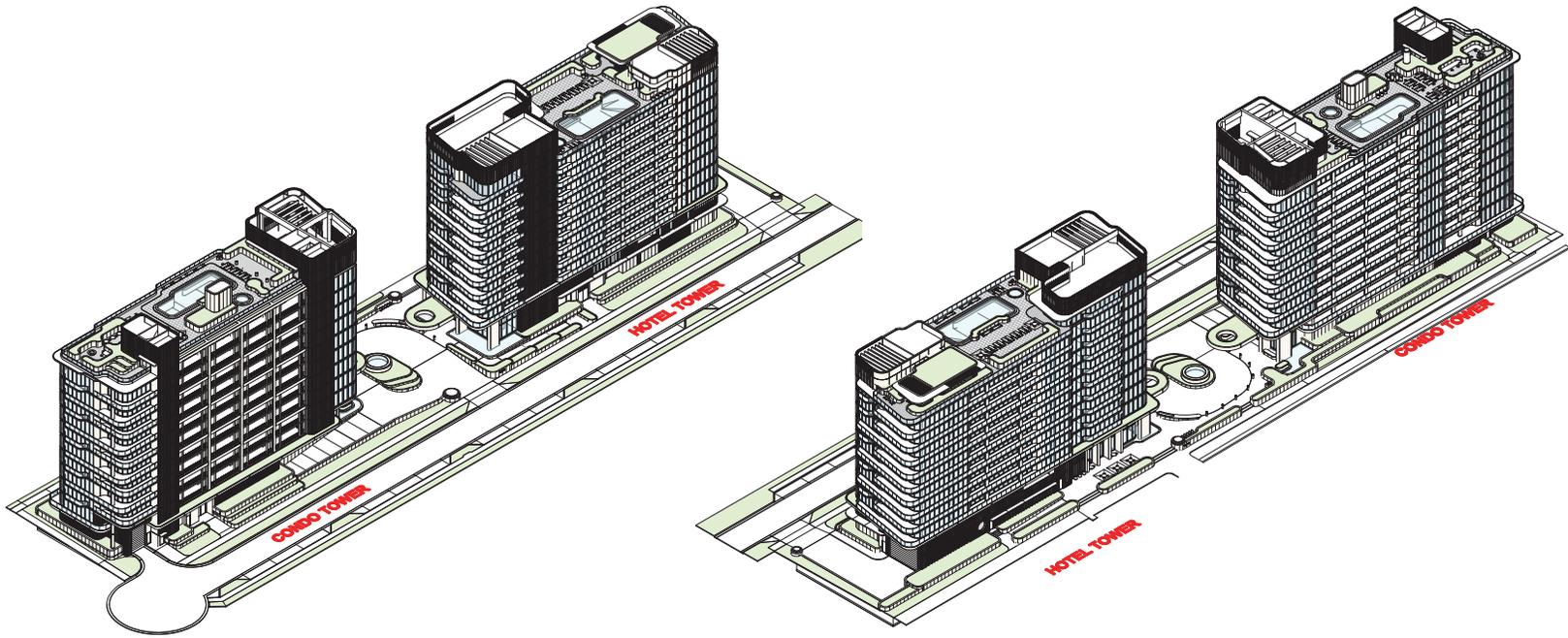
PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA, ARCHITECT
AR01798

DRC RESUBMITTAL

A-700
3D AXO

03.10.2022



1 3D - SW CORNER
A-700

2 3D - NE CORNER
A-700

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**OCEAN PARK
HOTEL AND
RESIDENCES**

2851 and 2861 NE 9th COURT
FORT LAUDERDALE, FLORIDA

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MIAMI, FL 33131

CONSULTANTS
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AIC 000680

LANDSCAPE ARCHITECT
SERENI STUDIO SOGA, LLC
2300 NW CORPORATE BLVD., SUITE 214
SOKA PALM, FL 33431
561.212.3541

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, P.A.
241 COMMERCIAL BLVD.
LAUDERDALE-SPRINGFIELD, FL 33308
954.522.1004

TRAFFIC ENGINEER
DC ENGINEERS, INC.
17045 NW 15TH COURT
CORAL SPRINGS, FL 33071
954.788.9929

SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6175 NW 103TH ST., SUITE 131
MIRAGE LAKES, FL 33074
305.822.8003

REVISIONS

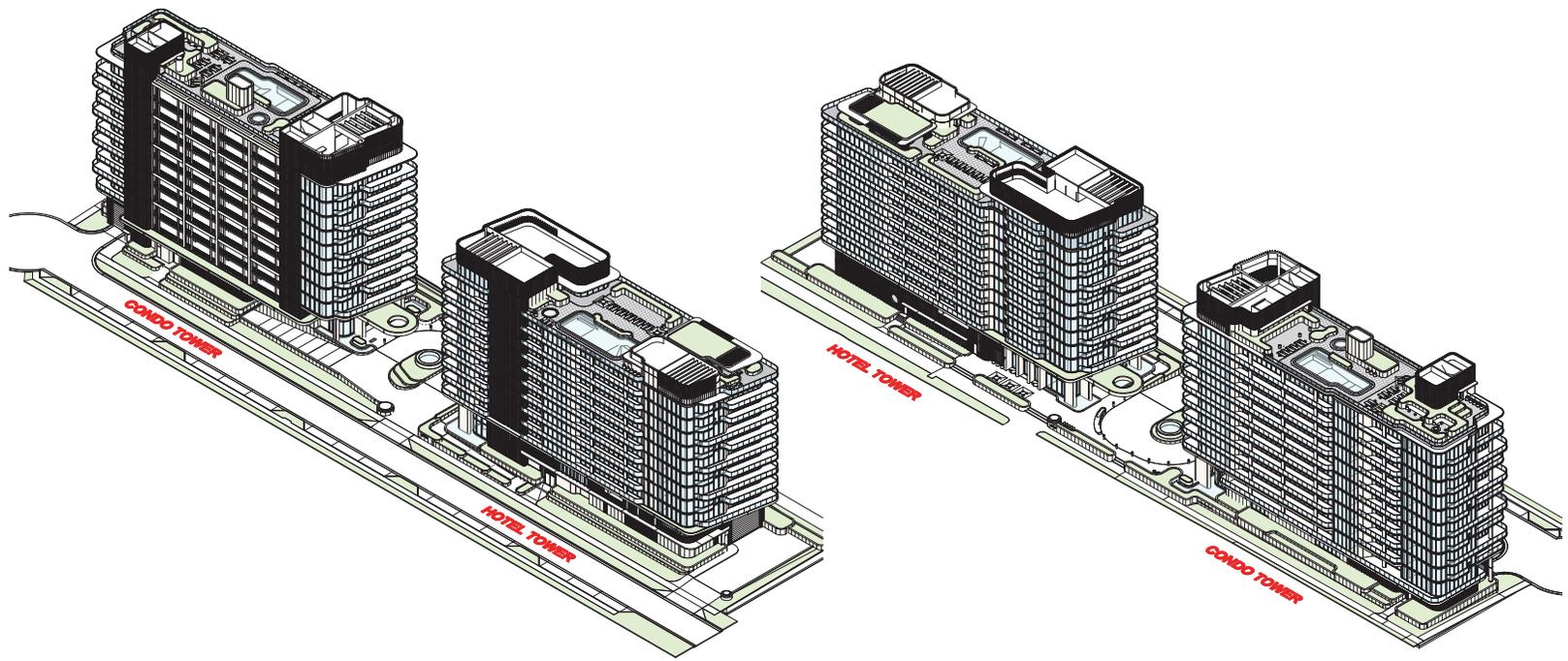
NO.	DATE	ISSUE
1	03.10.21	DRC SUBMITTAL
2	03.10.22	DRC RESUBMITTAL

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADD: FLORENTIA ARCHITECT
AR0178



1 3D - SE CORNER
A-701

2 3D - NW CORNER
A-701

DRC RESUBMITTAL

A-701
3D AXO
03.10.2022

Joseph E Gordon
Digitally signed by Joseph E Gordon
Date: 2022.03.16 18:12:09-04'00'



DSBOCA
Landscape architects and planners
10000 W. US HWY 90, SUITE 200
FORT LAUDERDALE, FL 33404
TEL: 954.363.8333
WWW.DSBOCA.COM



OCEAN PARK HOTEL AND RESIDENCES

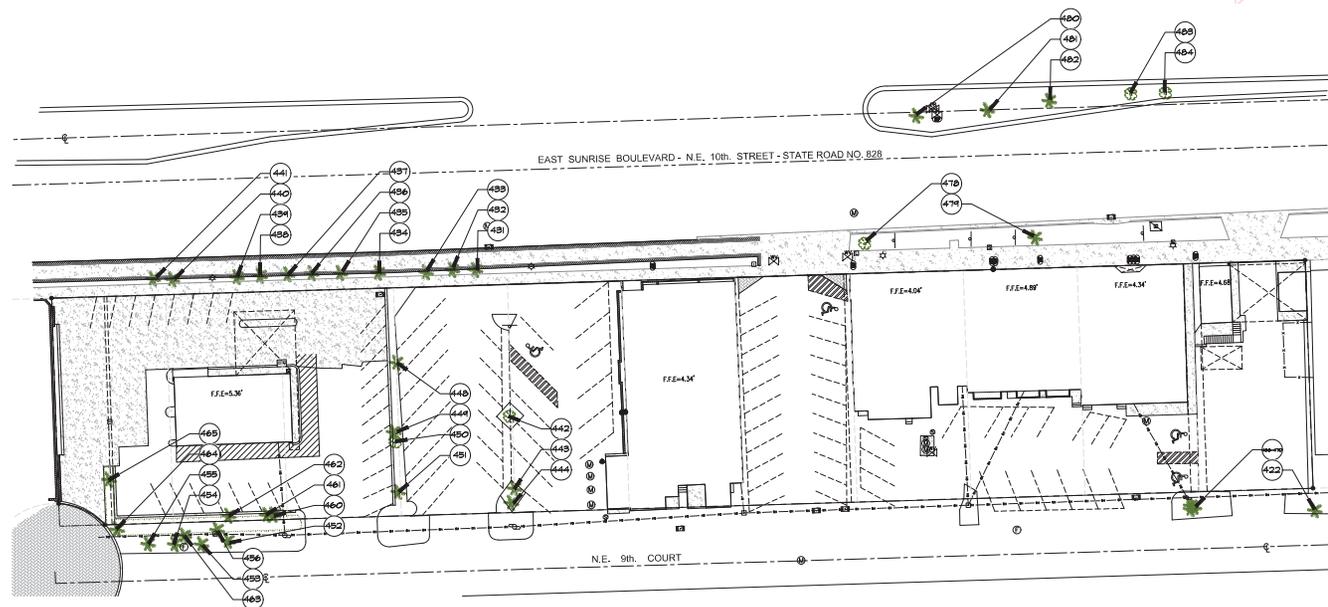
OWNER
SUNRISE FL VENTURES, LLLP
10000 W. US HWY 90 SUITE 200
FORT LAUDERDALE, FL 33404

CONSULTANTS

- ARCHITECT: NICHOLS BROSCHE WURST WOLFE & ASSOCIATES, INC. 10310 W. US HWY 90 SUITE 100 FORT LAUDERDALE, FL 33404
- LAND DEVELOPMENT ATTORNEY: LOCHNER & CHAMBERLAIN, P.A. 10000 W. US HWY 90, SUITE 200 FORT LAUDERDALE, FL 33404
- CIVIL ENGINEER: CONSULTANT ENGINEERING SERVICES, P.A. 241 COMMERCIAL BLVD. LAUDERDALE-PORTERDALE, FL 33308
- LANDSCAPE ARCHITECT: DESIGN STUDIO BOCA 2000 CORNFORD BLVD, NW SUITE 214 BOCA RATON, FL 33431
- TRAFFIC ENGINEER: DE WINTER, INC. 10700 NW 13TH COURT CORAL SPRINGS, FL 33081
- REGISTERED PROFESSIONAL LAND SURVEYOR: ROYAL POINT LAND SURVEYORS, INC. 875 NW 10TH SUITE 201 WEST LAKEHURST, FL 33514
- GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, LLC 811 S. UNIVERSITY AVENUE SUITE 100 TAMPA, FL 33606

REVISIONS

REV.	DATE	ISSUE
REV 1	03-23-22	DRC RESUBMITTAL
REV 2	03-16-22	DRC RESUBMITTAL
REV 3	03-16-22	DRC RESUBMITTAL
REV 4	03-16-22	DRC RESUBMITTAL



ITEM #	CATEGORY	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL	REMARKS
437	Planting	Shrub	11	10	1	110	...
438	Planting	Shrub	18	10	1	180	...
439	Planting	Shrub	18	10	1	180	...
440	Planting	Shrub	18	10	1	180	...
441	Planting	Shrub	18	10	1	180	...
442	Planting	Shrub	18	10	1	180	...
443	Planting	Shrub	18	10	1	180	...
444	Planting	Shrub	18	10	1	180	...
445	Planting	Shrub	18	10	1	180	...
446	Planting	Shrub	18	10	1	180	...
447	Planting	Shrub	18	10	1	180	...
448	Planting	Shrub	18	10	1	180	...
449	Planting	Shrub	18	10	1	180	...
450	Planting	Shrub	18	10	1	180	...
451	Planting	Shrub	18	10	1	180	...
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455	Planting	Shrub	18	10	1	180	...
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462	Planting	Shrub	18	10	1	180	...
463	Planting	Shrub	18	10	1	180	...
464	Planting	Shrub	18	10	1	180	...
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469	Planting	Shrub	18	10	1	180	...
470	Planting	Shrub	18	10	1	180	...
471	Planting	Shrub	18	10	1	180	...

ITEM #	CATEGORY	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL	REMARKS
483	Planting	Shrub	18	10	1	180	...
484	Planting	Shrub	18	10	1	180	...
485	Planting	Shrub	18	10	1	180	...
486	Planting	Shrub	18	10	1	180	...
487	Planting	Shrub	18	10	1	180	...
488	Planting	Shrub	18	10	1	180	...
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505	Planting	Shrub	18	10	1	180	...
506	Planting	Shrub	18	10	1	180	...
507	Planting	Shrub	18	10	1	180	...
508	Planting	Shrub	18	10	1	180	...
509	Planting	Shrub	18	10	1	180	...
510	Planting	Shrub	18	10	1	180	...

USE MATHEMATICAL OPERATIONS

ITEM #1: 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510

REPLACEMENT LIST: ALL ITEM'S 501 THROUGH 510 ARE TO BE REPLACED WITH THE TREE CANOPY TABLE PLANT

REPLACEMENT COST: 10000.00



DRC RESUBMITTAL 03.16.2022

DATE OF ISSUE: 7/26/2021
PROJECT STATUS: 21006
SEAL & SIGNATURE

L-1
TREE DISPOSITION PLAN, TABLE AND CALCULATIONS

File Name & Location: F:\CAD\FINAL\TA AT SUNRISE\DRS-S, SCHEMATIC\DESIGN\CAD\TA_TL_PLANNING Layout: L-1 Printed: Wed, 16 Nov 2022 : 9:41

Joseph E. Gordon
Digitally signed by Joseph E. Gordon
Date: 2022.03.16 18:12:36 -04'00'



landscape architecture and planning
L-2-000009
1000 Commercial Blvd., Suite 214
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ARCHITECT

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GEOTECH
TERRACON
8300 WOODCROFT UNIT 81
SUNRISE, FL 33074
954.265.1512

NO.	DATE	ISSUE
REV. 1	02-28-21	DIRC RESUBMITTAL
REV. 2	03-15-22	DIRC RESUBMITTAL
REV. 3	03-15-22	DIRC RESUBMITTAL
REV. 4	03-15-22	DIRC RESUBMITTAL

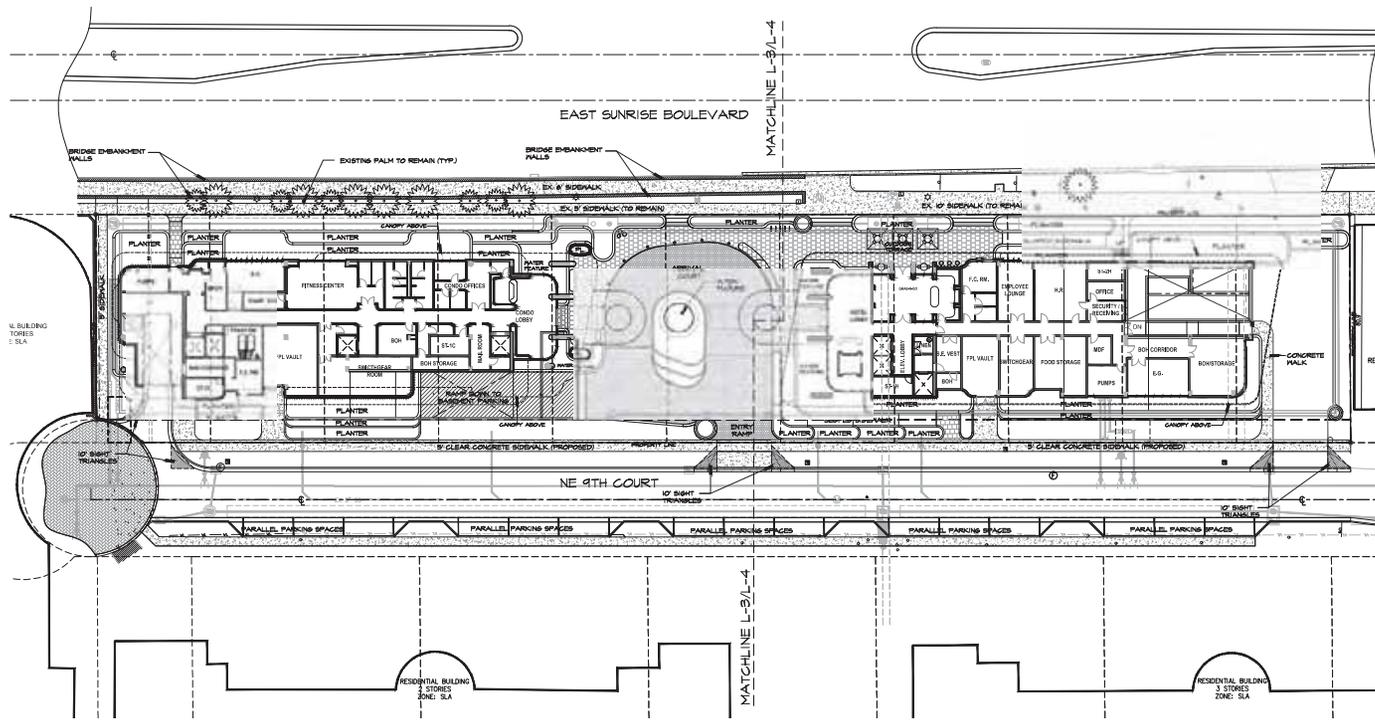
DATE OF ISSUE
7/26/2021

PROJECT STATUS
21006

PROJECT NO.
21006

SEAL & SIGNATURE

L-2
HARDSCAPE PLAN



DRC RESUBMITTAL 03.16.2022

File Name & Location: F:\CAD\17\ALTA AT SUNRISE\DSB-1-SCHEMATIC\DESIGN\CAD\ALTA AT SUNRISE_CONDO AND HOTEL_DRC.dwg Layout: L-2 Printed: Wed, 18 Mar 2021 - 17:25

REFER TO SHEET L-5 FOR PLANT LIST, QUANTITIES, DETAILS AND SPECIFICATIONS

Joseph E. Gordon
Digitally signed by Joseph E. Gordon
Date: 2022.03.16 18:13:02 -04'00'

DSBOCA
design-build
landscape architecture
12-0000096
3300 Central Exp. SW, Suite 214
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F: 561-955-0799
www.dsboca.com

NICHOLS BROSCH WURST WOLFE & ASSOCIATES, INC.
ARCHITECTURE & PLANNING

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FORT LAUDERDALE, FL 33304

OWNER
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7015 E. SUNRISE BLVD. SUITE 100
MIAMI, FL 33157

CONSULTANTS

ARCHITECT
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101 ALYDEN AVE.
CORAL GABLES, FL 33134
305.443.0339
ANS-000000

LAND DEVELOPMENT ATTORNEY
LOGGERS & CHAMBERS, P.A.
1601 E. BROWARD BLVD., SUITE 200
FORT LAUDERDALE, FL 33305
954.776.7170

CEA ENGINEER
CONSULTANT FULMIN ENGINEERING SERVICES, P.A.
211 COMMERCIAL BLVD.
LAUDERHILL-ROSELAND, FL 33308
954.763.3300

LANDSCAPE ARCHITECT
DESMOND BROSIG
2300 W. SPANGLER BLVD., NW SUITE 214
DEERFIELD BEACH, FL 33442
561.936.8623

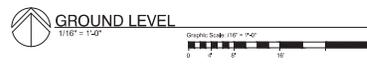
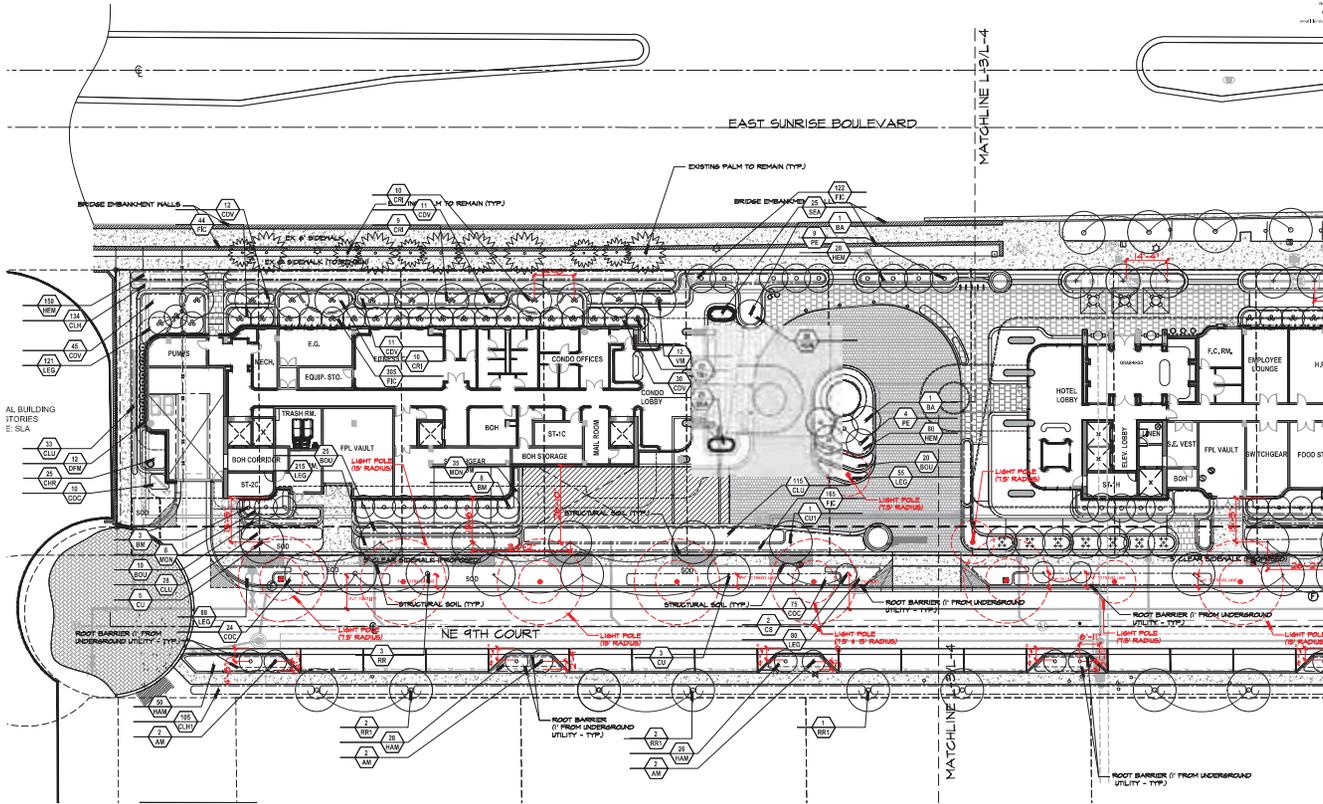
TRAVEL ENGINEER
BC ENGINEERS, INC.
1176 COURT
CORAL SPRINGS, FL 33071
954.763.5250

SURVEYOR
ROYAL PERT LAND SURVEYORS, INC.
1125 NW 103TH STREET, SUITE 201
MIAMI GARDENS, FL 33174
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GEOTECH
TERRACON
8300 BISCAYNE BLVD. SUITE 101
MIAMI, FL 33148
305.436.5312

REVISIONS

NO.	DATE	ISSUE
REV. 1	02-28-21	DRC RESUBMITTAL
REV. 2	03-15-22	DRC RESUBMITTAL
REV. 3	03-15-22	DRC RESUBMITTAL
REV. 4	03-15-22	DRC RESUBMITTAL

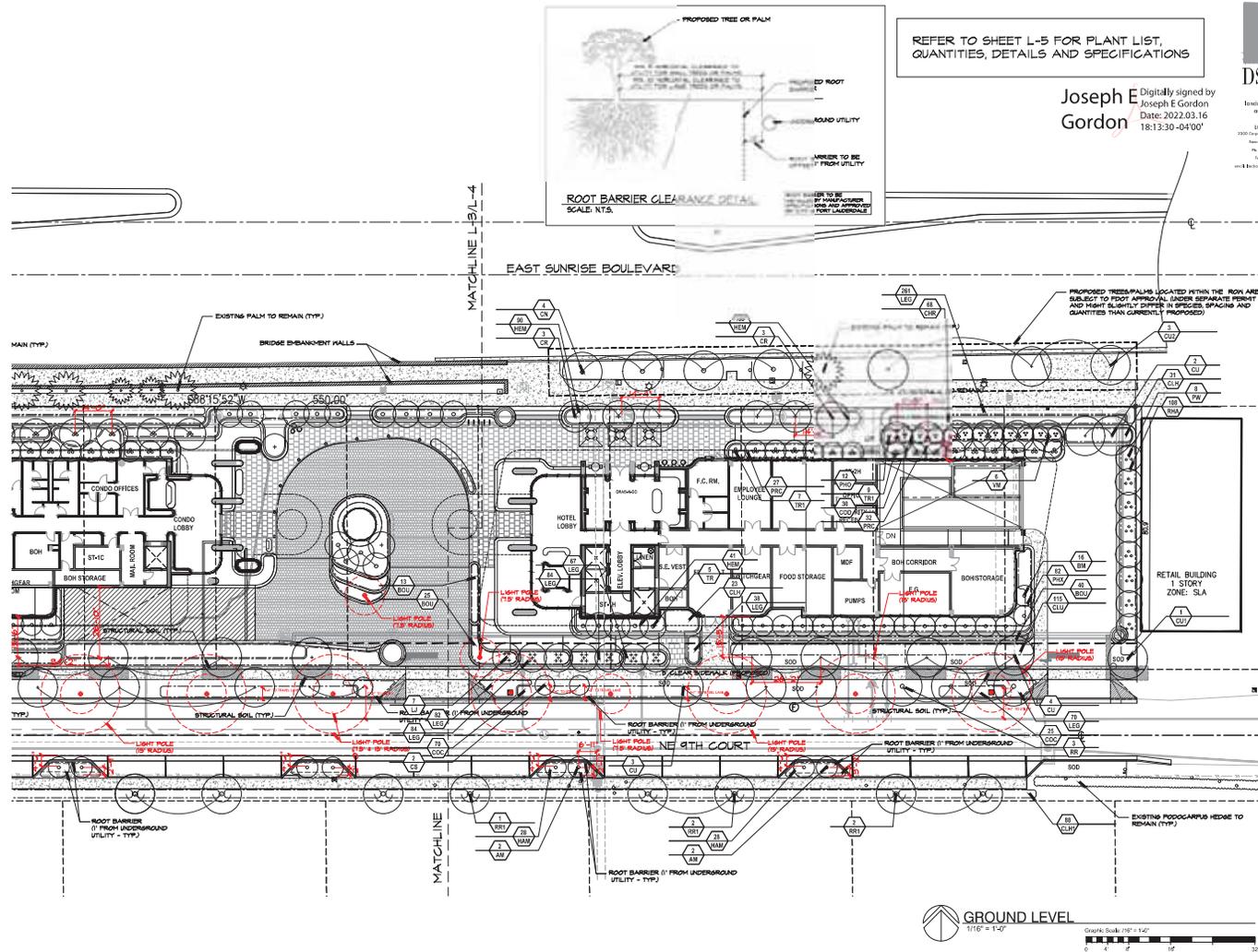


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DRC RESUBMITTAL 03.16.2022

DATE OF ISSUE	7/08/2021
PROJECT STATUS	
PROJECT NO.	21006
SEAL & SIGNATURE	

L-3
PLANTING PLAN
(CONDO SITE)



DSBoca
landscape architects and planners
EG - 0000392
2200 Corporate Blvd, Suite 100
New York, NY 10021
Tel: 562.952.8822
Fax: 562.952.4743
www.dsbo.com

NICHOLS BROSCH WURST WOLFE & ASSOCIATES, INC.
Architecture & Planning

OCEAN PARK HOTEL AND RESIDENCES
200 AND 201 18th COURT
FORT LAUDERDALE, FLORIDA

- OWNER**
SUNRISE FL VENTURES, LLLP
1835 E. BROWARD BLVD, SUITE 100
MIAMI FL 33133
- CONSULTANTS**
- ARCHITECT**
NICHOLS BROSCH WURST WOLFE & ASSOCIATES, INC.
200 N. BROADWAY, FL 33104
305.445.0200
400.30000
- LAND DEVELOPMENT ATTORNEY**
LOOMBE & CHAMAS, P.A.
101 S. BROWARD BLVD, SUITE 200
FORT LAUDERDALE, FL 33301
954.767.1119
- CIVIL ENGINEER**
CONSULTANT ENGINEERING SERVICES, P.A.
341 COMMERCE, BLDG.
LAUDERDALE, FL 33308
954.222.7000
- LANDSCAPE ARCHITECT**
DSBoca
2200 CORPORATE BLVD, W/ SUITE 100
BOCA RATON, FL 33491
954.990.8000
- TRAFFIC ENGINEER**
SCHEINER, INC.
1031 NW 18TH COURT
CORAL SPRING, FL 32807
954.760.0000
- SOILS ENGINEER**
BRYAN HUNT LAND SURVEYORS, INC.
870 NW 10TH STREET, 211
MIAMI LAKES, FL 33144
305.550.0000
- GEOTECH**
TERRACON
3000 N.W. 12TH ST
SUITE 100
MIAMI, FL 33142
305.426.5112

REVISIONS

NO.	DATE	ISSUE
REV. 1	04-28-21	DRC RESUBMITTAL
REV. 2	01-14-22	DRC RESUBMITTAL
REV. 3	03-10-22	DRC RESUBMITTAL
REV. 4	03-16-22	DRC RESUBMITTAL

DATE OF ISSUE
7/20/2021

PROJECT STATUS

PROJECT NO.
21006

SEAL & SIGNATURE

DRC RESUBMITTAL 03.16.2022

L-4
PLANTING PLAN
(HOTEL SITE)

File Name & Location: FACADA - FACALTA AT BARBERSCOBB, SCHEMATIC DESIGN CADALTA AT SUNRISE_CONDO AND HOTEL_SDC.dwg Layout: L-4 Printed: Wed, 16 Mar 2022 - 17:30

GENERAL PLANTING SPECIFICATIONS

- 1. Scope.**
 - The work includes furnishing of plants, materials, equipment and labor necessary for plant material to meet the design and to meet these specifications. It is the Contractor's responsibility to obtain all necessary permits.
- 2. Plant Materials & Protection.**
 - All plants purchased shall be healthy green unless otherwise noted.
 - Plants shall be delivered to the site in accordance with the specifications.
 - Plants shall be delivered to the site in accordance with the specifications.
 - Plants shall be delivered to the site in accordance with the specifications.
- 3. Planting Operations.**
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
- 4. Maintenance & Protection.**
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.

- 5. Planting Operations.**
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
- 6. Maintenance & Protection.**
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.

- 7. Planting Operations.**
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
 - Planting shall be done in accordance with the specifications.
- 8. Maintenance & Protection.**
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.
 - Maintenance shall be provided in accordance with the specifications.

PLANTING SCHEDULE

ITEM	QUANTITY	UNIT	START DATE	END DATE	PERCENT COMPLETE
1. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
2. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%
3. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
4. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%
5. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
6. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%

Joseph E. Gordon
Digitally signed by Joseph E. Gordon
Date: 2022.03.16 16:13:59 -0400



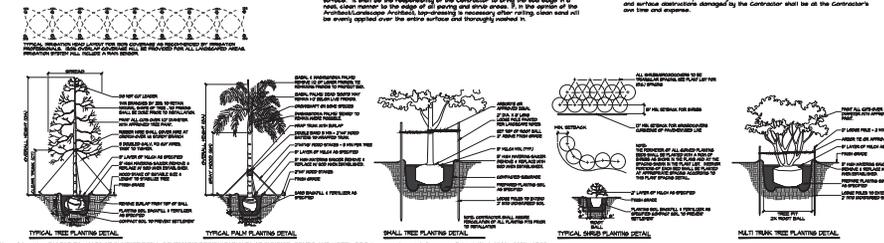
OCEAN PARK HOTEL AND RESIDENCES

OWNER: SUNBELT REAL ESTATE GROUP, LLC
3001 W. BEACH BLVD., SUITE 200
FORT LAUDERDALE, FL 33304

ADDITIONAL NOTES:
THE (3) SEAPLANETS (G2) AND (4) COCONUT PALMS (G4) PROPOSED WITHIN THE FOOTCOT ARE NOT INCLUDED IN THE STREET TREE CALCULATIONS AS OF NOW. THE INTENT IS TO INCLUDE THEM ONCE LOCATION AND SPACING ALONG RAMPAGE IS APPROVED BY FDOT.

PLANTING SCHEDULE

ITEM	QUANTITY	UNIT	START DATE	END DATE	PERCENT COMPLETE
1. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
2. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%
3. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
4. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%
5. PLANTING OPERATIONS	100	SQ. FT.	01/15/2021	01/15/2021	100%
6. MAINTENANCE & PROTECTION	100	SQ. FT.	01/15/2021	01/15/2021	100%



File Name: \Sources\FACAD\Project\TA\Submittal\03.16.2022\03.16.2022\RESUBMITTAL\TA\SUBMITTAL_CORDON AND HOTEL_SIGNED.dwg Date: 16-Mar-2022 11:30

DRC RESUBMITTAL 03.16.2022

REVISIONS

NO.	DATE	ISSUE
REV 1	02-25-21	DRC RESUBMITTAL
REV 2	03-12-22	DRC RESUBMITTAL
REV 3	03-12-22	DRC RESUBMITTAL
REV 4	03-12-22	DRC RESUBMITTAL

L-5 LANDSCAPE DATA, PLANT LIST, DETAILS AND SPECIFICATIONS

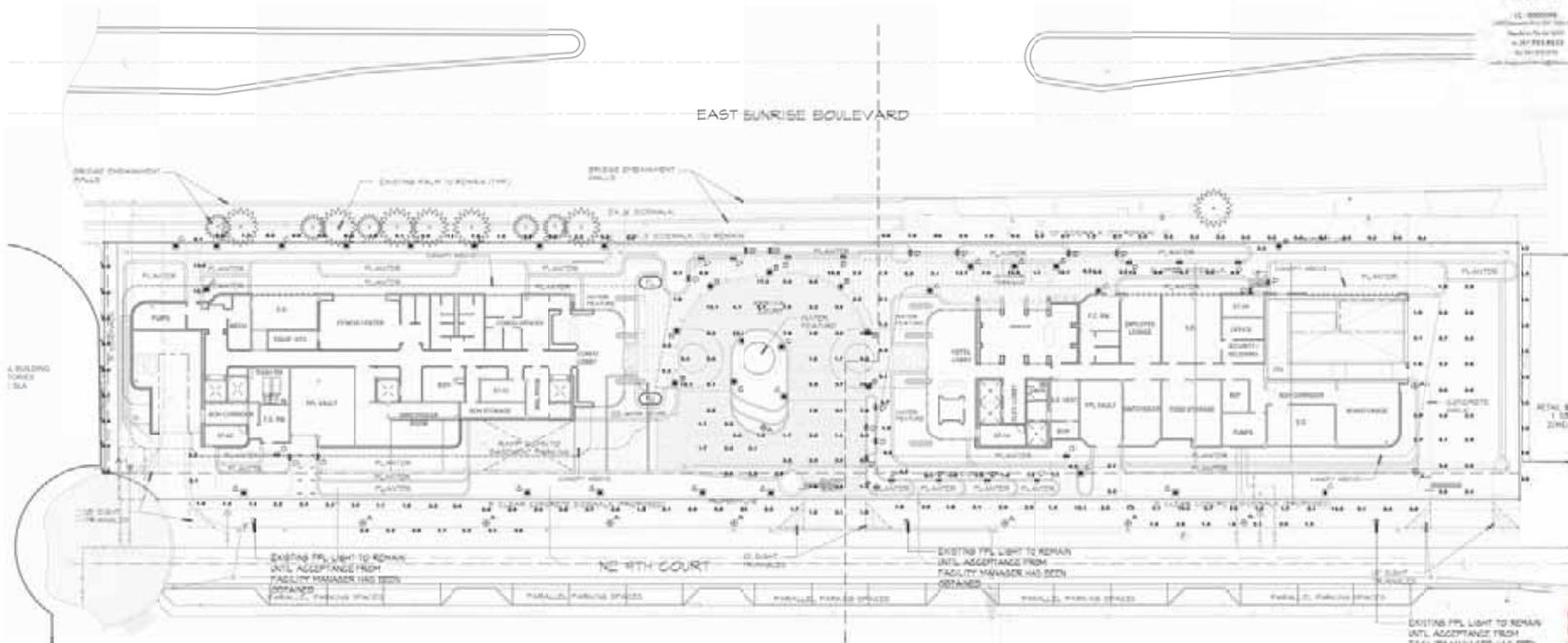
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 Digitally signed by Joseph E. Gordon
 Date: 2022.03.16 18:14:38 -0400



OCEAN PARK HOTEL AND RESIDENCES

PROJECT NO. 21006
 1000 20th St, Suite 200
 Fort Lauderdale, FL 33304

- CONSULTANTS**
- ARCHITECT: NICHOLS BROSCH WURST WOLFE & ASSOCIATES INC. 1000 20th St, Suite 200, Fort Lauderdale, FL 33304
 - ARCHITECTURE ATTORNEY: GORDON & BRADY, P.A. 401 N. WILSON BLVD., SUITE 200, FORT LAUDERDALE, FL 33301
 - CIVIL ENGINEER: CIVIL ENGINEER GROUP, INC. 1000 20th St, Suite 200, Fort Lauderdale, FL 33304
 - LANDSCAPE ARCHITECT: JEFFREY B. BROWN, P.A. 200 CORPORATE BLVD., SUITE 200, FORT LAUDERDALE, FL 33304
 - TRAFFIC ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - STRUCTURAL ENGINEER: CIVIL ENGINEER GROUP, INC. 1000 20th St, Suite 200, Fort Lauderdale, FL 33304
 - MECHANICAL ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - ELECTRICAL ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - PLUMBING ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - MECHANICAL ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - PLUMBING ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - ELECTRICAL ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304
 - PLUMBING ENGINEER: J.C. ENGINEERS, INC. 11000 W. STATE ROAD, SUITE 100, FORT LAUDERDALE, FL 33304



SITE LANDSCAPE LIGHTING LEGEND

SYMBOL	ID	TOTAL	FIXTURE DESCRIPTION	BALL HURST TYPE	TYPE OF HOUSING	HOUSING HEIGHT
⊙	A	12	ROADWAY LIGHT FIXTURE - BY GARCO OR EQUAL PFL - 140L - 130 - 140Q - 13 - 3 - 130 - BZ	SOOK LED 75 WATTS	POST	14' HT
⊙	B	4	ARRIVAL COURT BILLBOARD LIGHT - BY GARCO OR EQUAL PDL - 72 - 14 - 140Q - 140Q - 2 - 140Q - BZ	SOOK LED 24 WATTS	BOLLARD	42" HT
⊙	C	24	WALKWAY BOLLARD LIGHT - BY GARCO OR EQUAL PBL - 26" - 14 - 600 - 140Q - 2 - 20" - BZ	SOOK LED 20 WATTS	BOLLARD	26" HT
⊙	D	20	RECESSED WALL LIGHT - BY FC LIGHTING OR EQUAL FC0561 - UNY - 24 - CR155 - SL - (74H) - ECH4T - PAAAC	SOOK LED 14 WATTS	WALL	24" HT
⊙	E	-	LANDSCAPE ACCENT UPLIGHT - BY FC LIGHTING OR EQUAL FC109 - UNY - 24 - MF - CYS - FE4B (2K)	SOOK LED	EXTENSION ARM	15" HT



2125 EAST SUNRISE BLVD & FORT LAUDERDALE BLVD

Simulation Summary

AREA	Avg	Max	Min	Avg/ft ²	Max/ft ²
DRIVEWAY & GRND STY (P & R)	0.09	11.4	1.2	0.09	11.4
DRILL SHED	0.41	0.9	0.0	1.91	1.81
DRILL SHED	0.17	0.9	0.0	0.4	0.4
PARALLEL PARKING (SOUTH)	2.49	5.6	1.1	1.46	2.2
PARALLEL PARKING (NORTH)	1.91	2.8	1.5	1.81	1.81
SEENALA (NORTH) (SOUTH)	0.87	0.4	1.2	0.84	1.17
SEENALA (NORTH) (HOTEL)	0.89	0.7	0.2	2.10	0.84
SEENALA (SOUTH) (SOUTH)	2.24	0.1	1.1	2.20	1.24
SEENALA (SOUTH) (HOTEL)	0.93	0.2	1.0	0.65	0.20



DRC RESUBMITTAL 03.16.2022

L-6
 LIGHTING SCHEDULE AND PHOTOMETRIC PLAN

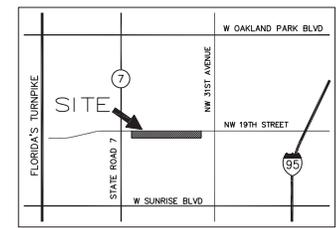
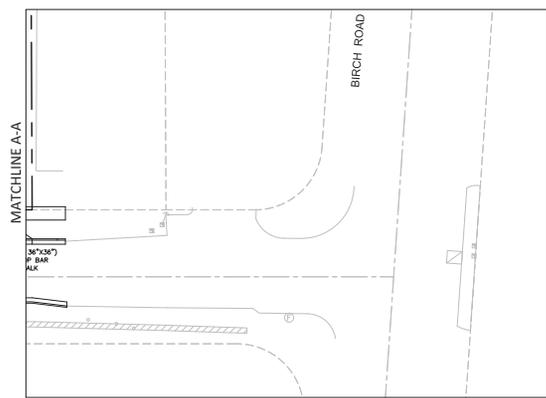
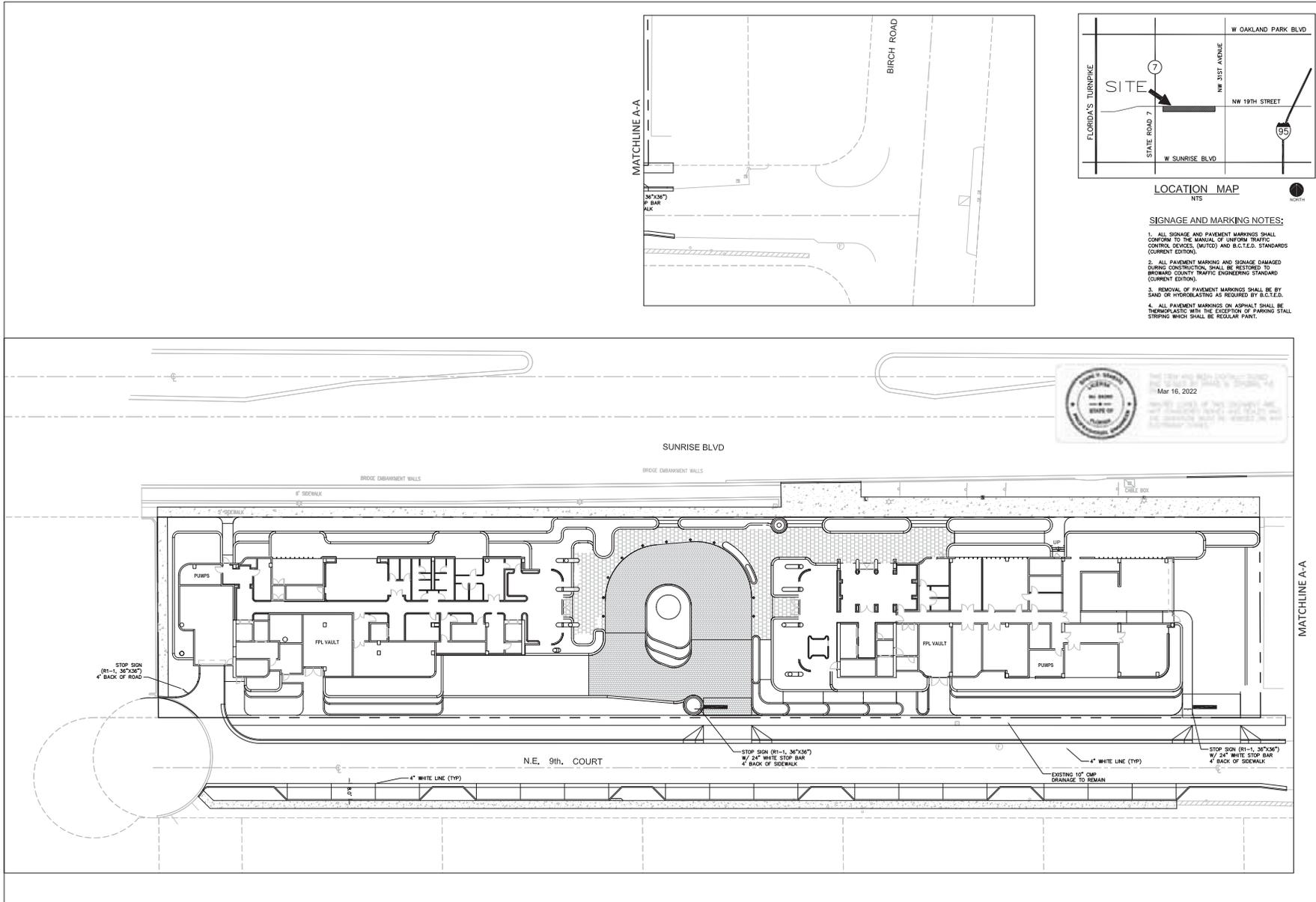
DATE OF ISSUE: 10/20/21

PROJECT STATUS:

PROJECT NO.: 21006

SEA & SIGNATURE:

File Name & Location: FACAD_Plan_01_01_AT SUNRISE022021_01_SCHMATIC DESIGN_01_01_AT SUNRISE_COND AND HOTEL_DRC_01_01



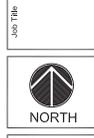
LOCATION MAP
NTS

- SIGNAGE AND MARKING NOTES:**
1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) AND B.C.T.E.D. STANDARDS (CURRENT EDITION).
 2. ALL PAVEMENT MARKING AND SIGNAGE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARD (CURRENT EDITION).
 3. REMOVAL OF PAVEMENT MARKINGS SHALL BE BY SAND OR HYDROBLASTING AS REQUIRED BY B.C.T.E.D.
 4. ALL PAVEMENT MARKINGS ON ASPHALT SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STALL STRIPING WHICH SHALL BE REGULAR PAINT.



Sheet Title
CONCEPTUAL PAVEMENT MARKING AND SIGNAGE PLAN

Job Title
2851 AND 2901 NE 9TH COURT
2851 AND 2901 NE 9TH COURT
FORT LAUDERDALE, FLORIDA 33304



Revisions

No.	Description

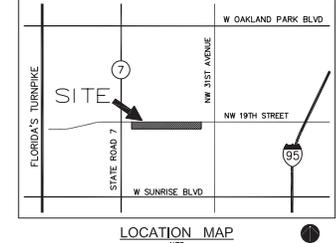
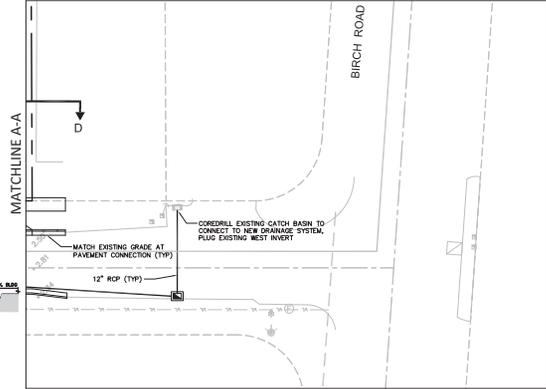
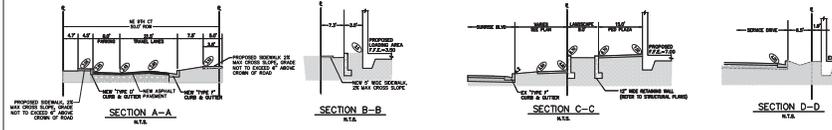
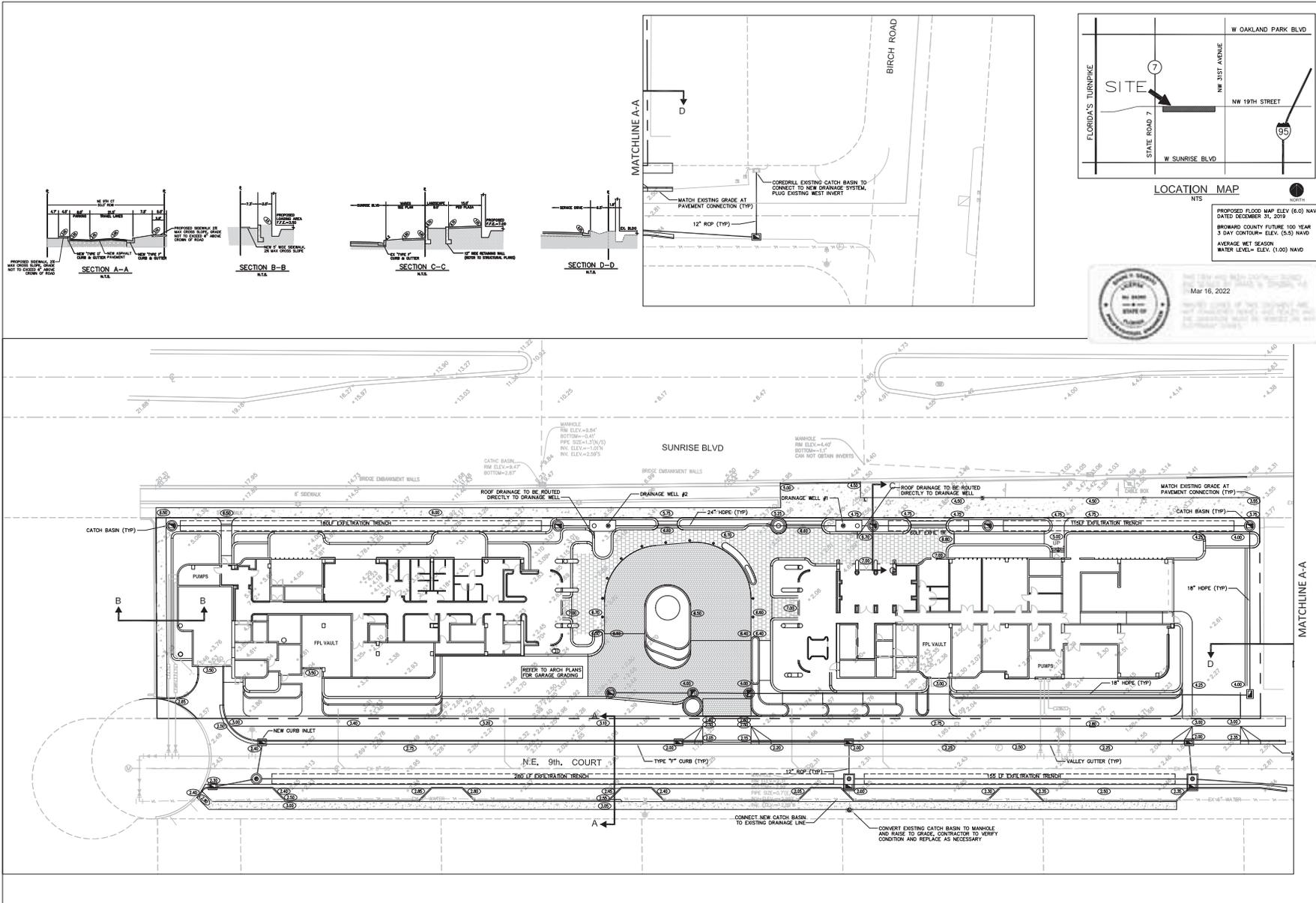
Phase:
DRG
DOCUMENTS

Shane H Grabski

Digitally signed by Shane H Grabski
DN: cn=Shane H Grabski, o=Flynn Engineering, ou=Shane H Grabski, email=shane@flynneng.com

Scale:	Date:
1"=20'	07/08/21
Job No.:	Rev. No.:
21-1627-00	02/16/22
Drawn by:	Sheet No.:
SHG	C1
Proj. Mgr.:	
SHG	
Appr. by:	
SHG	1 of 3

03.10.2022



PROPOSED FLOOD MAP ELEV. (6.0) NAVD DATED DECEMBER 31, 2019
 BROWARD COUNTY FUTURE 100 YEAR 3 DAY CONTROL FLOOD ELEV. (5.5) NAVD
 AVERAGE WET SEASON WATER LEVEL = ELEV. (1.00) NAVD

Mar 16, 2022

FLYNN ENGINEERING
 241 COMMERCIAL BLD., LAUDERDALE BEACH, FL 33308
 PHONE: (954) 552-1001 | WWW.FLYNNENGINEERING.COM

CONCEPTUAL
 PAVING, GRADING, AND
 DRAINAGE PLAN

2851 AND 2901 NE 9TH COURT
 FORT LAUDERDALE, FLORIDA 33304



Revisions

Phase:
 DOCUMENTS

Shane H
 Grabski

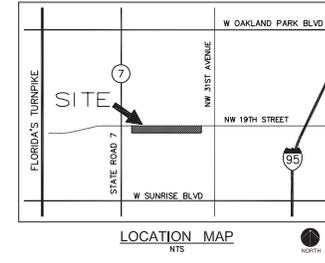
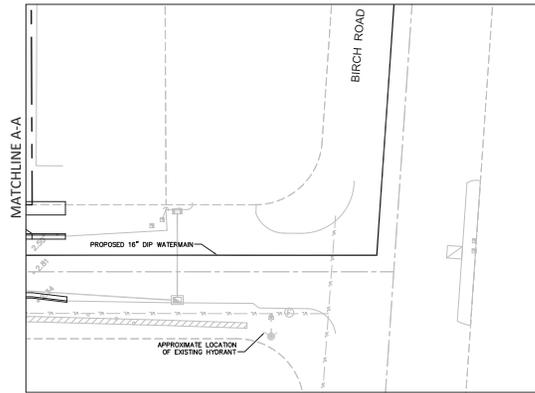
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 DN: cn=Shane H Grabski, o=Flynn Engineering, c=USA, email=SGrabski@flynneng.com, ou=Shane H Grabski

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21-1627.00	03/16/22

Drawn by	Sheet No.
SHC	C2

Proj. Mgr.	Appr. by
SHC	SHC
	2 of 3

03.10.2022



Sheet Title
CONCEPTUAL WATER AND SEWER PLAN

Job Title
2851 AND 2901 NE 9TH COURT
 2851 AND 2901 NE 9TH COURT
 FORT LAUDERDALE, FLORIDA 33304



Revisions

Phase:
 DRG
 DOCUMENTS

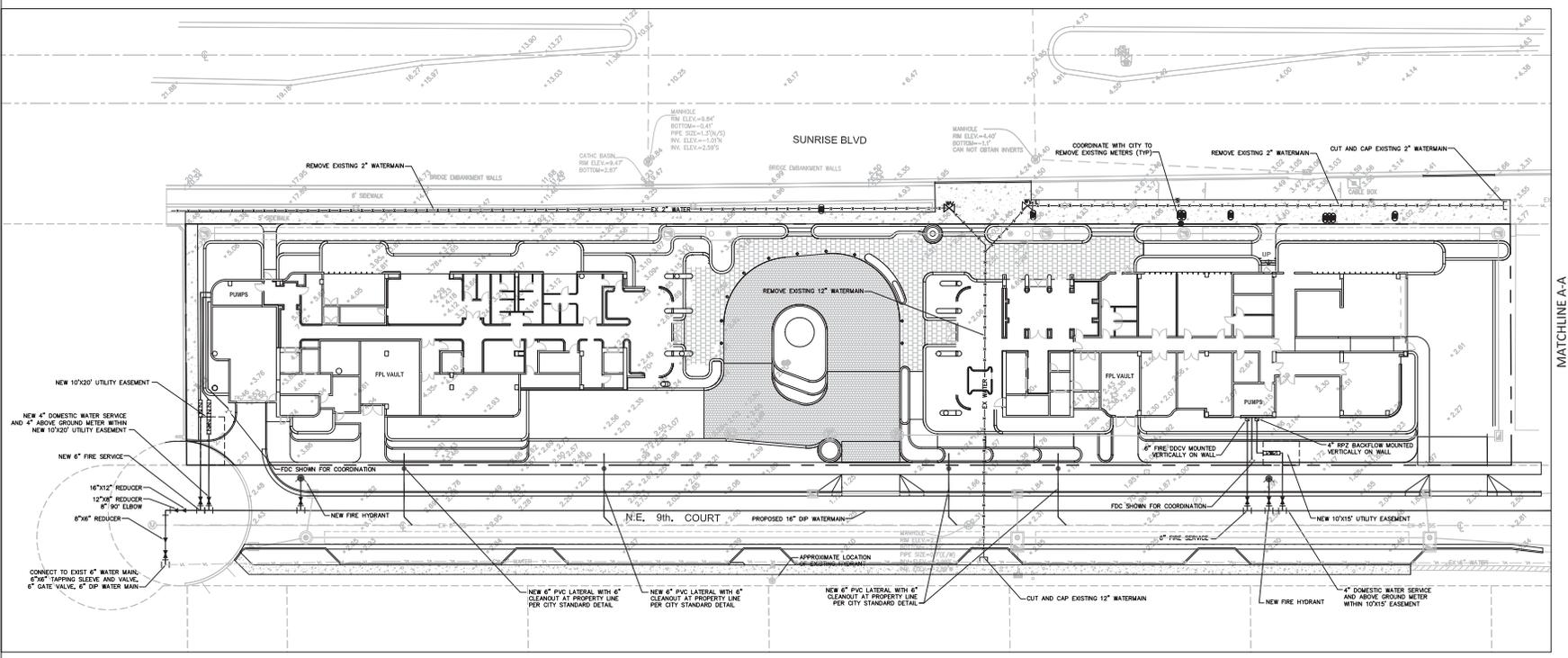
Shane H
 Grabski

Approved by: Shane H Grabski
 P.E., C.E., P.Flynn Engineering
 2851 AND 2901 NE 9TH COURT
 FORT LAUDERDALE, FLORIDA 33304
 Phone: (954) 322-1041 Fax: (954) 322-1042
 Email: shane@flynneng.com

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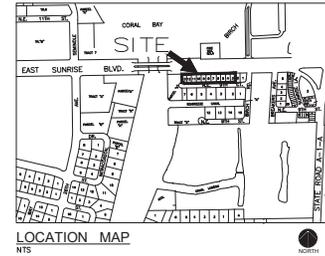
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03.10.2022

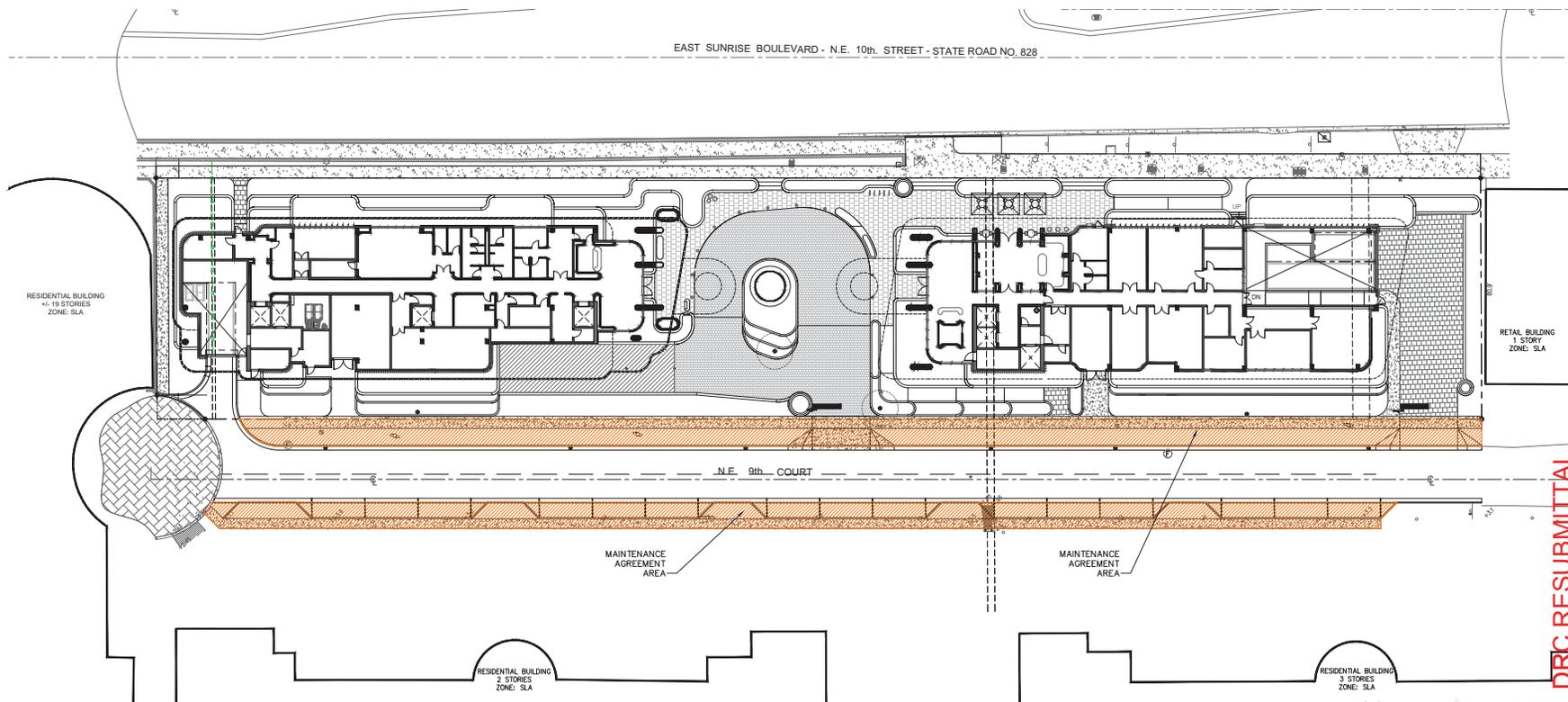


LEGEND:

 MAINT. AGREEMENT AREA (CITY)



EAST SUNRISE BOULEVARD - N.E. 10th. STREET - STATE ROAD NO. 828



FLYNN ENGINEERING
241 COMMERCIAL BLDG., LAUDERDALE-FL-HE-SEA, FL. 33099
PHONE: (304) 332-1111 FAX: (304) 332-1112
WWW.FLYNNENGINEERING.COM

Sheet Title
MAINTENANCE AGREEMENT EXHIBIT

Job Title
OCEAN PARK HOTEL AND RESIDENCES
2851/2901 E. SUNRISE BLVD
FORT LAUDERDALE, FLORIDA 33094



Revisions

No.	Description

Phase:
S/C/D
DOCUMENTS



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21-1627.00	02/14/22
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Appr. by M/K	1 of 1

Blake M Kidwell
Digitally signed by Blake M Kidwell
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ou=QualiReg-031100000017A339A,
37000004731, cn=Blake M Kidwell
Date: 2022.03.10 15:36:53 -0500

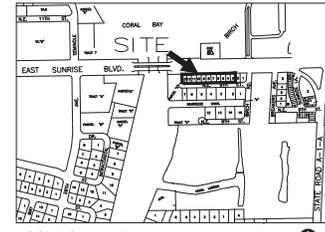
This document has been digitally signed and sealed by Blake M. Kidwell on 03/10/2022.
Printed copies of this document are not considered signed and sealed.

DRG RESUBMITTAL

03.10.2022

LEGEND:

	UTILITY EASEMENT
	PEDESTRIAN ACCESS EASEMENT (VARIABLE WIDTH)



Sheet Title
UTILITY/PUBLIC ACCESS EASEMENT EXHIBIT

Job Title
OCEAN PARK HOTEL AND RESIDENCES
2851/2901 E. SUNRISE BLVD
FORT LAUDERDALE, FLORIDA 33304

Revisions

No.	Description

Phase:
SIRC DOCUMENTS



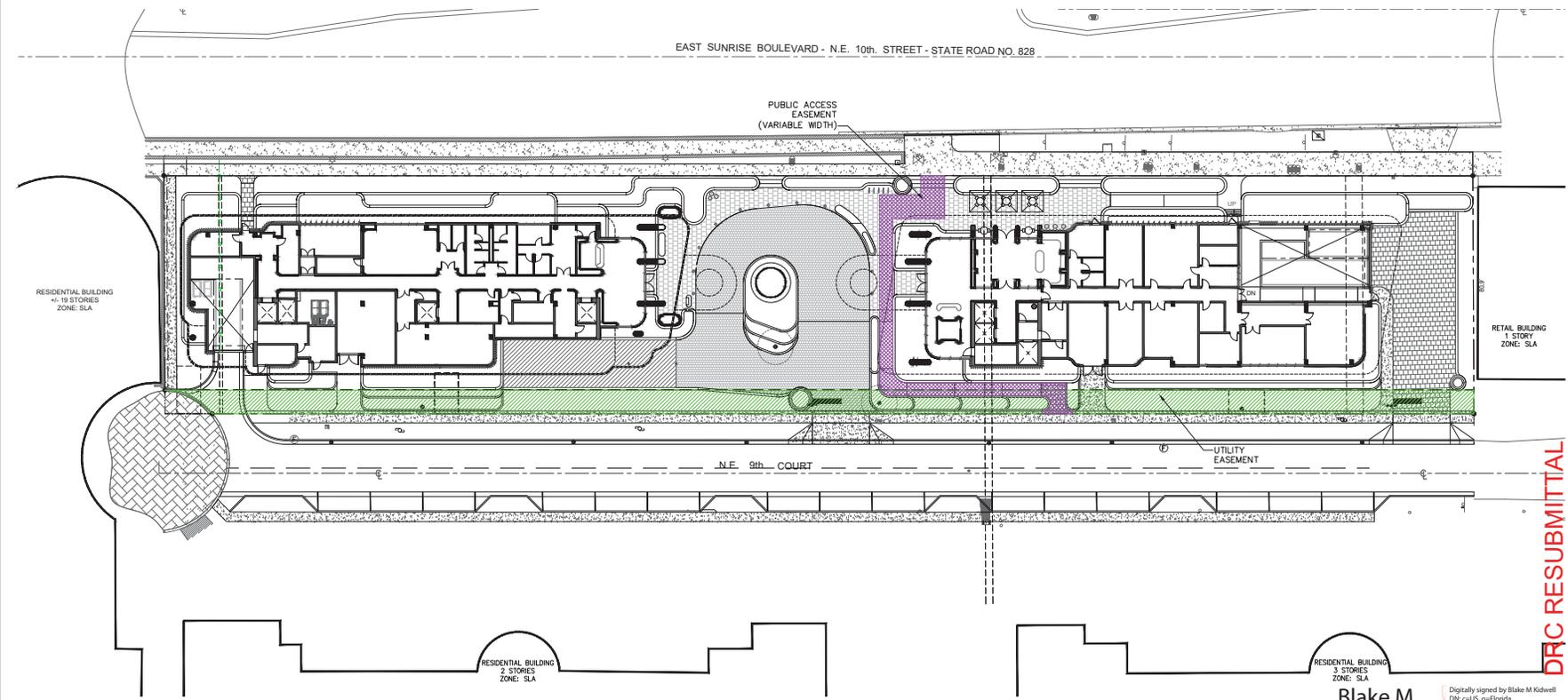
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Appr. by MK	

Blake M Kidwell
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Date: 2022.03.10 15:37:26 -05'00'

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Printed copies of this document are not considered signed and sealed.

DRC RESUBMITTAL

03.10.2022





April 5, 2022

Sarah Owen DelNegri
 Flynn Engineering Services, P.A.
 241 Commercial Blvd.
 Lauderdale-By-The-Sea, FL 33308

Subject: **WATER AND WASTEWATER CAPACITY AVAILABILITY LETTER**
2851 & 2901 NE 9TH CT – DRC Case No. UDP-S21031
2851 & 2901 NE 9TH CT, Fort Lauderdale, FL 33304

Dear Sarah Owen DelNegri,

Be advised, this letter supersedes the Department's previous Capacity Letter dated February 8, 2022. According to the information submitted, The project consists of demolishing an existing commercial and restaurant space. Two new towers consisting of 54 condo units, 100 hotel rooms, 3,210 sf of restaurant space, 663 sf of bar/cocktail lounge, and 825 sf of retail space. There are proposed water and sewer connections to City of Fort Lauderdale (City) utilities along N.E. 9th Ct. This project lies within the City's Pump Station (PS) B-16 basin and will increase the average day water demand by approximately 0.0125 million gallons per day (MGD) and the average day sewer demand by approximately 0.0095 MGD. While the existing sewer infrastructure has the capacity to support the proposed development, please note that the water infrastructure requires upgrades in order to support the proposed development.

If there are changes to the proposed development after issuance of this capacity availability letter, the Owner or Owner's authorized representative shall submit a revised request based on the updated plans. Failure to seek approval prior to changing the plans may result in revocation of permit and capacity allocation. The determination of capacity availability is based upon tools and data analysis as of the date of this letter. Availability of capacities, as calculated in the attached analysis, is not guaranteed and no existing system capacity shall be considered "committed" for this project until a permit has been issued and all fees have been paid. The City reserves the right to re-evaluate the availability of capacities at the time of permit application. If sufficient capacities are not available, the City may deny the permit application or ask the Owner/Developer to submit an alternate design prior to approval. Information contained in this letter will expire one year from the date issued.

Should you have any questions or require any additional information, please contact me at (954) 828-5115.

Sincerely,

Gabriel Garcia, E.I.
 Project Manager II

Enclosures: Water and Wastewater Capacity Analysis

cc: Alan Dodd, P.E., Public Works Director
 Talal Abi-Karam, P.E., Assistant Public Works Director
 Omar Castellon, P.E., Assistant Public Works Director
 Dennis Girisgen, P.E., City Engineer
 File: Water and Sewer Capacity Letters

PUBLIC WORKS DEPARTMENT

100 N. ANDREWS AVE, FORT LAUDERDALE, FLORIDA 33301
 TELEPHONE (954) 828-5772, FAX (954) 828-5074
WWW.FORTLAUDERDALE.GOV

Equal Opportunity Employer

CASE: UDP-S21031
 PZB Exhibit 2
 Page 1 of 9

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City of Fort Lauderdale
Public Works Department
Water and Wastewater Capacity Analysis

2851 & 2901 NE 9TH CT – DRC Case No. UDP-S21031
2851 & 2901 NE 9TH CT, Fort Lauderdale, FL 33304

PROJECT AND DESCRIPTION

The project consists of demolishing an existing commercial and restaurant space. Two new towers consisting of 54 condo units, 100 hotel rooms, 3,210 sf of restaurant space, 663 sf of bar/cocktail lounge, and 825 sf of retail space.

DESCRIPTION OF EXISTING UTILITIES

Water: The site is currently served by a 6-inch water main along N.E. 9th Ct., south of the project site. See Figure 1.

Wastewater: The site is currently served by an 8-inch gravity sewer main along N.E. 9th Ct., south of the project site. See Figure 2.

Pumping Station: The site is served by PS B-16 which is located along N. Birch Rd.

SUMMARY OF ANALYSIS AND REQUIRED ACTION

While the existing sewer infrastructure has the capacity to support the proposed development, please note that the water infrastructure requires the following upgrades (see Figure 3):

1. The existing 6-inch water main (along N.E. 9th Ct.) needs to be upgraded to a 10-inch line.
2. The existing 8-inch water main (along N. Birch Rd.) needs to be upgraded to a 10-inch line.
3. The newly upgraded mains need to be directly connected to the existing 16-inch water main located on Sunrise Blvd. (northeast of the proposed development).

PUBLIC WORKS DEPARTMENT

100 N. ANDREWS AVE, FORT LAUDERDALE, FLORIDA 33301
TELEPHONE (954) 828-5772, FAX (954) 828-5074
WWW.FORTLAUDERDALE.GOV

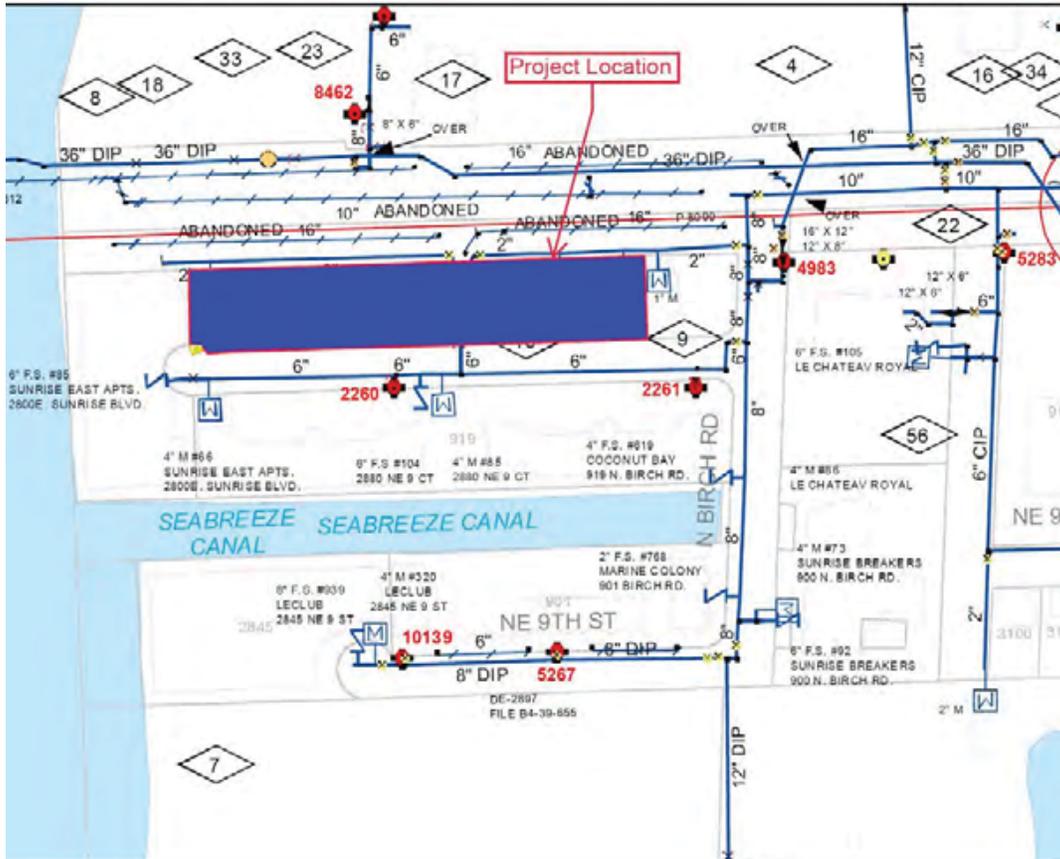
Equal Opportunity Employer

CASE: UDP-S21031
PZB Exhibit 2
Page 2 of 9

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Figure 1 – City Water Atlas



PUBLIC WORKS DEPARTMENT
100 N. ANDREWS AVE, FORT LAUDERDALE, FLORIDA 33301
TELEPHONE (954) 828-5772, FAX (954) 828-5074
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Equal Opportunity Employer
CASE: UDP-S21031
PZB Exhibit 2
Page 3 of 9

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Figure 2 – City Sewer Atlas



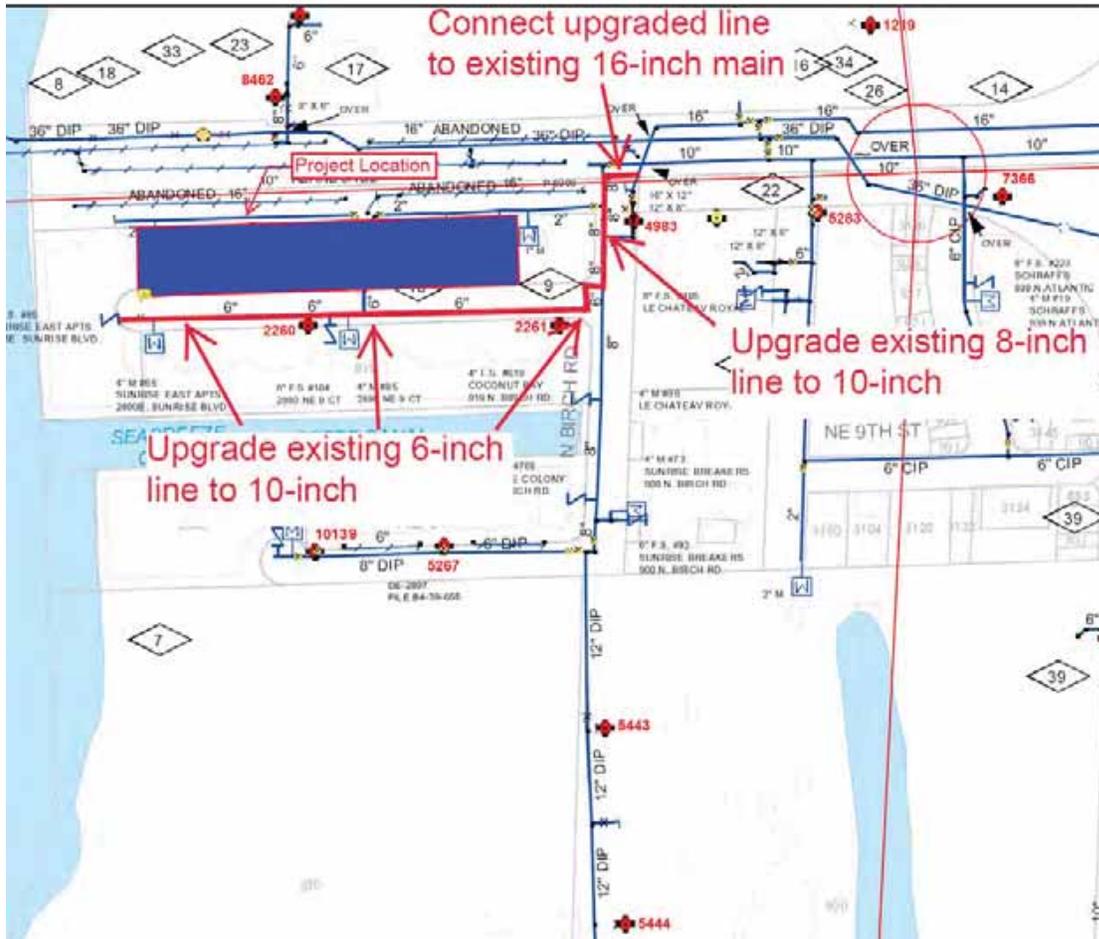
PUBLIC WORKS DEPARTMENT
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Figure 3 – Water Upgrades



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WATER CAPACITY ANALYSIS

Requested Demand: Based on the applicant’s site plan and building use information, the estimated average day potable water demand is approximately 12490 gallons per day (GPD), which equates to 0.0125 MGD. Average day water use demands are calculated by reducing the calculated max day water use demands by a factor of 1.3 as determined in the City’s Comprehensive Utility Strategic Master Plan. The max day water use demands are calculated using the City’s Guidelines for the Calculations of Sanitary Sewer Connection Fees and are based on City Ordinance No. C-19-29.

Evaluation of impact on existing distribution pipe (condition & capacity): According to the site plan, the applicant is proposing to utilize the 6-inch water main along N.E. 9th Ct. The InfoWater hydraulic model was analyzed to determine the impact of this project on the existing 6-inch water main.

Evaluation of impact of Permitted Water Plant Capacity: The Fiveash and the Peele Dixie Water Treatment Plants are designed to treat 70 MGD and 12 MGD of raw water respectively (82 MGD total). The total permitted Biscayne aquifer water withdrawals for these plants is limited to 52.55 MGD per the South Florida Water Management District (SFWMD) permit number 06-00123-W.

The current twelve-month rolling average production at the two plants is 37.53 MGD. The previously committed demand from development projects in the permitting or the construction stage is 4.78 MGD. Combining these figures with the demand from the proposed project of 0.0125 MGD, the required production would be 42.32 MGD. This is less than the allowable withdrawal limit of 52.55 MGD. Therefore, the water plants have sufficient capacity to serve this project. See Figure 4 below.

Recommended Water Infrastructure Improvements: No improvements required.

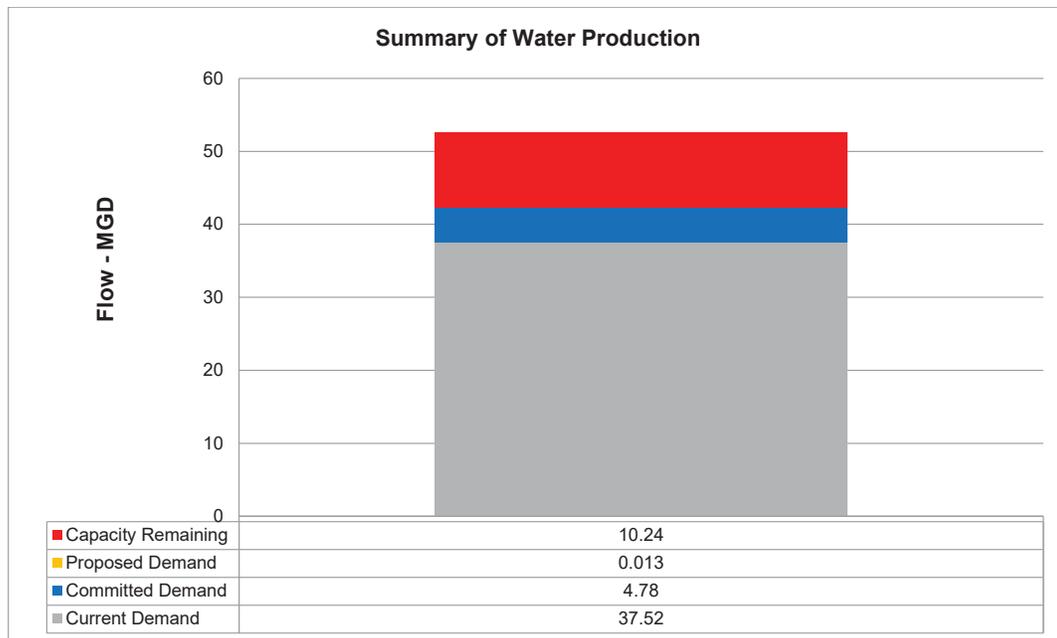


Figure 4

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WASTEWATER CAPACITY ANALYSIS

Requested Demand: Based on the applicant's site plan and building use information, the estimated average day sewer use demand is approximately 9472 GPD, which equates to 0.0095 MGD. Average day sewer use demands are calculated using the City's Guidelines for the Calculations of Sanitary Sewer Connection Fees and are based on City Ordinance No. C-19-29.

Evaluation of impact on existing collection pipe (condition and capacity): According to the site plan, the applicant is proposing to utilize the 8-inch gravity sewer main to the south of the project site along N.E. 9th Ct. Manual of Practice (MOP) 60, published by American Society of Civil Engineers (ASCE) for the gravity sewer design and used by the City staff, recommends that pipe diameters 15-inch or less be designed to flow half full during peak flows. The City uses a peak hourly flow factor of 3.0. Accounting for existing flows and based on the tools and information available to the City staff, it has been calculated that the pipes downstream of the proposed development will flow less than the ASCE-recommended 70% during peak flows. Therefore, the pipes downstream of the developments are adequate to serve the project.

Evaluation of impact on pumping station: PS B-16 has a duty point of 300 gallons per minute (GPM) and has a Nominal Average Pumping Operating Time (NAPOT) of approximately 7.01 hours per day. Based on projected sewage flows, the pumping run times would increase approximately 32 minutes per day. Additionally, there are other committed flows from proposed developments within the PS B-16 basin resulting in 44.00 minutes of additional runtime. PS B-16 will have a NAPOT of 8.27 hours once the proposed developments are complete, less than the recommended average of 10 hours per day. See Figure 5 below.

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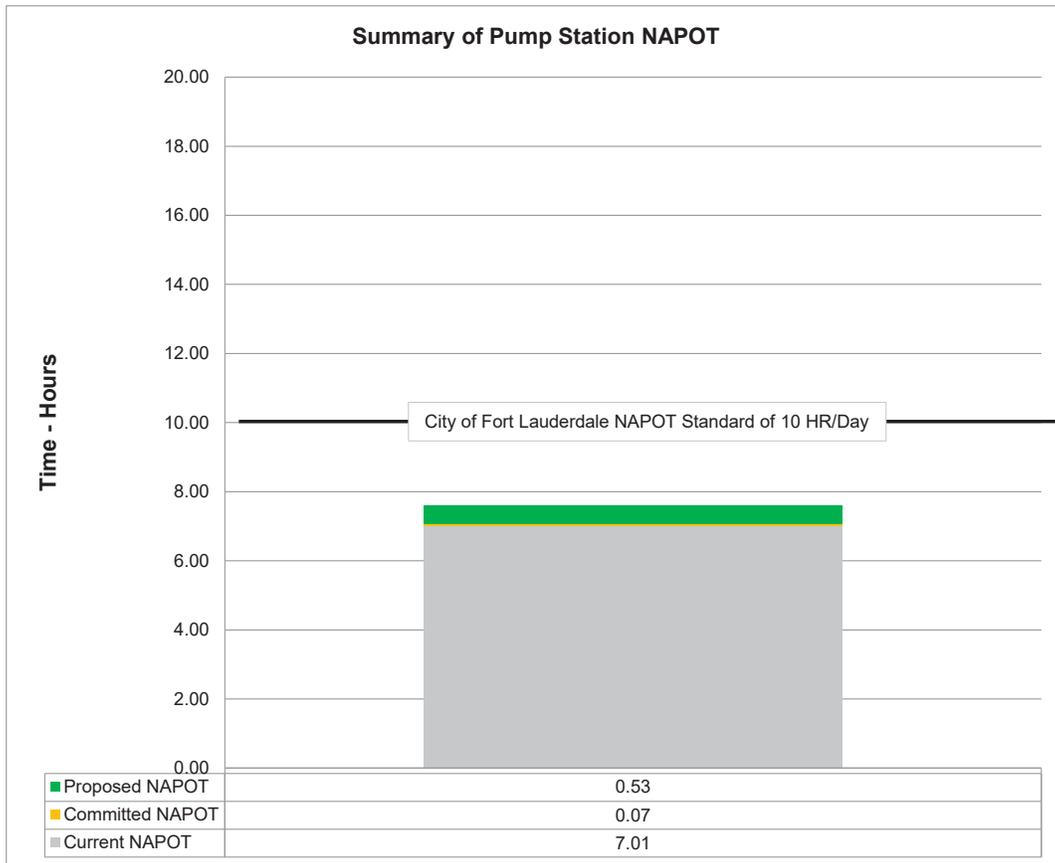


Figure 5

Evaluation of impact of Permitted Wastewater Plant Capacity: The City of Fort Lauderdale owns and operates the George T. Lohmeyer Regional Wastewater Treatment Plant (GTL), which provides wastewater treatment for the City of Fort Lauderdale. The Broward County’s Environmental Protection and Growth Management Department’s (EPGMD) Environmental Licensing & Building Permitting Division’s licensed capacity for GTL is 48 MGD-AADF (Million Gallons per Day – Annual Average Daily Flow). The annual average daily flow (AADF) to the plant is 39.47 MGD. Combining the committed flows for previously approved projects of 4.62 MGD plus the 0.0095 MGD net contribution from the project results in a total projected flow of 44.10 MGD. This is less than the permitted treatment plant capacity of 48 MGD. Therefore, the treatment plant has sufficient capacity to serve this project. See Figure 6 below.

Recommended Wastewater Infrastructure Improvements: No improvements required.

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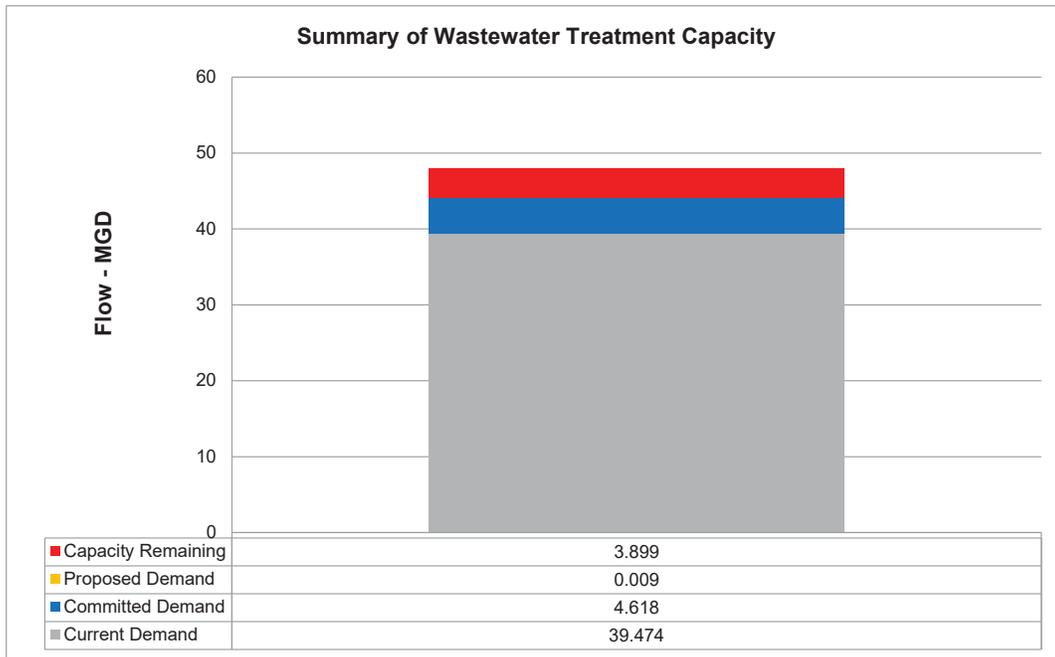


Figure 6

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PROJECT
OCEAN PARK HOTEL AND RESIDENCES

2851 and 2901 NE 99th COURT
 FORT LAUDERDALE, FLORIDA

OWNER
 SUNRISE FTL VENTURES, LLLP
 155 SE 2nd AVENUE SUITE 800
 MIAMI, FL 33131

CONSULTANTS
 LAND DEVELOPMENT ATTORNEY
 LOOHR & CHAMAS, P.A.
 401 E. BROWARD BLVD., SUITE 200
 FORT LAUDERDALE, FL 33301
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SURVEYOR
 ROYAL POINT LAND SURVEYORS, INC.
 6776 NW 13TH ST., SUITE 321
 MIAMI LAKES, FL 33054
 305.622.6902



1 SHADOW STUDY 01 - MARCH 20-8AM+1
 SS-01 1" = 200'-0"

2 SHADOW STUDY 01 - MARCH 20-11AM+1
 SS-01 1" = 200'-0"



3 SHADOW STUDY 01 - MARCH 20-1PM+1
 SS-01 1" = 200'-0"

4 SHADOW STUDY 01 - MARCH 20-5PM+1
 SS-01 1" = 200'-0"

NO.	DATE	ISSUE
1	08.29.21	DRC Resubmittal
2	09.10.21	DRC Resubmittal

DATE OF ISSUE
 03.10.2022

PROJECT STATUS
 DRC SUBMITTAL

PROJECT NO.
 21006

SEAL & SIGNATURE
 ROSALIND REYNAL ARCHITECT
 AS91718

DRC RESUBMITTAL

SS-01
 SHADOW STUDY-MARCH

03.10.2022



PROJECT
OCEAN PARK HOTEL AND RESIDENCES

2851 and 2901 NE 9th COURT
 FORT LAUDERDALE, FLORIDA

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 SUNRISE FT. VENTURES, LLLP
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NO.	DATE	ISSUE
1	08.29.21	DRC Resubmittal
2	09.10.22	DRC Resubmittal

DATE OF ISSUE
 03.10.2022

PROJECT STATUS
 DRC SUBMITTAL

PROJECT NO.
 21006

SEAL & SIGNATURE
 ROSALIND RETNA, ARCHITECT
 AS91718

DRC RESUBMITTAL

SS-02
 SHADOW STUDY-JUNE

03.10.2022



1 SHADOW STUDY 02 - JUNE 21-8AM+1
 SS-02 1" = 200'-0"

2 SHADOW STUDY 02 - JUNE 21-11AM+1
 SS-02 1" = 200'-0"



3 SHADOW STUDY 02 - JUNE 21-1PM+1
 SS-02 1" = 200'-0"

4 SHADOW STUDY 02 - JUNE 21-5PM+1
 SS-02 1" = 200'-0"



PROJECT

OCEAN PARK HOTEL AND RESIDENCES

2851 and 2901 NE 99 COURT
FORT LAUDERDALE, FLORIDA

OWNER
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NO.	DATE	ISSUE
1	08.29.21	DRC Resubmittal
2	09.10.22	DRC Resubmittal

DATE OF ISSUE
03.10.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
RODOLFO REYNAL ARCHITECT
AS01718

DRC RESUBMITTAL

SS-03
SHADOW
STUDY-DECEMBER
03.10.2022



1 SHADOW STUDY 03 - DECEMBER 21-8AM
SS-03 1" = 200'-0"

2 SHADOW STUDY 03 - DECEMBER 21-11AM
SS-03 1" = 200'-0"



3 SHADOW STUDY 03 - DECEMBER 21-1PM
SS-03 1" = 200'-0"

4 SHADOW STUDY 03 - DECEMBER 21-5PM
SS-03 1" = 200'-0"

DC Engineers, Inc.

Traffic Impact Study

Ocean Park Hotel and Residences

Fort Lauderdale, Florida

December, 2021

Prepared for:

Sunrise FTL Ventures LLLP

Updated January 2022

Ocean Park Hotel and Residences

NE 9 Court
Fort Lauderdale, Florida

Traffic Impact Study

December 2021

Updated January 2022

Prepared for:
Sunrise FTL Ventures LLLP

Prepared by:
Danielsen Consulting Engineers, Inc.
12743 NW 13th Court
Coral Springs, Florida



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- Appendix E - Internalization Calculations
- Appendix F - Historic Growth
- Appendix G - Volume Development Worksheets
- Appendix H - Synchro
- Appendix I - Valet Analysis

INTRODUCTION

Sunrise FTL Ventures LLLP proposes to construct 54 multifamily dwelling units, 100 hotel rooms, a 3,210 square foot restaurant, a 663 square foot pool bar and 825 square feet of retail space at 2851 and 2901 NE 9 Court (along the west side of Birch Road between NE 9 Court and Sunrise Boulevard (SR 838)) within municipal limits of the City of Fort Lauderdale. Figure 1 on the following page shows the location of the project site as well as the transportation network in the immediate vicinity.

Danielsen Consulting Engineers, Inc. has been retained by Sunrise FTL Ventures LLLP to conduct a traffic study in connection with the proposed development¹. This study addresses trip generation, site access, expected impacts to the adjacent roadway network, and potential improvements intended to mitigate new trips generated by the project.

This study is divided into eight (8) sections, as listed below:

1. Inventory
2. Existing Conditions
3. Traffic Counts
4. Trip Generation
5. Trip Distribution and Traffic Assignment
6. Traffic Analysis
7. Valet Analysis
8. Conclusions

¹ A traffic study methodology meeting was held on Tuesday July 20, 2021 with City staff and the City's traffic engineering consultant. The agreed upon methodology is included as Appendix A.

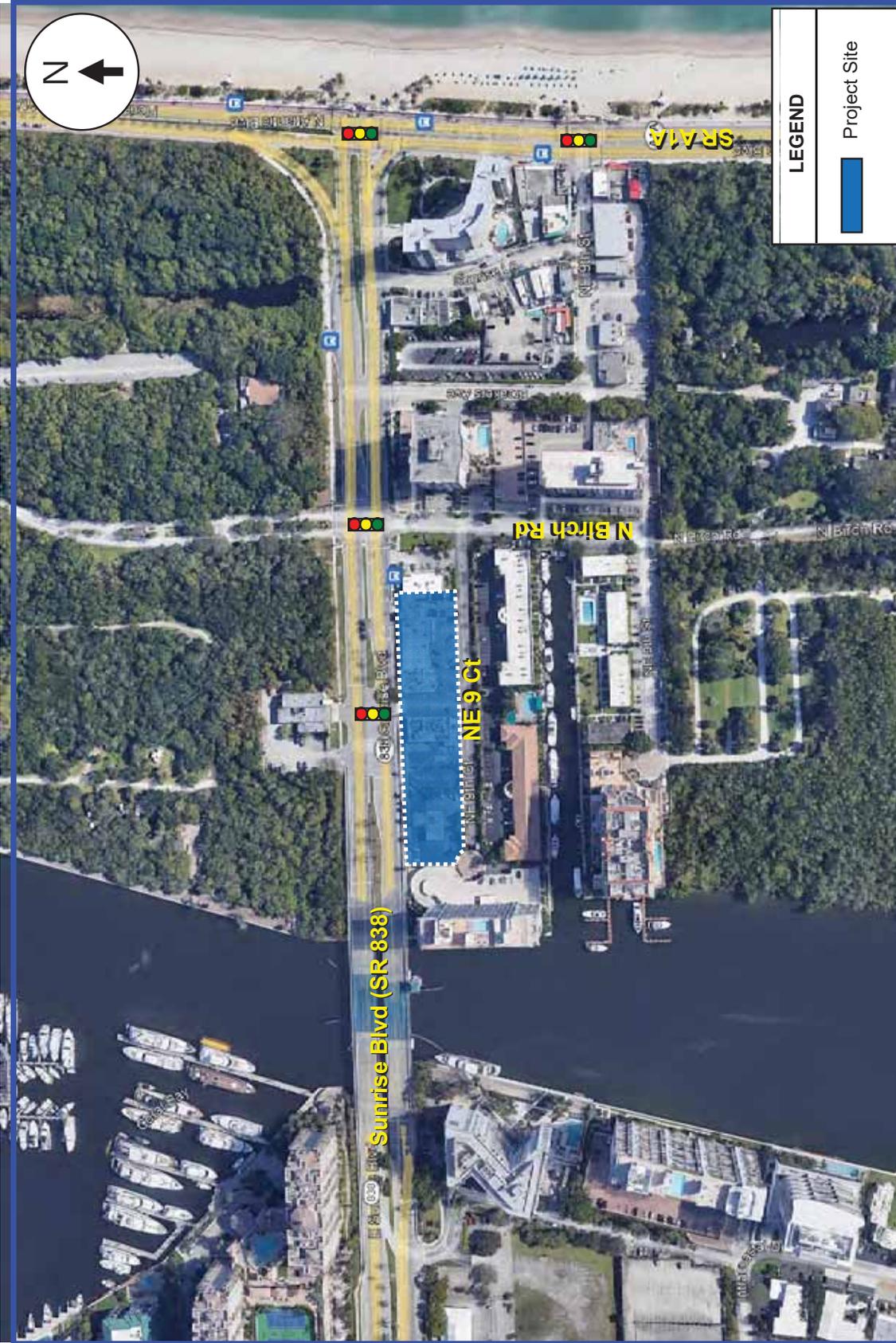


FIGURE 1
Ocean Park
 Fort Lauderdale, Florida

Project Location Map

DC Engineers, Inc.

INVENTORY

Existing Land Use and Access

The subject 1.26-acre site is currently occupied by surface parking spaces and a variety of businesses including: two (2) restaurants, a massage center, a car rental agency, a palm reader, and a scooter rental center. Vehicular access to the site is provided at two (2) locations along Sunrise Boulevard (SR 838) and along the NE 9 Court frontage.

Proposed Land Uses and Access

The project site is proposed to be redeveloped with the following:

- 54 multifamily dwelling units,
- 100 hotel rooms,
- a 3,210 square foot restaurant,
- a 663 square foot pool bar, and
- 825 square feet of retail space.

Access to the mixed-use development is proposed as follows:

- **Driveway A** - A one-lane service driveway on NE 9 Court adjacent to the west property line,
- **Driveway B** - A two-way, two-lane driveway on NE 9 Court accessing the resident and hotel valet service area, and
- **Driveway C** - A two-way, two-lane service driveway along the east property line.

The project is anticipated to be built and occupied by the year 2024. The site plan for the proposed Ocean Park Hotel and Residences is included as Appendix B.

EXISTING CONDITIONS

This section addresses the roadway system adjacent to and surrounding the project site.

Roadway System

The transportation network within the study area includes two (2) state minor arterials (Sunrise Boulevard (SR 838) and North Fort Lauderdale Beach Boulevard (SR A1A)) and local roadways including Birch Road and NE 9 Court.

Sunrise Boulevard (SR 838) is a six (6) lane state maintained facility adjacent to the project site. This arterial has a posted speed limit of 35 miles per hour (mph) and a current (2019) AADT of 25,000 vehicles per day (vpd).

North Fort Lauderdale Beach Boulevard (SR A1A) is a four (4) lane state maintained facility south of Sunrise Boulevard (SR 838) transitioning to two (2) lanes with on-street parking north of Sunrise Boulevard (SR 838). This arterial has a posted speed limit of 30 mph and a current (2019) AADT of 27,500 vpd south of Sunrise Boulevard (SR 838) and 18,800 vpd north of Sunrise Boulevard (SR A1A).

Due to abnormal conditions 2019 (rather than 2020) volumes are referenced. The Florida Department of Transportation (FDOT) is the source of all AADT volumes.

Study Intersections

For purposes of this study, the following two (2) intersections were selected for detailed analysis.

- Sunrise Boulevard (SR 838) at Birch Road, and
- NE 9 Court at Birch Road.

Figure 2 shows approach lanes at each intersection under study and the number of through lanes on corresponding roadway segments.

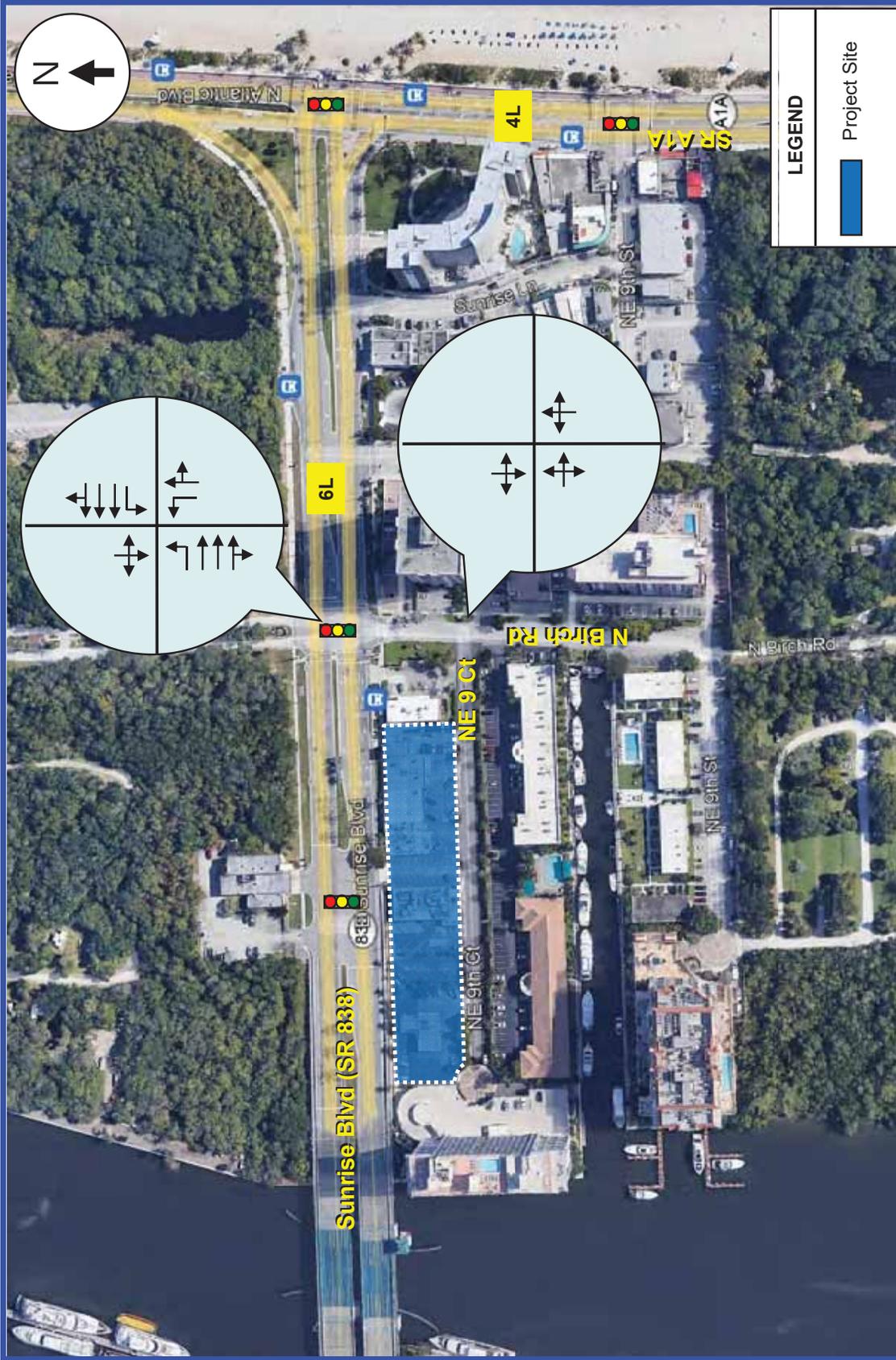


FIGURE 2
Ocean Park
 Fort Lauderdale, Florida

Existing Lane Geometry

DC Engineers, Inc.

Transit Service and Facilities

Three (3) traditional Broward County Transit routes serve the project site as follows:

- **Route 36** traverses central Broward County primarily along Sunrise Boulevard (SR 838) between NW 136 Avenue (Panther Parkway) and North Fort Lauderdale Beach Boulevard (SR A1A).
- **Route 40** traverses central Broward County from the Lauderhill Mall on SR 441 to Galleria Fort Lauderdale via NW 19 Street, Sistrunk Boulevard, the 17th Street Causeway, SR A1A and Sunrise Boulevard (SR 838) adjacent to the project site.
- **Route 11** covers Broward County from US 441 (SR 7) to the Pompano Citi Centre along Prospect Road, NW 21 Avenue, Sistrunk Boulevard, Las Olas Boulevard and SR A1A near the project site.

Fixed route schedules are included as Appendix C.

Broward County Transit's community shuttle service increases the number of destinations accessible to residents through public transit. The Beach Link trolley traverses the SE 17 Street Causeway, Fort Lauderdale Beach Boulevard (SR A1A), Seabreeze Boulevard, Sunrise Boulevard (SR 838) and the Galleria Fort Lauderdale property on a continuous loop and is active Monday through Sunday between 10:30 AM and 5:00 PM. The Beach Link trolley provides convenient connection to the Las Olas Link, the Downtown Link, the Neighborhood Link and the NW Community Link.

TRAFFIC COUNTS

Danielsen Consulting Engineers, Inc., in association with Traffic Survey Specialists, Inc., collected turning movement count data at the following locations:

- Sunrise Boulevard (SR 838) at Birch Road, and
- NE 9 Court at Birch Road.

Intersection turning movements including bicycles and pedestrians were documented on Tuesday September 14, 2021. Data was collected during both AM (7:00 to 9:00) and PM (4:00 to 6:00) peak periods. Traffic data collected on Tuesday September 14, 2021 was reviewed with respect to average peak season conditions. According to the Florida Department of Transportation's (FDOT) Peak Season Factor Category (PSFC) report (reference Appendix D), an adjustment factor of 1.35 is required to convert traffic counts collected during this time period to average peak season conditions.

Existing peak hour traffic volumes adjusted to peak season are shown in Figure 3 and are included as Appendix D. Signal timing plans obtained from Broward County Traffic Engineering Division (BCTED) are also contained within Appendix D.

The proposed project will eliminate two (2) existing driveway locations along Sunrise Boulevard (SR 838).

The western driveway (opposite Fire Station 13) providing access to a paved surface parking area was counted on Tuesday September 14, 2021 during both AM and PM peak hours. The data, as collected, is included within Appendix D. The counts show eight (8) vehicles utilized the driveway during the AM peak hour (six (6) entering and two (2) exiting) and 10 vehicles used the driveway during the PM peak (nine (9) entering and one (1) exiting). As the observed volumes are minimal and may belong to a business still active on site, they were not redirected to adjacent intersections.

The eastern driveway, serving the car rental company, is still active but is often blocked off with cones. Once this business relocates, the vehicles accessing the site will no longer traverse area roadways or intersections. To provide a conservative analysis, these vehicles were not removed from existing turning movement counts.

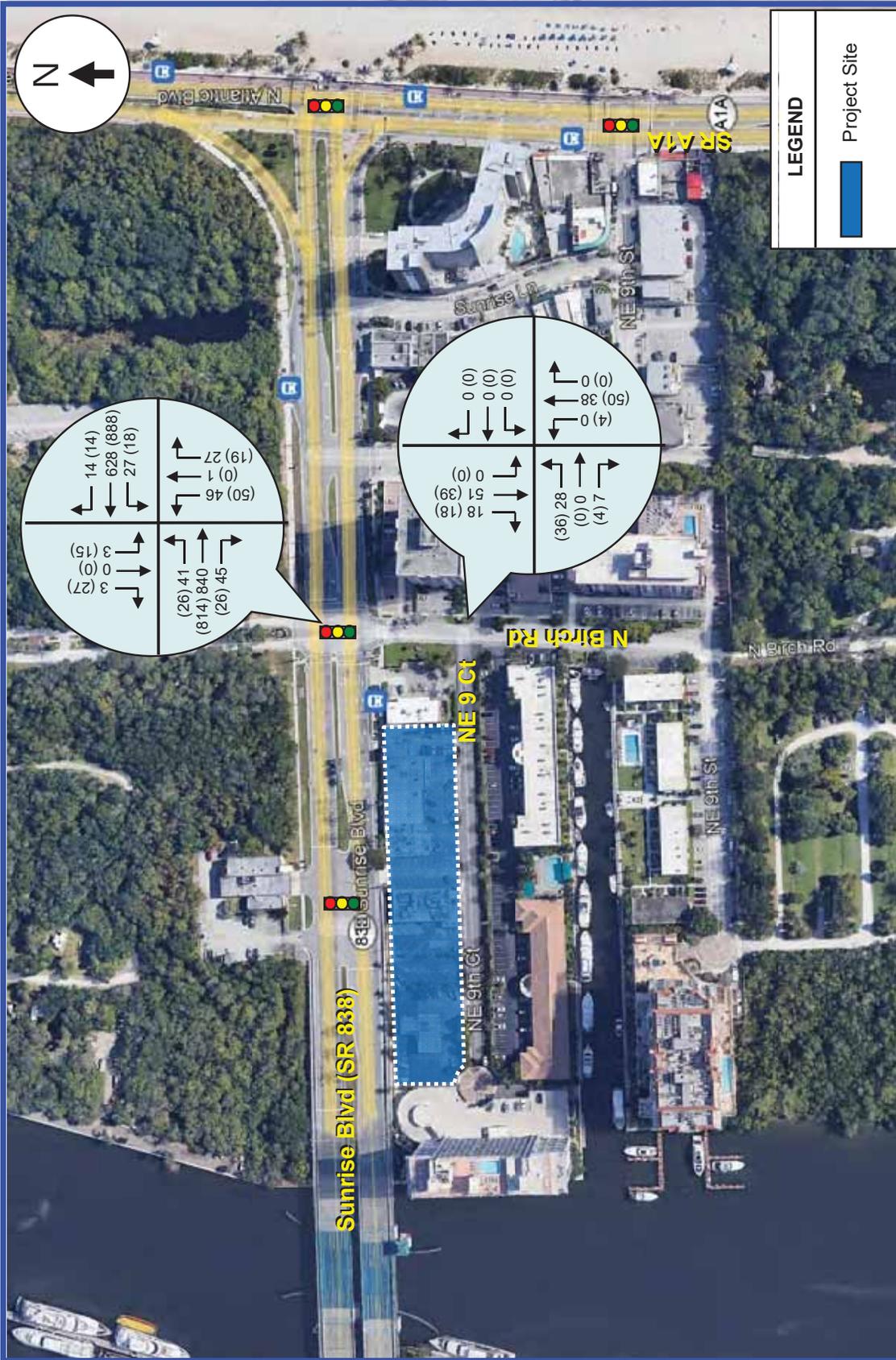


FIGURE 3
 Ocean Park
 Fort Lauderdale, Florida

**Existing (2021) AM and PM Peak Hour
 Peak Season Traffic Counts**

DC Engineers, Inc.

TRIP GENERATION

Trip generation for the proposed development is based upon rates and formulae published in the Institute of Transportation Engineer's (ITE) report *Trip Generation* (10th Edition). According to ITE, the most appropriate land use categories for the proposed development are Land Use Code (LUC) 222 'Multifamily Housing (High-Rise)', LUC 310 'Hotel', LUC 925 'Drinking Place', LUC 932 'High-Turnover (Sit-Down) Restaurant and LUC 820 'Shopping Center' for the retail component. Trip generation equations for the proposed land uses as published by ITE, are as follows:

Multifamily Housing (High-Rise) – ITE Land Use #222

- Weekday: $T = 4.45 (X)$
where T = number of trips and X = dwelling units
- AM Peak Hour: $T = 0.31 (X)$ (24% in / 76% out)
- PM Peak Hour: $T = 0.36 (X)$ (61% in / 39% out)

Drinking Place – ITE Land Use #925

- Weekday: *not available. See Table 2 for methodology
where T = number of trips and X = 1,000 sf gross floor area
- AM Peak Hour: *not applicable
- PM Peak Hour: $T = 11.36 (X)$ (66% in / 34% out)

High-Turnover (Sit-Down) Restaurant – ITE Land Use #932

- Weekday: $T = 112.18 (X)$
where T = number of trips and X = 1,000 sf gross floor area
- AM Peak Hour: $T = 9.94 (X)$ (55% in / 45% out)
- PM Peak Hour: $T = 9.77 (X)$ (62% in / 38% out)

Shopping Center – ITE Land Use #820

- Weekday: $T = 37.75 (X)$
where T = number of trips and X = 1,000 sf gross leasable area
- AM Peak Hour: $T = 0.94 (X)$ (62% in / 38% out)
- PM Peak Hour: $T = 3.81 (X)$ (48% in / 52% out)

Hotel – ITE Land Use #310

- Weekday: $T = 11.29 (X) - 426.97$
where $T = \text{number of trips}$ and $X = \text{rooms}$
- AM Peak Hour: $T = 0.50 (X) - 5.34$ (59% in / 41% out)
- PM Peak Hour: $T = 0.75 (X) - 26.02$ (51% in / 49% out)

Using the above trip generation formulae from the ITE document, a trip generation analysis was undertaken for the proposed development. The results of this effort are documented in report Table 1. As shown in Table 1, the proposed development is expected to produce 1,166 vehicle trips per day, approximately 86 AM peak hour trips (46 inbound and 40 outbound), and approximately 82 PM peak hour trips (48 inbound and 34 outbound).

Vehicle trips produced by existing uses to be removed are also shown in Table 1. Incorporating these existing trips yields 14 net new vehicle trips per day (vpd), zero (0) net new AM peak hour trips, and -19 net new PM peak hour trips (-11 inbound and -8 outbound). Although several existing establishments are still open for business including 'Hot Scooter Rental' and 'aCar Rental', vehicle trips from existing uses are provided for informational purposes only.

Internal Capture

Internal capture is expected between complementary land uses within a multi-use project and are those vehicle trip ends that can be satisfied onsite without impact to the adjacent roadway network. Internal capture trips are determined based upon methodologies contained within the ITE *Trip Generation Handbook*, 3rd Edition. Internal capture calculations are included as Appendix E.

Although applicable, to provide a conservative analysis reductions have not been considered for pass-by capture or mode split.

Table 1: Trip Generation Summary Existing and Proposed Uses

Land Use	Scale	Units	AM Peak Hour			PM Peak Hour			Daily
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound	
High-Turnover (Sit-Down) Restaurant (LUC 932)	7.927	ksf	79	43	36	77	48	29	889
Shopping Center (LUC 820)	7.909	ksf	7	4	3	30	14	16	299
Subtotal			86	47	39	107	62	45	1,188
Internalization (0%, 6%)			0	0	0	6	3	3	36
Total			86	47	39	101	59	42	1,152

Land Use	Scale	Units	AM Peak Hour			PM Peak Hour			Daily
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound	
Multifamily Housing (High-Rise) (LUC 222)	54	du	17	4	13	19	12	7	240
Drinking Place (LUC 925)	0.663	ksf	0	0	0	8	5	3	89
High-Turnover (Sit-Down) Restaurant (LUC 932)	3.210	ksf	32	18	14	31	19	12	360
Retail (LUC 820)	0.825	ksf	1	1	0	3	1	2	31
Hotel (LUC 310)	100	rooms	45	27	18	49	25	24	702
Subtotal			95	50	45	110	62	48	1,422
Internalization (10%, 26%)			9	4	5	28	14	14	256
Total			86	46	40	82	48	34	1,166

Source: ITE report Trip Generation (10th Edition)

Net New Vehicle Trips	0	-1	1	-19	-11	-8	14
------------------------------	----------	-----------	----------	------------	------------	-----------	-----------

TRIP DISTRIBUTION AND TRAFFIC ASSIGNMENT

For purposes of this study, the distribution and assignment of project-related vehicle trips are based on current travel patterns documented at the intersection of Sunrise Boulevard (SR 838) and Birch Road. A distribution of 68 percent to and from the west and 32 percent to and from the east was utilized as shown in Figure 4.

Peak hour trips generated by the proposed development were assigned to area roadways and intersections using the traffic assignment detailed above and project trips shown in Table 1. Project traffic assignment is summarized in Figure 5.

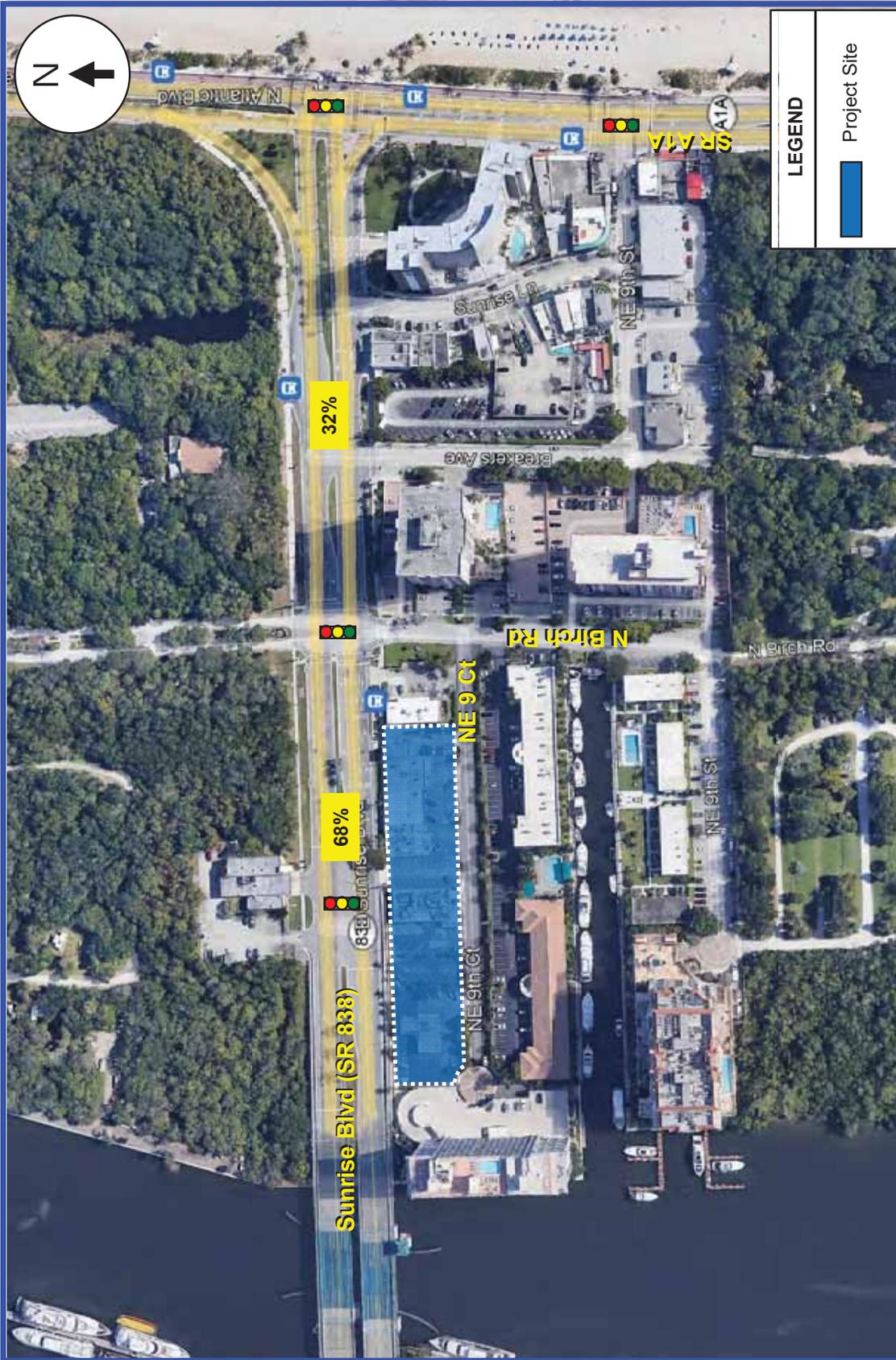
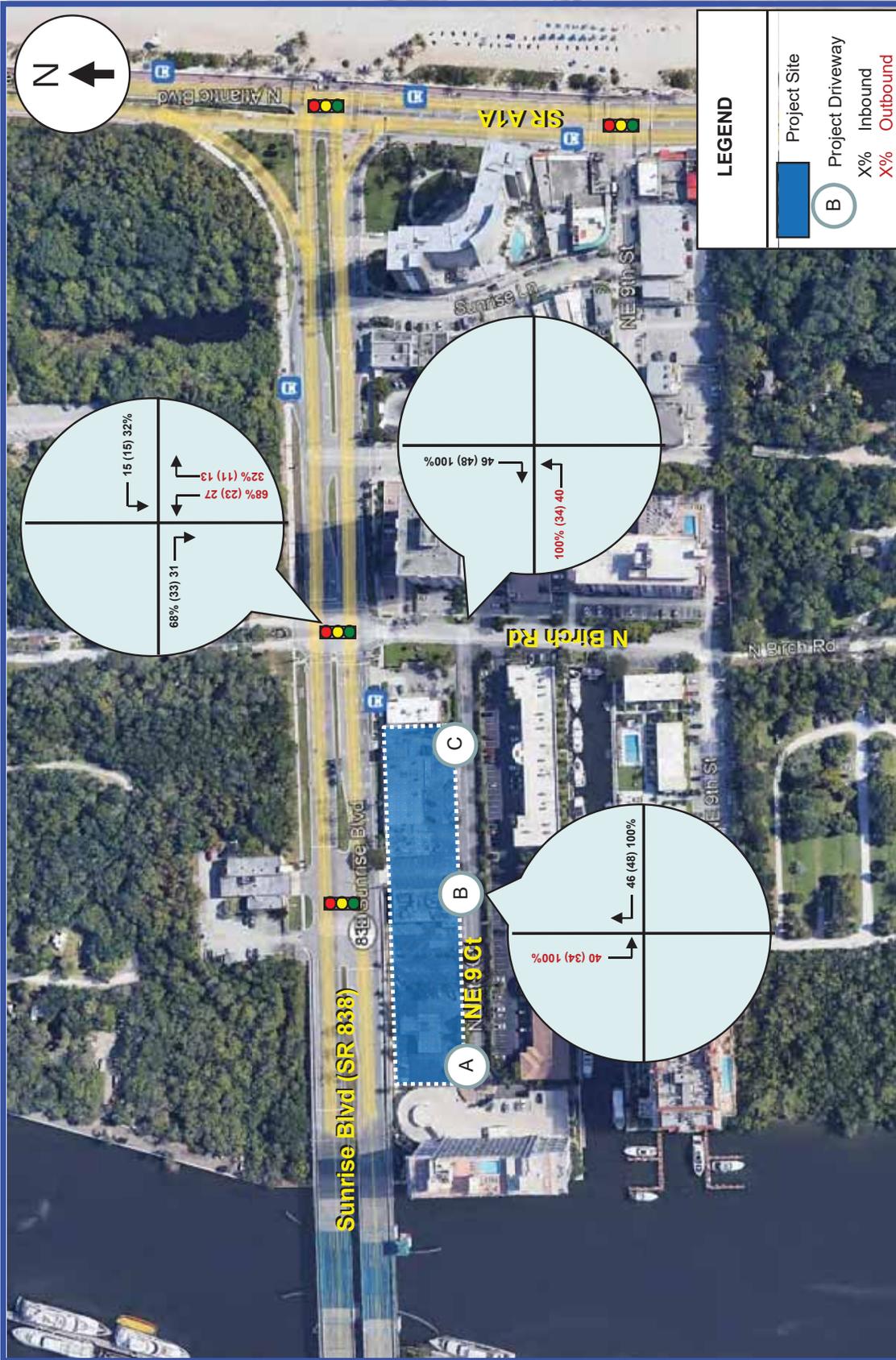


FIGURE 4
Ocean Park
 Fort Lauderdale, Florida

Project Traffic Distribution

DC Engineers, Inc.



DC Engineers, Inc.

Project Traffic Assignment

FIGURE 5
Ocean Park
Fort Lauderdale, Florida

TRAFFIC ANALYSIS

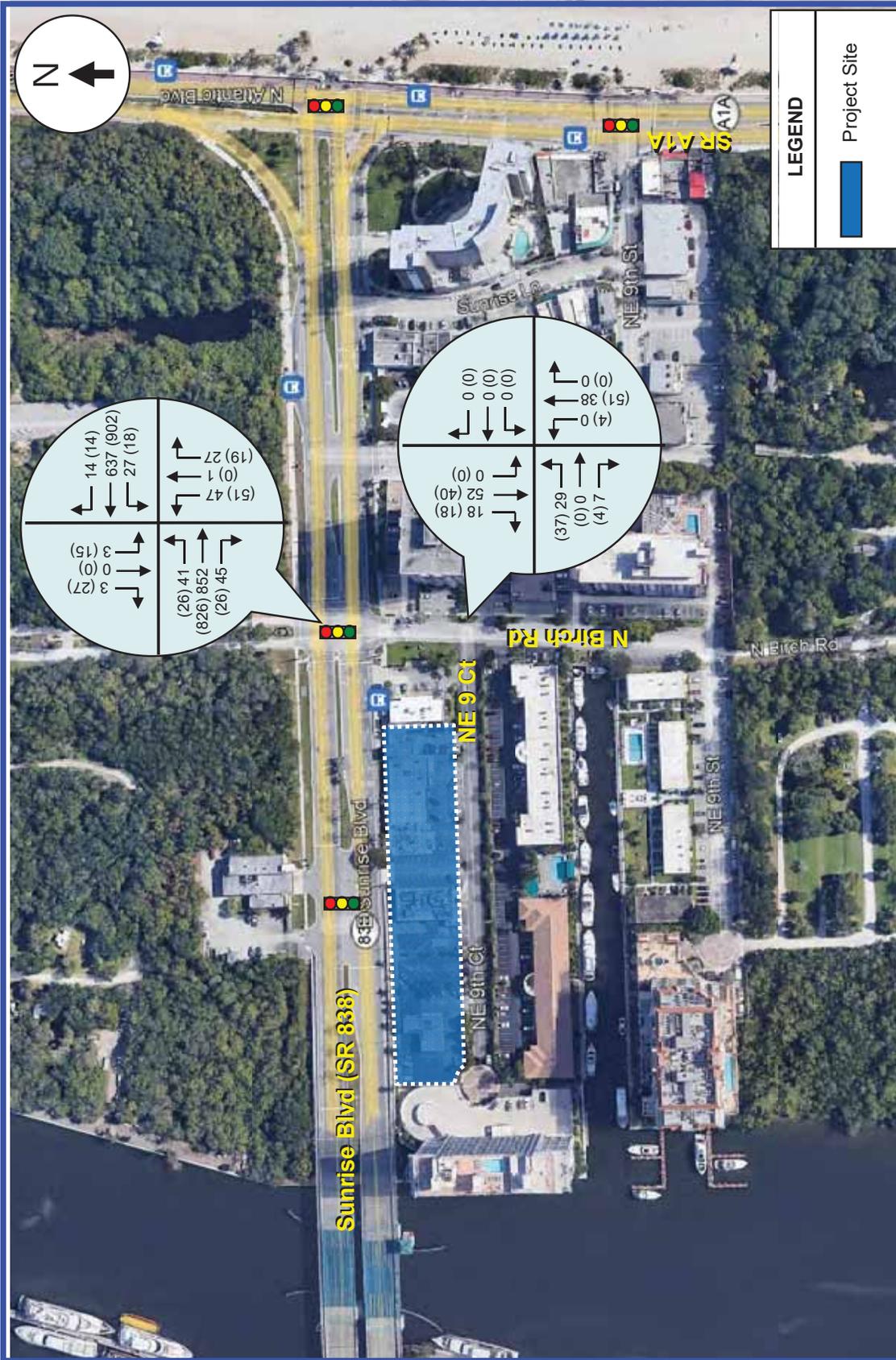
This section of the study is divided into two (2) distinct parts. The first part involves development of future (2024) traffic volumes for the study area. The second part includes level-of-service analyses for both existing and future year conditions.

Future Conditions Traffic Volumes

Future, build-out year (2024) traffic volumes were developed for the project study area in the following manner:

- **Average Peak Season Conversion Factor:** Traffic data collected on Tuesday September 14, 2021 was reviewed with respect to average peak season conditions. According to the FDOT Peak Season Factor Category (PSFC) report (Appendix D), an adjustment factor of 1.35 is required to convert traffic counts collected during this time period to average peak season conditions.
- **Historic Growth:** FDOT maintains three (3) traffic count stations on roadways within the identified study area. Annual Average Daily Traffic Volumes at these count stations for the past five (5) years (2015-2019) yield an annual average growth of -1.53 percent per year. To provide a conservative analysis, an annual average growth of 0.50 percent was utilized. The data from FDOT and the growth rate analysis are included as Appendix F.
- **Committed Development:** Vehicle trips associated with approved but unbuilt projects within the immediate area are typically added to peak season volumes to produce 2024 background traffic conditions for the study area. At this time no approved but unbuilt projects have been identified.

Volume development worksheets (detailing peak season adjustments, traffic growth and traffic associated with the proposed project) are attached as Appendix G. Figures 6 and 7 include future traffic volumes for the study area. Figure 6 provides projected background traffic (without the proposed project) and Figure 7 includes the additional traffic anticipated to be generated by the proposed Ocean Park Hotel and Residences.



DC Engineers, Inc.

FIGURE 6
Ocean Park
Fort Lauderdale, Florida

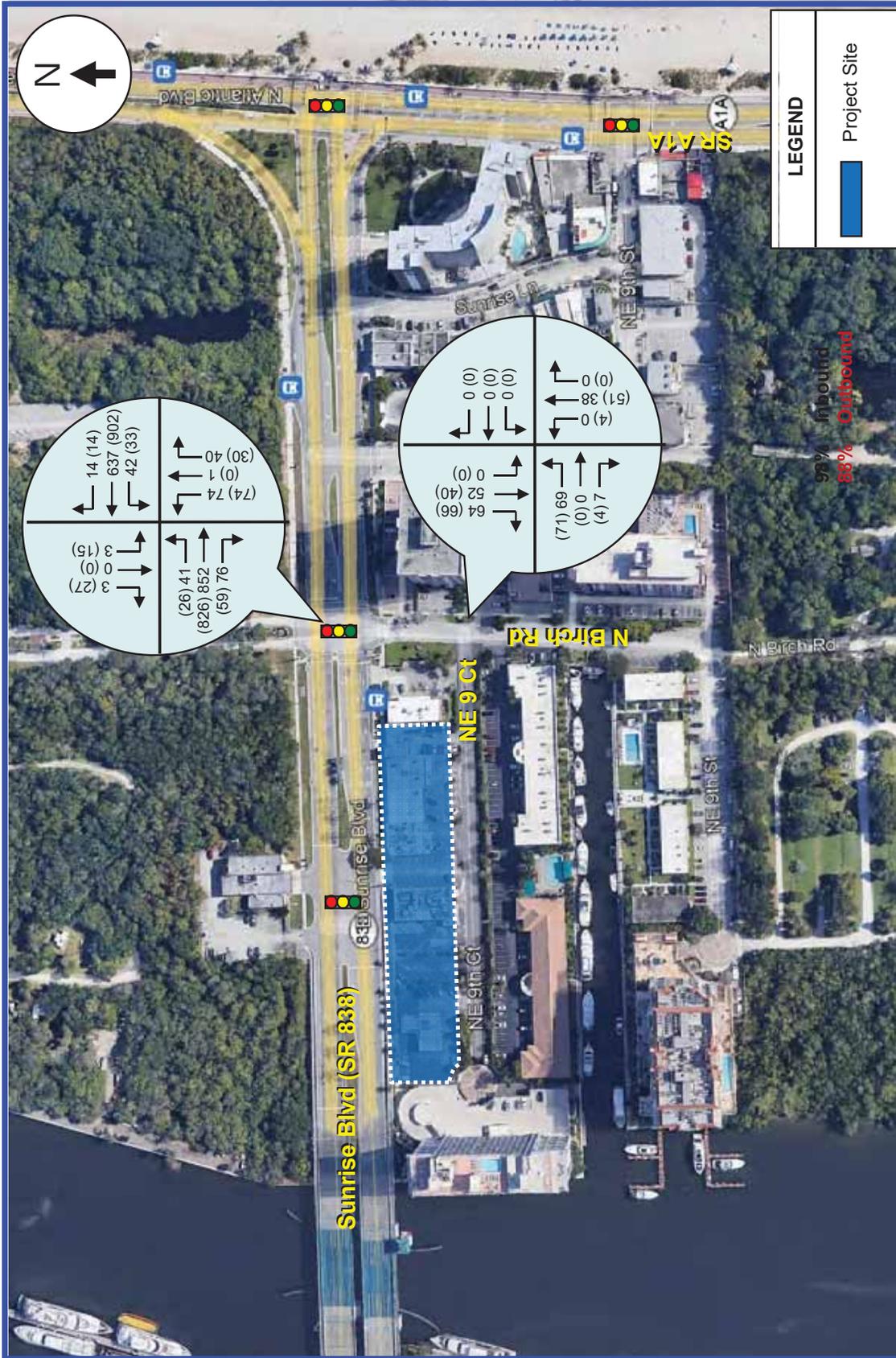


FIGURE 7
Ocean Park
Fort Lauderdale, Florida

Future (2024) Total Traffic (with Project)
AM and PM Peak Hour Traffic Volumes

DC Engineers, Inc.

Detailed Intersection and Driveway Level of Service Analyses

Intersection capacity analyses were performed for both study intersections and the primary project driveway (Driveway B). The analyses were undertaken following the capacity/level of service procedures outlined in the current (6th) edition of the Highway Capacity Manual using the SYNCHRO 11 software. The results of the intersection analyses are summarized in report Table 2.

According to the City of Fort Lauderdale Comprehensive Plan (Transportation Element), LOS 'D' is acceptable within the project study area and is thus applicable to the analysis contained herein. As shown in Table 2 both study intersections and the primary project driveway are expected to operate within this acceptable level of service in future year 2024 with traffic from the project as proposed. Appendix H includes Synchro summary sheets and a detailed review of each intersection through each development horizon.

A review of storage length availability for those lanes designated for turning movements only, show that all have unused capacity across all three development scenarios.

Table 2: Intersection Levels of Service

Intersection/Approaches	Existing (2021)	Future Traffic Conditions		
		Year 2024 Without Project	Year 2024 With Project	Year 2024 With Imp.
<i>Sunrise Blvd at Birch Rd</i>	A\6.5 (B\11.1)	A\6.5 (B\11.1)	A\7.5 (B\11.7)	
- NB Approach	C\33.2 (C\33.0)	C\33.3 (C\33.0)	C\33.3 (C\33.4)	
- SB Approach	C\32.2 (C\33.1)	C\32.2 (C\33.1)	C\31.8 (C\32.9)	
- EB Approach	A\6.5 (B\16.2)	A\6.6 (B\16.2)	A\7.2 (B\16.5)	
- WB Approach	A\3.2 (A\3.6)	A\3.3 (A\3.6)	A\3.4 (A\3.8)	
<i>NE 9 Ct at Birch Rd</i>				
- EB Approach	A\8.7 (A\8.8)	A\8.7 (A\8.9)	A\9.1 (A\9.3)	
<i>NE 9 Ct at Project Driveway B</i>				
- SB Approach	NA	NA	A\8.4 (A\8.4)	

Source: HCM 6. LEGEND: AM Peak Hour (PM Peak Hour);vehicular delay (sec\veh)

VALET ANALYSIS

As all vehicles will be processed through the valet service and will enter and exit the project site through the central porte-cochere area (using Driveway B), the ability of the access driveway to accommodate the resulting vehicle queue has been examined. According to Section 47-20.17 of Unified Land Development Regulations (ULDR's) specific to the City of Fort Lauderdale, a minimum vehicle storage of six (6) vehicles is required for the proposed development. A queue diagram showing the proposed location of the valet stand and the six (6) vehicle reservoir spaces (VRS) is provided within Appendix B.

In addition, a valet analysis was conducted for the one (1) valet location proposed to serve both the residential units and the 100 hotel rooms. The length of queue anticipated was determined using information contained in ITE's *Transportation and Land Development*, Chapter 8. For this analysis, the following input variables were used:

- **Demand Rate:** Based on ITE's *Trip Generation* (10th Edition), the maximum inbound vehicular traffic flow anticipated at the porte-cochere is approximately 48 vehicles representing external residential and hotel trips during the PM peak hour.
- **Service Rate:** It was assumed that the average time to park/unpark a vehicle by a valet runner is approximately 94 seconds per vehicle. Drop off/retrieval periods are dependent upon several factors including ticket processing time, vehicle travel time to parking space and attendant return speed. Assumptions are shown in the queuing analysis contained in Appendix I.

With a 95% confidence level, it is projected that a minimum of three (3) parking attendants is required to limit the maximum queue to six (6) vehicles during a typical PM peak hour. Appendix I includes queue analysis worksheets.

CONCLUSIONS AND RECOMMENDATIONS

Sunrise FTL Ventures LLLP proposes to construct 54 multifamily dwelling units, 100 hotel rooms, a 3,210 square foot restaurant, a 663 square foot pool bar and 825 square feet of retail space at 2851 and 2901 NE 9 Court (along the west side of Birch Road between NE 9 Court and Sunrise Boulevard (SR 838)) within municipal limits of the City of Fort Lauderdale. The proposed project is expected to be built and occupied by 2024.

Access to the mixed-use development is proposed as follows:

- **Driveway A** - A one-lane service driveway on NE 9 Court adjacent to the west property line,
- **Driveway B** - A two-way, two-lane driveway on NE 9 Court accessing the resident and hotel valet service area, and
- **Driveway C** - A two-way, two-lane service driveway along the east property line.

Conclusions and recommendations of the traffic study are as follows:

- As shown in Table 1, the proposed Ocean Park Hotel and Residences is expected to produce 1,166 vehicle trips per day, approximately 86 AM peak hour trips (46 inbound and 40 outbound), and approximately 82 PM peak hour trips (48 inbound and 34 outbound).
- Provided for informational purposes only are vehicle trips produced by existing retail and restaurant uses to be removed. Incorporating these existing trips yields 14 net new vehicle trips per day (vpd), zero (0) net new AM peak hour trips, and -19 net new PM peak hour trips (-11 inbound and -8 outbound).
- Signalized and unsignalized intersections within the study area currently operate within acceptable levels overall and are expected to continue operating within acceptable levels upon buildout of the project as proposed.

-
- The unsignalized primary project driveway (Driveway B) is expected to operate within acceptable levels of service upon buildout of the project as proposed.
 - According to Section 47-20.17 of the ULDR's specific to the City of Fort Lauderdale, a minimum vehicle storage of six (6) vehicles is required for the proposed development. With a 95% confidence level, it is projected that a minimum of three (3) parking attendants is required to limit the maximum queue to six (6) vehicles during a typical PM peak hour.
 - It is recommended that after the project is built and occupied, the development team contact BCTED to request the signal timing of area wide traffic signals be reviewed and optimized.

APPENDIX A

Methodology Statement

DC ENGINEERS, INC.

Memorandum

To: Istvan Virag
City of Fort Lauderdale, Transportation and Mobility

From: J. Suzanne Danielsen, P.E.

xc: Paul Drummond
Nectaria M. Chakas Esq.

Date: July 14, 2021

**Re: 2851\1901 NE 9 Court - Fort Lauderdale
Traffic Study Methodology**

Sunrise Ft. Lauderdale Ventures, LLLP is proposing to construct 55 multifamily dwelling units and 100 hotel rooms including 2,611 square feet of restaurant space and a 687 square foot pool bar at 2851\1901 NE 9 Court (between NE 9 Court and Sunrise Boulevard (SR 838) west of N. Birch Road) within municipal limits of the City of Fort Lauderdale. Vehicular access to and from the site will be provided at two (2) locations along NE 9 Court. The following is our proposed methodology specific to both the traffic study and the parking reduction analysis for the 2851\1901 NE 9 Court development.

Traffic Study Methodology

- The trip generation analysis will be based upon the Institute of Transportation Engineers (ITE) report *Trip Generation*, 10th Edition. Trip Generation rates and formulae will be provided within the report text. A preliminary estimate of project traffic is shown in attached Table 1.
- As shown in Table 1, the internalization of vehicle trips between proposed uses will be considered as will the effect of a multi-modal reduction factor. These adjustments to the raw trip generation estimates will be further explained within the report.
- The trip distribution will be based upon current travel patterns, existing nearby land uses and available transportation network in the vicinity of the project site (ie. no travel demand modeling will be performed).
- In addition to the primary project driveway, the subject traffic study will evaluate the following intersections during typical AM and PM peak periods:
 - NE 9 Court at N. Birch Road, and
 - Sunrise Boulevard (SR 838) at N. Birch Road.
- Turning movement count data will be collected on one (1) typical weekday during AM (7-9 AM) and PM (4-6 PM) peak periods at the intersections listed above. The counts will include bicyclists and pedestrians.

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Tel: (954) 798-0926

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- The traffic counts will be adjusted to reflect average peak season conditions based upon the most recent available adjustment factors published by the Florida Department of Transportation (FDOT). A minimum peak season adjustment factor of 1.0% will be applied.
- A growth factor will be applied to the traffic counts to reflect future traffic conditions at project build-out. The growth factor will be based upon historic traffic data available for the area near the project site. A minimum annual growth rate of 0.5% will be applied.
- Traffic from approved but unbuilt development as provided by the City will be included within the traffic impact analysis. *To be provided during the methodology meeting.*
- Existing traffic signal timing data for the study intersections will be obtained from Broward County Traffic Engineering and will be included within the Appendix of the traffic study.
- Traffic analysis figures will be prepared for the following trip scenarios for each of the intersections analyzed:
 - Existing traffic,
 - Proposed project traffic distribution and assignment,
 - Background traffic at buildout, and
 - Future conditions with project traffic.
- Intersection analyses will be conducted using the Synchro software for existing conditions, future conditions without the project, and future conditions with the proposed project in place.
- All traffic data obtained for this project will be included within the Appendix of the traffic study.
- The project buildout year is projected to be 2024.
- A Traffic Study summarizing the effect of vehicle trips expected from the proposed development during Daily, AM Peak Hour and PM Peak Hour scenarios will be prepared and submitted for review.

Parking Analysis Methodology

- The development, as proposed, is required by the City's Unified Land Development Regulations (ULDR's) to provide 196 parking spaces (including five (5) spaces from an old off-site parking agreement requirement per ORB 12283 page 418).
- According to the DRC plan set, 190 parking spaces are to be provided within an onsite garage resulting in a 6-space (3.1%) deficit.
- A parking reduction will be requested in accordance with **Section 47-20.3.5.d and e** of the City's ULDR's. These sections are applicable 'If the application is based on two (2) or more different users sharing the same parking spaces at different hours, that the peak hour(s) for each use will be at different hours; or If the application is based on two (2) or more different users sharing

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the same parking spaces at the same time because one use derives a portion of its customers as walk-in traffic from the other use, that the two (2) or more uses will share the same users.'

- We will prepare an analysis for the proposed development program in accordance with shared parking methodologies detailed within the Urban Land Institute's document, *Shared Parking*.
- A Parking Analysis summarizing the ULDR parking requirement and the expected parking demand pursuant to the ULI analysis completed will be prepared and submitted for review.

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Table 1: Trip Generation Summary Existing Uses

Land Use	Scale	Units	AM Peak Hour		PM Peak Hour		Daily
			Total Trips	Inbound	Total Trips	Outbound	
Shopping Center (LUC 820)	15.841	ksf	160	99	61	72	1,717
Total			160	99	61	72	1,717
Pass-by Shopping Center (LUC 820)			54	34	20	24	584
Subtotal			106	65	41	48	1,133

Source: ITE Trip Generation Manual (10th Edition)

Table 2: Trip Generation Summary Proposed Uses

Land Use	Scale	Units	AM Peak Hour		PM Peak Hour		Daily
			Total Trips	Inbound	Total Trips	Outbound	
Multifamily Housing (High-Rise) (LUC 222)	55	du	28	7	21	11	429
Drinking Place (LUC 925)	0.687	ksf	0	0	0	3	89
High-Turnover (Sit-Down) Restaurant (LUC 932)	2.611	ksf	26	14	12	10	293
Hotel (LUC 310)	100	rooms	45	27	18	24	702
Subtotal			99	48	51	48	1,513
Internalization (9%, 29%)			9	4	5	16	287
Subtotal			90	44	46	32	1,226
Pass-by Capture (High-Turnover (Sit Down) Restaurant 43%)						3	103
Subtotal			90	44	46	29	1,123
Multimodal Reduction (10%)			9	4	5	3	112
Total			81	40	41	26	1,011

Source: ITE report Trip Generation (10th Edition)

Net New Vehicle Trips	-25	-25	0	-30	-8	-22	-122
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12-Jul-21



MEMORANDUM

Date:	August 30, 2021	Project #:	23330 SOW 4
To:	Istvan Virag and Morgan Dunn Transportation & Mobility Department City of Fort Lauderdale 290 NE 3 rd Avenue Fort Lauderdale, FL 33301		
From:	Jake Mirabella, P.E. and Spencer Maddox, E.I.		
Project:	2851/1901 NE Court Mixed-Use Development		
Subject:	Traffic Impact Study Methodology Peer Review		

Sunrise Ft. Lauderdale Ventures, LLLP (the "Applicant") is proposing to construct 55 multifamily dwelling units and 100 hotel rooms including 2,611 square feet of restaurant space and a 687 square foot pool bar at 2851\1901 NE 9 Court (between NE 9 Court and Sunrise Boulevard (SR 838) west of N. Birch Road) within municipal limits of the City of Fort Lauderdale (the "Project").

Kittelison & Associates, Inc. (KAI) has reviewed the methodology letter and prepared by DC Engineers, Inc. and dated July 14, 2021. Our comments on the proposed methodology are as follows:

1. Project Site Plan

- a) Please provide the Project site plan. If gate-controlled access is proposed, please describe/evaluate operations. Include queue estimates and confirm that on-site queue space is sufficient.
- b) Please include a description of the proposed Sunset Blvd driveway closure and how that will affect traffic patterns (i.e. will existing traffic to/from land uses along NE 9th Ct. be rerouted).

2. Trip Generation

- a) The Project is estimated to generate negative AM peak hour, PM peak hour, and daily trips. Please identify where ITE average rates or equations are assumed for both existing and proposed conditions.
- b) Please confirm that all existing land uses were occupied when traffic volume counts are/were collected. The trip generation estimates for the existing land uses appear to be based on the ITE equation and significantly above what the uses would be expected to be currently generating. Typically, for shopping centers the PM peak would be higher than the AM peak, which is not reflected in these estimates.
- c) Please justify the proposed multimodal reduction. If appropriate for this site, then please apply to existing use in addition to the project. Please document existing and proposed multimodal services and infrastructure in the site vicinity.

-
- d) Please provide pass-by shopping center rate and reference. Please provide reference for proposed internal capture rate.
 - e) The Project will provide access from NE 9 Ct. What percentage of the NE 9 Ct existing traffic would the proposed pass-by trip reduction account for? Please review ITE for pass-by and diverted route trip definition and use.
3. If signalized intersection modifications are proposed, please provide documentation indicating that the Broward County Traffic Engineering Department is supportive of the modifications.
 4. If any road improvements/modifications are recommended, please compare to programmed improvements and confirm that the maintaining agency is supportive of the modifications.
 5. Please include the following intersections in your analysis:
 - i. E Sunrise Blvd (SR 838) & N Birch Rd
 - ii. N Birch Rd & NE 9th Ct

The above comments should be reflected in the traffic impact study. If you have any questions or concerns, please contact me at 813-556-6971.

APPENDIX B

Site Plan



PROJECT

OCEAN PARK HOTEL AND RESIDENCES

2851 and 2901 NE 9th COURT
FORT LAUDERDALE, FLORIDA

OWNER
SUNRISE FIVE VENTURES, LLLP
150 SE 2nd AVENUE / SUITE 800
MIAMI, FL 33131

CONSULTANTS

LAND DEVELOPMENT ATTORNEY
LOCHRE & CHAKAS, P.A.
1501 E BROWARD BLVD., SUITE 200
FORT LAUDERDALE, FL 33301
954.776.1119

ARCHITECT
NICHOLS BRODSCH WURST WOLFE & ASSOCIATES, INC.
161 ALMERA AVE
CORAL GABLES, FL 33134
305.443.5000
305.443.5000

LANDSCAPE ARCHITECT
DESIGN STUDIO BOCA, LLC
2300 NW CORPORATE BLVD, SUITE 214
BOCA RATON, FL 33431
561.212.3641

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, P.A.
251 COMMERCIAL BLVD
LAUDERDALE-BY-THE-SEA, FL 33308
954.525.1004

TRAFFIC ENGINEER
DC ENGINEERS, INC.
12743 NW 17TH COURT
CORAL SPRING, FL 33071
954.798.0328

SURVEYOR
ROYAL POINT LAND SURVEYORS, INC.
6176 NW 18TH ST, SUITE 321
MIAMI LAKES, FL 33154
305.582.9002

REVISIONS	NO.	DATE	ISSUE
1	09.29.21	DRC Resubmittal	
2	01.19.22	DRC Resubmittal	

DATE OF ISSUE
01.19.2022

PROJECT STATUS
DRC SUBMITTAL

PROJECT NO.
21006

SEAL & SIGNATURE
ADOLFO REYNA, ARCHITECT
AR01708

DRC RESUBMITTAL #2 01.19.2022

A-001
ZONING DATA

GENERAL INFORMATION

SITE DATA	
PROPERTY ADDRESS	2851 and 2901 NE 9th COURT FORT LAUDERDALE, FLORIDA
LAND USE DESIGNATION	CENTRAL BEACH REGIONAL ACTIVITY CENTER
ZONING DESIGNATION	SUNRISE LANE AREA DISTRICT (SLA)
LOT AREA	54,870 SF / 1.2596 ACRES
FLOOD ZONE	FLOOD ZONE "AE"+5, PER FIRM MAP DATED: 08/18/2014

APPLICABLE CODES/ STANDARDS:	
1.	FLORIDA BUILDING CODE (FBC) - 2020, 7th Edition (Based on the 2018 Edition of the International Building Code with modifications)
2.	FLORIDA FIRE PREVENTION CODE (FFPC) - 2020, 7th Edition based on NFPA 1, 2018 Edition & NFPA 101, 2018 Edition with modifications.
3.	FLORIDA BUILDING CODE (FBC), ACCESSIBILITY - 2020 7th Edition.
4.	FHA - FAIR HOUSING ACT DESIGN MANUAL, PUBLISHED 1996, REVISED 1998.
5.	NFPA 10 - STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2019 EDITION.
6.	NFPA 88A - STANDARD FOR PARKING GARAGE STRUCTURES, 2019 EDITION.

OCCUPANCY CLASSIFICATION

THIS PROJECT WILL CONTAIN AMENITY SPACE, HOTEL AND CONDOMINIUM UNITS, ASSOCIATED AMENITY SPACES AND BACK OF HOUSE SPACES. THE SPACES ARE CLASSIFIED AS THE FOLLOWING OCCUPANCIES (FBC SECTION 302 / FFPC CHAPTER 6)

OCCUPANCY	FBC
Group A-2 Assembly (Restaurants, Bars)	303.3
Group A-3 Assembly (Health Club, Pool, Lounge)	303.4
Group B Business (Sales/Admin. Offices)	304.1
Group R-1 Hotel	310.3
Group R-2 Apartment / Condo	310.4
Group S-2 Storage, Low Hazard	311.3

GENERAL BUILDING HEIGHTS AND AREAS

CONSTRUCTION TYPE:			
Type I.A	(FBC Tables 504.3*, 504.4(a),(b); 506.2**)		
MAX. HEIGHT:	120'-0"		
RISK CATEGORY OF BUILDING: II			
Primary Use : Residential (R-1 Hotel Transient & R-2 Apartments)			
Total Occupant Load : TBD			
FIRE PROTECTION:			
Complete Automatic Sprinkler System (FBC 903, 403.3, 903.1.1 & FFPC NFPA 101, CH. 30, 30.3.5)			
HEIGHTS AND AREA LIMITS:			
HEIGHT:	No Limit	Table 504.3a	Table 7.4.1
AREA:	No Limit	Table 506.2a	Table 7.4.1
			236,446 SF

OCCUPANT LOAD FACTOR FBC TABLE 1004.5 AND NFPA 101, TABLE 7.3.1.2

USE	AREA PER OCCUPANT FBC	AREA PER OCCUPANT FFPC	PERSONS / SF
BENCH-TYPE SEATING			1 PERSON / 18"
ASSEMBLY W/ FIXED SEATS			
	NUMBER OF FIXED SEATS		
ASSEMBLY W/ FIXED SEATS			
-Concentrated	7 NET	7 NET	
-Unconcentrated	15 NET	15 NET	
SWIMMING POOL - WATER SURFACE	50 GROSS	50 GROSS	
SWIMMING POOL DECK	15 GROSS	30 GROSS	
EXERCISE ROOM W/ EQUIPMENT	50 GROSS	50 GROSS	
EXERCISE ROOM W/ EQUIPMENT	50 GROSS	15 GROSS	
LOCKER ROOMS	50 GROSS	**	
BUSINESS AREAS	150 GROSS	150 GROSS	
MERCANTILE (GRADE FLOOR LEVEL)	60 GROSS	30 GROSS	
RESIDENTIAL (APARTMENT)	200 GROSS	200 GROSS	
STORAGE AREA, MECHANICAL	300 GROSS	300 GROSS	
PARKING GARAGE	200 GROSS		

GENERAL NOTES

- THIS PROJECT WILL FOLLOW FBC 406.6 CRITERIA FOR ENCLOSED PARKING GARAGE. MECHANICAL VENTILATION WILL BE PROVIDED.
- COMPLETE AUTOMATIC SPRINKLER SYSTEM PER FBC 903 & FFPC NFPA 101, CHAPTER 30 WILL BE PROVIDED.

CONDO UNIT COUNT		HOTEL UNIT COUNT		PARKING SCHEDULE	
UNIT TYPE	COUNT	UNIT TYPE	COUNT	PARKING TYPE	COUNT / TOTAL
1BR + DEN	16	2 BAY CORNER SUITE	28	ACCESSIBLE PARKING	2 / 0
2BR	15	2 BAY SUITE	48	STANDARD	8 / 8
3BR	15	PH SUITE - 1	2	STANDARD W/ LIFT	40 / 80
PH-2BR	2	PH SUITE - 2	2	TANDEM	11 / 22
PH-3BR	6	PH SUITE - 3	2	TANDEM W/ 2 LIFTS	13 / 52
	54	PH SUITE - 4	2	TANDEM W/ LIFT	12 / 36
		PH SUITE - 5	1		
		SUITE	14		93 / 205
			100		

ZONING INFORMATION

SITE AREA REQUIREMENTS	ALLOWED / REQUIRED	PROVIDED
LOT COVERAGE	-	20,793 SF
LANDSCAPE FOR VEHICULAR USE AREA (VUA) (Per ULDZ Sec. 47-21.12) MIN. 20% OF GROSS VUA	417 SF X 20% = 83 SF 4,858 SF X 20% = 972 SF 2,446 SF X 20% = 489 SF	SEE SHEET 3/A-002.
TOTAL	7,720 SF X 20% = 1,544 SF	
PERVIOUS AREA (Per ULDZ Sec. 47-21.12) MIN. 20% PERVIOUS AREA	54,870 SF X 25% = 13,717 SF	15,744 SF (28.69%) (SEE SHEET 2/A-002)
GROSS FLOOR AREA (GFA)		PROVIDED
GROSS FLOOR AREA (GFA)	-	CONDO TOWER 113,627 SF HOTEL TOWER 122,820 SF
TOTAL	-	236,446 SF * (SEE SHEET 2/A-002)
FLOOR AREA RATIO (F.A.R.): COMMERCIAL, RETAIL 2.0 X LOT AREA	54,870 SF X 2.0 = 109,740 SF	4,698 SF

* Basement Parking Excluded From Gross Floor Area Calculations Per ULDZ Sec. 47-2.2.C.

ZONING GUIDELINES	ALLOWED / REQUIRED	PROVIDED
BUILDING HEIGHT (Per ULDZ Sec. 47-12.5.C.2) Business Height measurement is from 0'-0" MVD (AE +2)	120'-0" MAX.	CONDO TOWER 120'-0" HOTEL TOWER 120'-0" (T.O. ROOF TERRACE GUARDRAIL, (T.O. HABITABLE AREA)
NUMBER OF FLOORS	-	12 FLOORS 12 FLOORS
BUILDING LENGTH	200'-0" MAX.	200'-0"
BUILDING WIDTH	200'-0" MAX.	60'-0" 60'-0"
SEPARATION BETWEEN BUILDINGS	20% of 120'-0" = 24'-0"	99'-6"
DENSITY	RESIDENTIAL: 48 DU / ACRE MAX. = 60 UNITS HOTEL: 90 ROOMS / ACRE MAX. = 113 UNITS	54 UNITS 100 UNITS

BUILDING SETBACKS

BUILDING SETBACKS	ALLOWED / REQUIRED	PROVIDED
FRONT YARD (SOUTH) - N.E. 9th COURT (Per ULDZ Sec. 47-12.5.C.1)	20'-0"	20'-0"
SIDE YARD (EAST) - ADJACENT PROPERTY	10'-0"	40'-0"
SIDE YARD (WEST) - ADJACENT PROPERTY	10'-0"	10'-1"
REAR YARD (NORTH) - EAST SUNRISE BLVD.	20'-0"	20'-0"

PARKING DATA

PARKING CALCULATION			ALLOWED / REQUIRED	PROVIDED
CONDO - PARKING DATA	UNIT COUNT	RATIO	(Per ULDZ Sec. 47-20.2)	
1BR + DEN	16	2.0 / UNIT	32	32
2BR UNIT	17	2.0 / UNIT	34	34
3BR UNITS	21	2.1 / UNIT	44	44
TOTAL CONDO PARKING			110	110
HOTEL - PARKING DATA	UNIT	RATIO		
	100	0.67 / ROOM	67	67
MIXED USE (COMMERCIAL)	AREA	RATIO		
HOTEL RESTAURANT	3,210 SF			
HOTEL POOL BAR	663 SF			
RETAIL & RETAIL TERRACE	825 SF			
TOTAL MIXED USE	4,698 SF	1 / 333 SF GFA	14	23
* OFF-SITE PARKING AGREEMENT REQUIREMENT PER ORD 12283 PAGE 418			5	5
TOTAL PARKING (RESIDENTIAL + HOTEL)			196	205 Total** (INCLUDES ACCESSIBLE SPACES)

VALET PARKING
** VALET PARKING WILL BE PROVIDED ON-SITE 100% OF OPERATING HOURS FOR TANDEM AND LIFT SPACES.

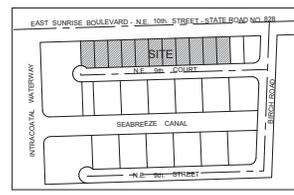
ACCESSIBLE PARKING REQUIREMENTS

ACCESSIBLE PARKING REQUIREMENTS	ALLOWED / REQUIRED	PROVIDED
TOTAL ACCESSIBLE SPACES (Per FBC Accessibility, Sec. 202.2.4)	7	7
VAN ACCESSIBLE SPACES (Per FBC Accessibility, Sec. 202.2.4)	2	2
PASSENGER LOADING ZONE (Per FBC Accessibility, Sec. 203)	1	1

LOADING REQUIREMENTS

LOADING REQUIREMENTS	ALLOWED / REQUIRED	PROVIDED
CONDO TOWER	N/A *	(1) 12' X 30' Service Parking
HOTEL TOWER	N/A *	(1) 12' X 45' Service Parking

* No Loading Requirements for Condo & Hotel Use Per Sec. 47-20.2, Table 1.



LOCATION SKETCH

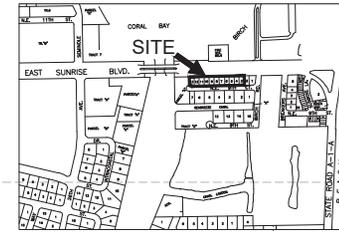
LEGAL DESCRIPTION

Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 13, Block BA, of "SEABRIDGE", according to the plat thereof as recorded in Plat Book 21, Page 46, Public Records of Broward County, Florida, LESS and except that portion of Lot 13 for road right-of-way, being more particularly described as follows:
Commence at the Northwest corner of said Lot 12; Thence run S 02°00'51"E along the West line of said Lot 13, for a distance of 60.11 feet to the Point of Beginning of parcel of land hereinafter to be described; Thence continue S 02°00'51"E along the West line of said Lot 13, for a distance of 0.90 feet to the Southwest corner of said Lot 13; Thence run N 88°15'52"E, along the South line of said Lot 13, for a distance of 19.81 feet to a point on curve, said point bears S 46°27'19"W to the radius point of a circular curve, concave to the Southwest and having for its elements a Radius of 30 feet and a Central Angle of 43°24'45"; Thence run Northwesterly, along the arc of said circular curve, for an arc distance of 22.73 feet to the Point of Beginning.

LAND DESCRIPTION:

Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, and 13, Block BA, of "SEABRIDGE", according to the Plat thereof as recorded in Plat Book 21, Page 48, Public Records of Broward County, Florida, LESS and except that portion of Lot 13 for road Right-of-Way, being more particularly described as follows:

Commence at the Northwest corner of said Lot 13; Thence run S.02°00'51"E, along the west line of said Lot 13, for a distance of 90.11 feet to the Point of Beginning of parcel of land hereinafter to be described; Thence continue S.02°00'51"E, along the West line of said Lot 13, for a distance of 8.90 feet to the Southwest corner of said Lot 13; Thence run N.88°19'52"E, along the South line of said Lot 13, for a distance of 19.81 feet to a point on curve; said point bears S.45°27'18"W, to the radius point of a circular curve; continue to the Southwest and having for its elements a radius of 30 feet and a central angle of 43°24'43"; Thence run Westwesterly, along the arc of said circular curve, for an arc distance of 22.73 feet to the Point of Beginning.



LOCATION MAP
NTS

FLYNN ENGINEERING
241 COMMERCIAL BLVD., LANDSHALE-94-HE-SEA, FL 33089
PHONE (954) 522-1041 | WWW.FLYNNENGINEERING.COM

SITE PLAN

OCEAN PARK HOTEL AND RESIDENCES
FORT LAUDERDALE, FLORIDA 33304

Revisions

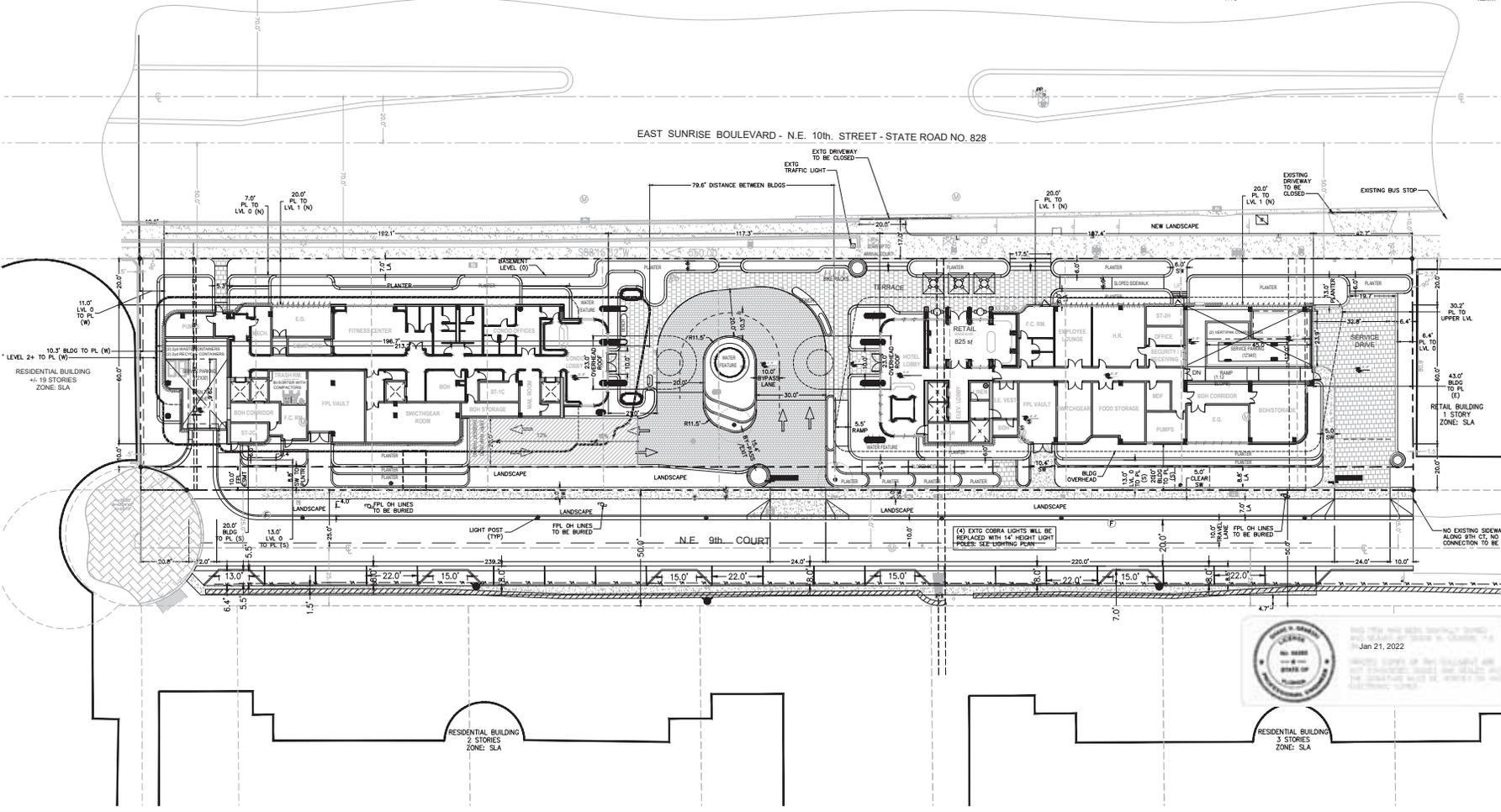
No.	Description

Phase: DRG # UOP-S21031 DOCUMENTS

Shane H Grabski
Professional Engineer
No. 12888
Date: Jan 21, 2022

Scale	Date
1"=20'	07/08/21
21=1627.00	01/20/22

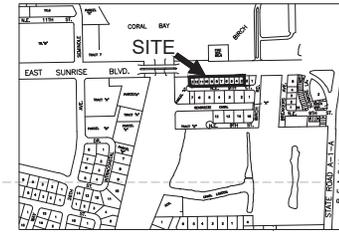
Drawn by: SMOO
Proj. Mgr.: SMOO
Appr. by: JWF



LAND DESCRIPTION:

Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, and 13, Block BA, of "SEABRIDGE", according to the Plat thereof as recorded in Plat Book 21, Page 48, Public Records of Broward County, Florida, LESS and except that portion of Lot 13 for road Right-of-Way, being more particularly described as follows:

Commence at the Northwest corner of said Lot 13; Thence run S.02°00'51"E, along the west line of said Lot 13, for a distance of 90.11 feet to the Point of Beginning of parcel of land hereinafter to be described; Thence continue S.02°00'51"E, along the West line of said Lot 13, for a distance of 8.90 feet to the Southwest corner of said Lot 13; Thence run N.88°19'52"E, along the South line of said Lot 13, for a distance of 19.81 feet to a point on curve; said point bears S.45°27'18"W, to the radius point of a circular curve; continue to the Southwest and having for its elements a radius of 30 feet and a central angle of 43°24'43"; Thence run Northwestly, along the arc of said circular curve, for an arc distance of 22.73 feet to the Point of Beginning.



LOCATION MAP
NTS

FLYNN ENGINEERING
241 COMMERCIAL BLVD., LAUDERDALE-RENE-SE, FL 33309
PHONE: (954) 522-1041 | WWW.FLYNNENGINEERING.COM
DATE: 07/24/22

SITE PLAN

OCEAN PARK
HOTEL AND RESIDENCES
FORT LAUDERDALE, FLORIDA 33304



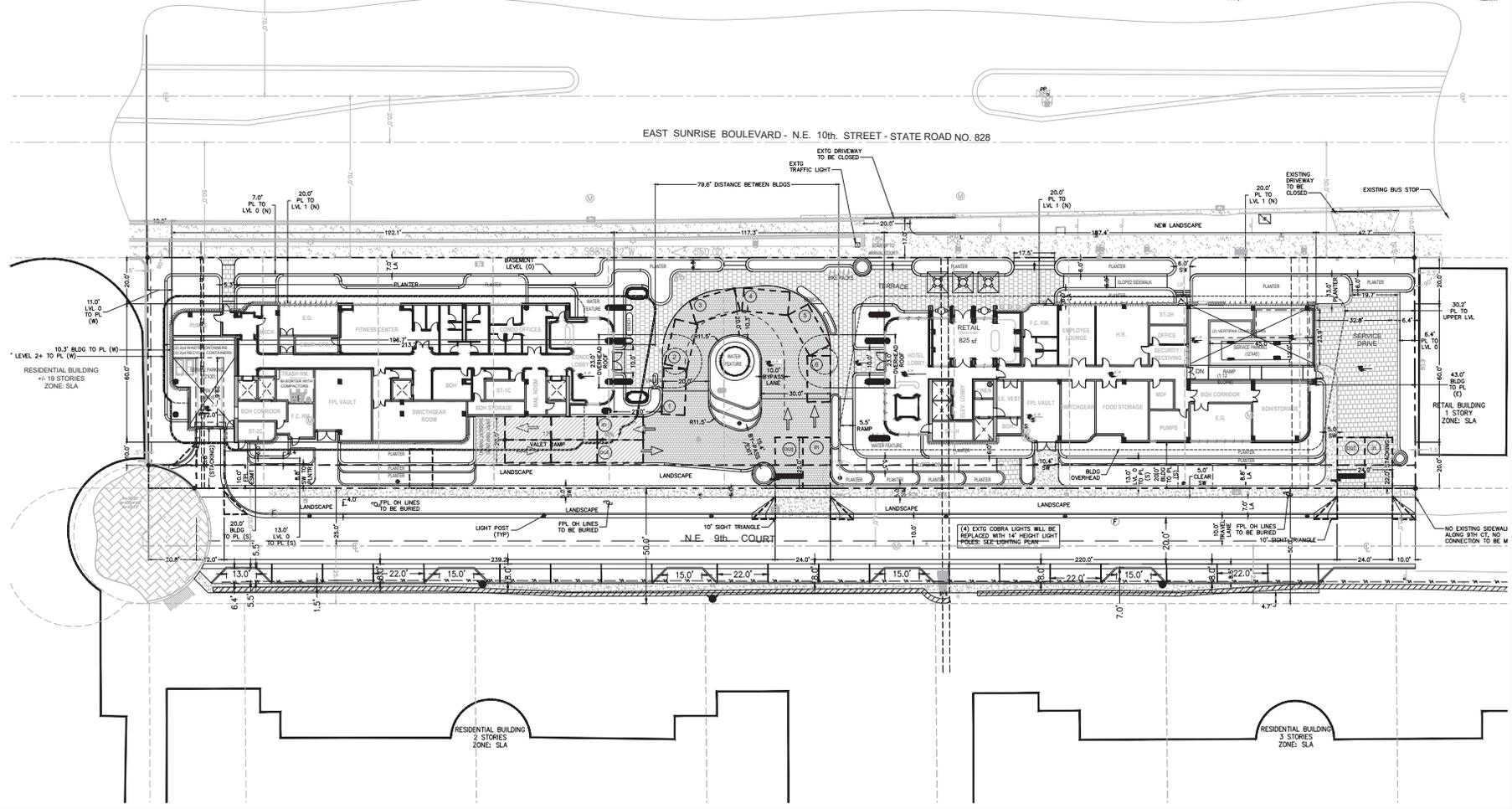
Revisions

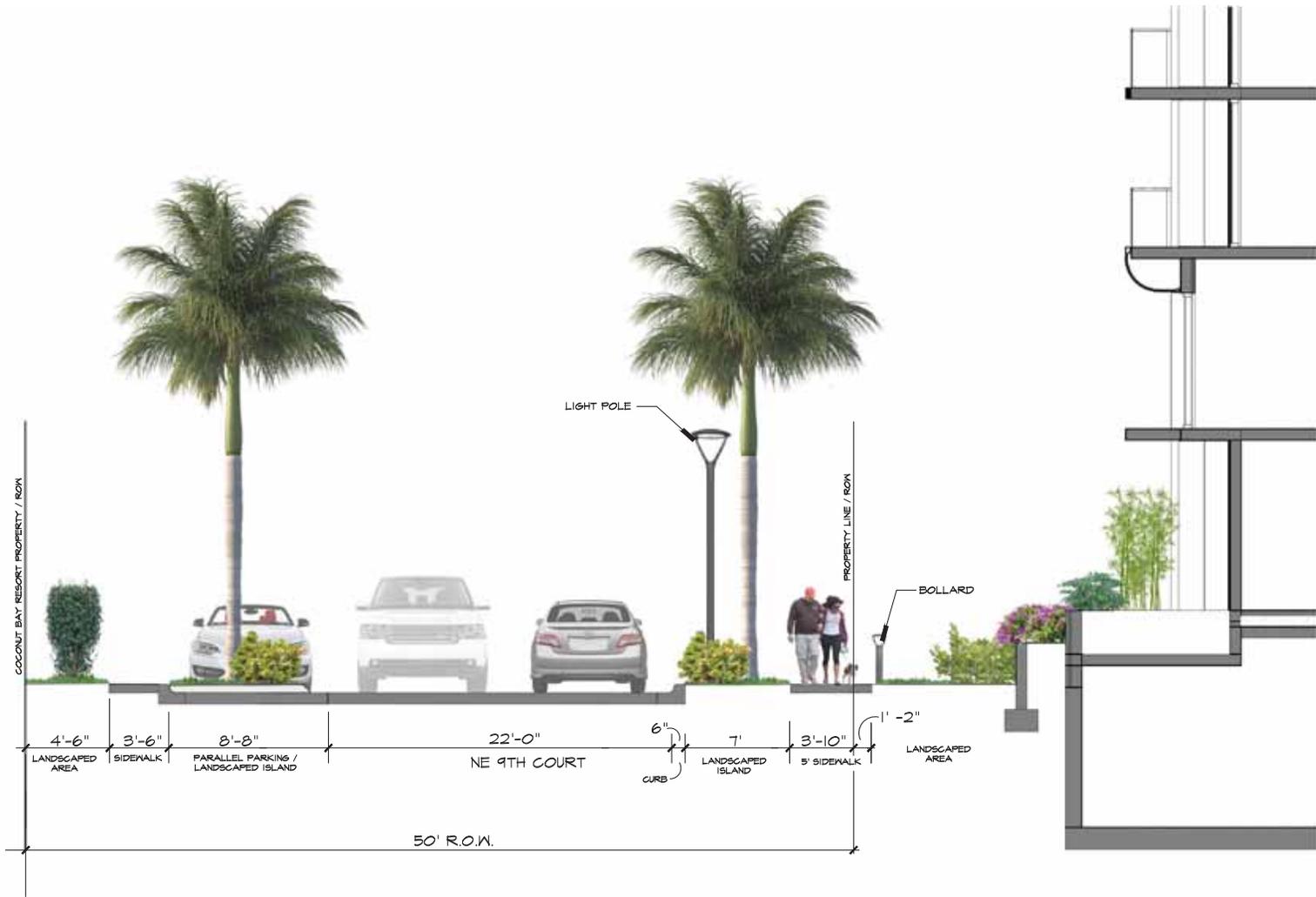
No.	Description

Phase: DRG # UOP-S21031 DOCUMENTS

SEAL

SCALE: 1"=20'	Date: 07/08/21
DR: No. 21-1627.00	Rev: No. 01/24/22
Drawn by: SMOO	Sheet No. SP-1
Proj. Mgr: SMOO	
Appr. by: AMF	1 of 1





NE 9TH COURT CROSS-SECTION - OPTION 1

OCTOBER 29, 2021 N.T.S.
NOVEMBER 29, 2021

APPENDIX C

Mass Transit

For more details on our fares please visit our web site at Broward.org/BCT or call customer service: 954-357-8400.

Reading a Timetable - It's Easy

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol □.
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
6. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

Information: 954-357-8400

Hearing-speech impaired/TTY: 954-357-8302

This publication can be made available in alternative formats upon request by contacting 954-357-8400 or TTY 954-357-8302.



This symbol is used on bus stop signs to indicate accessible bus stops.



BOARD OF COUNTY COMMISSIONERS
An equal opportunity employer and provider of services.

5,000 copies of this public document were promulgated at a gross cost of \$260, or \$.052 per copy to inform the public about the Transit Division's schedule and route information. Printed 8/21

Broward County Transit

**ROUTE 11
ALL WEEK
SCHEDULE**

EASTBOUND: Broward Central Terminal to Copans Rd. and U.S.1 via *Las Olas Blvd. and Galt Mile*

WESTBOUND: Broward Central Terminal to Commercial Blvd. and US 441/S.R. 7

Effective 8/8/21



**New Schedules Monday – Saturday
Regular Sunday Schedule**

- Face Covering Required • Maintain Social Distancing

Real Time Bus Information
MyRide.Broward.org



Broward.org/BCT
954-357-8400

Route 11

BROWARD COUNTY TRANSIT

Commercial Boulevard & U.S 441/S.R. 7
to Copans Road and U.S. 1

MONDAY - FRIDAY There are additional bus stops in between those listed.

EASTBOUND To Copans Rd. & US 1

US 441 & COMMERCIAL BLVD	OAKLAND PARK BLVD & 21 AVE	SUNRISE BLVD & 27 AVE	BROWARD TERMINAL	BROWARD TERMINAL	A1A & LAS OLAS BLVD	GALT MILE	ATLANTIC BLVD & A1A	US 1 & COPANS RD
ARRIVAL	ARRIVAL	ARRIVAL	DEPARTURE	DEPARTURE	ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL
1	2	3	4	4	5	6	7	8
5:00a	5:11a	5:19a	5:29a	5:34a	5:42a	5:54a	6:02a	6:14a
5:48a	5:59a	6:09a	6:20a	6:25a	6:34a	6:44a	6:54a	7:06a
6:35a	6:49a	7:00a	7:10a	7:15a	7:26a	7:39a	7:48a	7:59a
7:20a	7:35a	7:45a	7:57a	8:02a	8:12a	8:27a	8:38a	8:53a
8:05a	8:23a	8:34a	8:46a	8:51a	9:05a	9:18a	9:30a	9:45a
8:50a	9:04a	9:14a	9:26a	9:31a	9:46a	10:01a	10:11a	10:27a
9:33a	9:52a	10:03a	10:14a	10:19a	10:33a	10:48a	11:00a	11:15a
10:20a	10:33a	10:43a	10:56a	11:01a	11:12a	11:27a	11:39a	11:56a
11:05a	11:19a	11:30a	11:41a	11:46a	12:01p	12:16p	12:28p	12:44p
11:49a	12:03p	12:13p	12:25p	12:30p	12:48p	1:04p	1:15p	1:30p
12:36p	12:48p	12:59p	1:11p	1:16p	1:32p	1:50p	2:02p	2:18p
1:20p	1:35p	1:45p	1:57p	2:02p	2:20p	2:37p	2:49p	3:03p
2:09p	2:24p	2:34p	2:47p	2:52p	3:08p	3:28p	3:41p	3:57p
2:54p	3:08p	3:18p	3:31p	3:36p	3:54p	4:13p	4:28p	4:42p
3:42p	3:57p	4:08p	4:19p	4:24p	4:40p	4:59p	5:11p	5:29p
4:31p	4:45p	4:55p	5:07p	5:12p	5:30p	5:47p	6:02p	6:15p
5:23p	5:38p	5:48p	6:00p	6:05p	6:21p	6:39p	6:50p	7:04p
6:15p	6:28p	6:39p	6:51p	6:56p	7:11p	7:25p	7:36p	7:49p
7:03p	7:16p	7:26p	7:38p	7:43p	7:59p	8:13p	8:24p	8:38p
7:51p	8:04p	8:14p	8:25p	8:30p	8:44p	8:57p	9:06p	9:17p
8:33p	8:46p	8:55p	9:06p	9:11p	9:26p	9:40p	9:50p	10:00p
9:18p	9:31p	9:40p	9:51p	9:56p	10:09p	10:22p	10:30p	10:41p
10:00p	10:13p	10:21p	10:32p	10:34p	10:46p	10:58p	11:07p	11:18p G
10:30p	10:43p	10:52p	11:03p	11:05p	11:17p	11:29p	11:38p	11:49p G

WESTBOUND To Commercial Blvd. & SR 7/Hwy. 441

US 1 & COPANS RD	ATLANTIC BLVD & A1A	GALT MILE	A1A & LAS OLAS BLVD	BROWARD TERMINAL	BROWARD TERMINAL	SUNRISE BLVD & 27 AVE	OAKLAND PARK BLVD & 21 AVE	US 441 & COMMERCIAL BLVD
ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL	DEPARTURE	DEPARTURE	ARRIVAL	ARRIVAL	ARRIVAL
8	7	6	5	4	4	3	2	1
5:00a	5:06a	5:14a	5:22a	5:32a	5:37a	5:45a	5:55a	6:07a
5:45a	5:52a	6:01a	6:12a	6:22a	6:27a	6:39a	6:49a	7:03a
6:30a	6:39a	6:49a	6:59a	7:10a	7:15a	7:26a	7:37a	7:50a
7:05a	7:15a	7:27a	7:41a	7:54a	7:59a	8:11a	8:22a	8:35a
7:40a	7:54a	8:08a	8:22a	8:33a	8:38a	8:50a	9:01a	9:14a
8:27a	8:37a	8:50a	9:03a	9:14a	9:19a	9:30a	9:39a	9:53a
9:15a	9:26a	9:38a	9:52a	10:03a	10:08a	10:20a	10:30a	10:42a
10:00a	10:10a	10:25a	10:39a	10:50a	10:55a	11:07a	11:17a	11:31a
10:44a	10:58a	11:12a	11:28a	11:40a	11:45a	11:58a	12:08p	12:21p
11:30a	11:41a	11:55a	12:11p	12:25p	12:30p	12:42p	12:52p	1:05p
12:15p	12:28p	12:41p	12:57p	1:08p	1:13p	1:27p	1:37p	1:51p
1:00p	1:11p	1:25p	1:41p	1:54p	1:59p	2:11p	2:21p	2:34p
1:45p	1:59p	2:13p	2:31p	2:43p	2:48p	3:01p	3:12p	3:26p
2:34p	2:45p	2:59p	3:17p	3:30p	3:35p	3:47p	3:58p	4:10p
3:21p	3:33p	3:48p	4:06p	4:22p	4:27p	4:42p	4:54p	5:09p
4:10p	4:21p	4:37p	4:54p	5:11p	5:16p	5:31p	5:42p	5:56p
5:01p	5:11p	5:26p	5:45p	6:03p	6:08p	6:21p	6:32p	6:45p
5:50p	6:00p	6:13p	6:29p	6:42p	6:47p	7:00p	7:10p	7:22p
6:37p	6:47p	7:00p	7:15p	7:28p	7:33p	7:46p	7:57p	8:09p
7:26p	7:36p	7:48p	8:01p	8:15p	8:20p	8:33p	8:43p	8:55p
8:13p	8:22p	8:34p	8:47p	9:01p	9:06p	9:18p	9:27p	9:39p
8:58p	9:07p	9:18p	9:31p	9:45p	9:50p	10:02p	10:11p	10:23p
9:43p	9:51p	10:01p	10:13p	10:23p	10:28p	10:40p	10:49p	11:01p G
10:15p	10:22p	10:33p	10:45p	10:55p	11:00p	11:11p	11:20p	11:31p G
11:05p	11:12p	11:22p	11:34p	11:44p G				

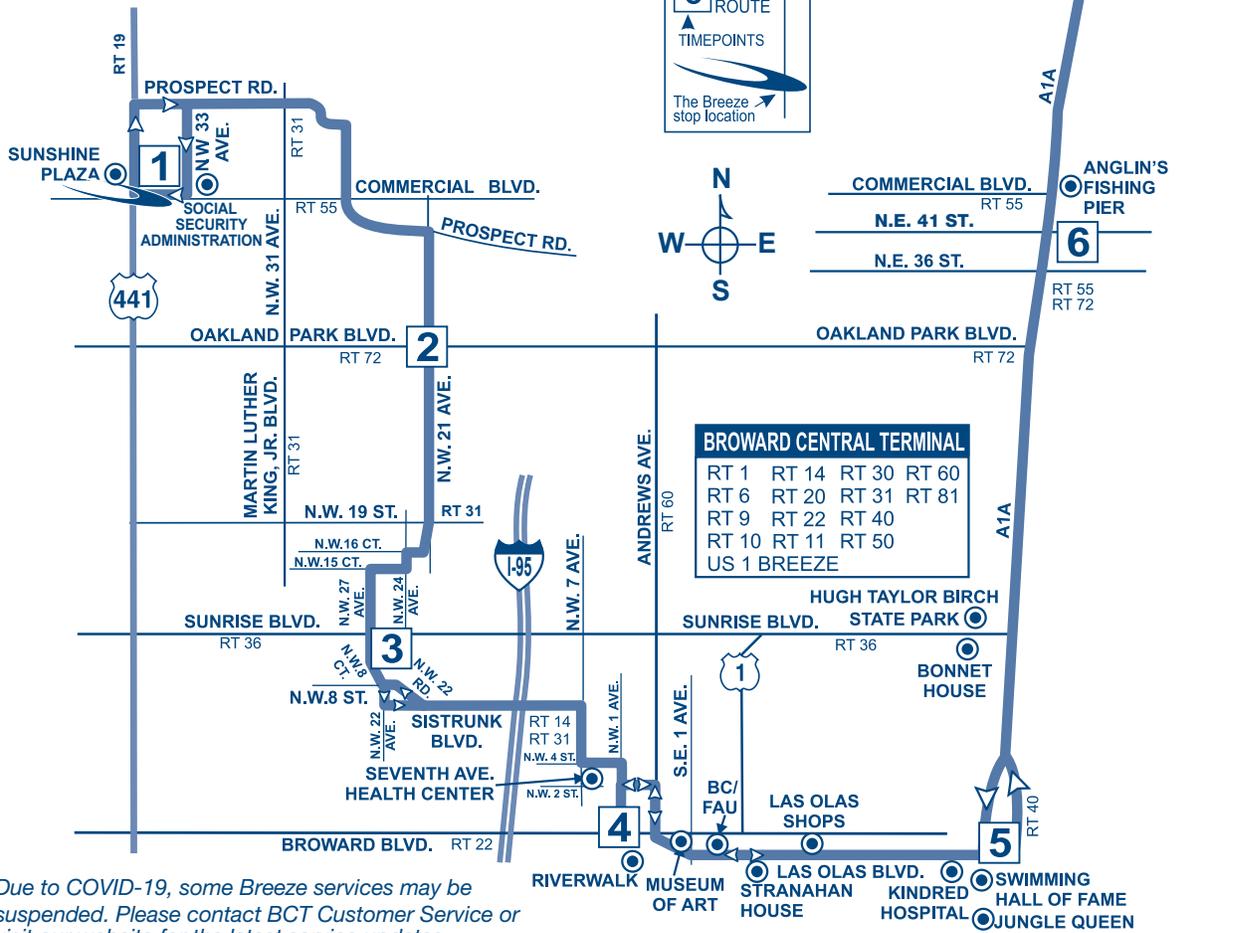
NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
Times with the letter "G" before them indicate bus returns to garage.

ROUTE 11

Commercial Boulevard & U.S 441/S.R.7 to Copans Road and U.S. 1

POINTS OF INTEREST

- Pompano Citi Centre
- Shops of Las Olas
- Sunshine Plaza
- Kindred Hospital
- Seventh Avenue Family Health Center
- Broward College/FAU
- Hugh Taylor Birch State Park
- Anglin's Fishing Pier
- Bonnet House
- International Swimming Hall of Fame
- Jungle Queen
- Museum of Art
- Pompano Beach Fishing Pier
- Riverwalk
- Stranahan House
- Social Security Administration



Route 11

BROWARD COUNTY TRANSIT

Commercial Boulevard & U.S 441/S.R. 7
to Copans Road and U.S. 1

SATURDAY There are additional bus stops in between those listed.

EASTBOUND

To Copans Road & U.S. 1

US 441 & COMMERCIAL BLVD	OAKLAND PARK BLVD & 21 AVE	SUNRISE BLVD & 27 AVE	BROWARD TERMINAL	BROWARD TERMINAL	ATA & LAS OLAS BLVD	GALT MILE	ATLANTIC BLVD & A1A	US 1 & COPANS RD
ARRIVAL	ARRIVAL	ARRIVAL	DEPARTURE	DEPARTURE	ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL
1	2	3	4	4	5	6	7	8
5:20a	5:31a	5:38a	5:49a	5:54a	6:02a	6:14a	6:22a	6:31a
6:05a	6:18a	6:26a	6:40a	6:42a	6:50a	7:02a	7:10a	7:21a
6:40a	6:55a	7:04a	7:20a	7:22a	7:31a	7:44a	7:52a	8:04a
7:18a	7:32a	7:41a	7:57a	7:59a	8:14a	8:29a	8:39a	8:51a
8:03a	8:17a	8:27a	8:43a	8:45a	8:56a	9:11a	9:21a	9:34a
8:48a	9:02a	9:11a	9:28a	9:30a	9:40a	9:57a	10:07a	10:20a
9:33a	9:45a	9:55a	10:11a	10:13a	10:25a	10:40a	10:51a	11:05a
10:18a	10:31a	10:40a	10:56a	10:58a	11:14a	11:30a	11:42a	11:58a
11:03a	11:16a	11:26a	11:42a	11:44a	11:59a	12:18p	12:30p	12:45p
11:48a	12:01p	12:10p	12:26p	12:28p	12:45p	1:02p	1:16p	1:32p
12:38p	12:55p	1:05p	1:21p	1:23p	1:41p	2:00p	2:13p	2:31p
1:26p	1:40p	1:50p	2:06p	2:08p	2:32p	2:53p	3:07p	3:20p
2:15p	2:28p	2:37p	2:53p	2:55p	3:14p	3:37p	3:51p	4:06p
3:05p	3:19p	3:27p	3:43p	3:45p	4:07p	4:29p	4:43p	5:01p
3:54p	4:06p	4:15p	4:31p	4:33p	4:53p	5:14p	5:27p	5:42p
4:46p	4:58p	5:08p	5:24p	5:26p	5:44p	6:01p	6:13p	6:26p
5:38p	5:50p	6:00p	6:16p	6:18p	6:36p	6:52p	7:04p	7:16p
6:31p	6:43p	6:51p	7:07p	7:09p	7:26p	7:43p	7:55p	8:09p
7:22p	7:35p	7:43p	7:59p	8:01p	8:18p	8:31p	8:41p	8:57p
8:07p	8:19p	8:28p	8:41p	8:43p	9:03p	9:15p	9:26p	9:38p
8:56p	9:09p	9:17p	9:32p	9:34p	9:47p	10:00p	10:09p	10:19p
9:41p	9:54p	10:02p	10:16p	10:18p	10:33p	10:45p	10:54p	11:04p G
10:26p	10:38p	10:46p	11:00p G					
11:16p	11:28p	11:35p	11:47p G					

WESTBOUND

To Commercial Boulevard & Highway 441/S.R. 7

US 1 & COPANS RD	ATLANTIC BLVD & A1A	GALT MILE	ATA & LAS OLAS BLVD	BROWARD TERMINAL	BROWARD TERMINAL	SUNRISE BLVD & 27 AVE	OAKLAND PARK BLVD & 21 AVE	US 441 & COMMERCIAL BLVD
ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL	DEPARTURE	DEPARTURE	ARRIVAL	ARRIVAL	ARRIVAL
8	7	6	5	4	4	3	2	1
5:00a	5:06a	5:14a	5:24a	5:38a	5:41a	5:51a	5:58a	6:08a
5:45a	5:52a	6:02a	6:13a	6:27a	6:30a	6:41a	6:50a	7:00a
6:30a	6:39a	6:50a	7:01a	7:15a	7:18a	7:28a	7:36a	7:48a
7:05a	7:16a	7:25a	7:37a	7:51a	7:54a	8:06a	8:15a	8:27a
7:43a	7:56a	8:08a	8:20a	8:34a	8:37a	8:48a	8:58a	9:11a
8:28a	8:37a	8:49a	9:02a	9:16a	9:19a	9:30a	9:37a	9:51a
9:12a	9:26a	9:39a	9:52a	10:06a	10:09a	10:25a	10:34a	10:47a
9:58a	10:08a	10:24a	10:38a	10:52a	10:55a	11:08a	11:18a	11:30a
10:43a	10:54a	11:09a	11:25a	11:39a	11:42a	11:55a	12:05p	12:18p
11:30a	11:41a	12:01p	12:18p	12:32p	12:35p	12:47p	12:57p	1:09p
12:16p	12:29p	12:46p	1:05p	1:19p	1:22p	1:35p	1:42p	1:56p
1:03p	1:15p	1:33p	1:50p	2:04p	2:07p	2:19p	2:28p	2:41p
1:51p	2:02p	2:18p	2:41p	2:56p	2:59p	3:12p	3:20p	3:33p
2:43p	2:56p	3:12p	3:37p	3:52p	3:55p	4:07p	4:16p	4:29p
3:33p	3:43p	3:59p	4:21p	4:36p	4:39p	4:52p	5:01p	5:14p
4:24p	4:36p	4:53p	5:15p	5:30p	5:33p	5:47p	5:56p	6:10p
5:16p	5:29p	5:48p	6:08p	6:23p	6:26p	6:38p	6:47p	7:00p
6:03p	6:13p	6:28p	6:50p	7:05p	7:08p	7:19p	7:28p	7:39p
6:55p	7:05p	7:22p	7:37p	7:52p	7:55p	8:07p	8:15p	8:26p
7:47p	7:56p	8:09p	8:25p	8:40p	8:43p	8:56p	9:05p	9:18p
8:36p	8:45p	8:57p	9:10p	9:25p	9:28p	9:39p	9:48p	9:59p
9:26p	9:35p	9:45p	9:58p	10:13p	10:16p	10:26p	10:34p	10:45p
10:06p	10:14p	10:25p	10:37p	10:52p G				
10:56p	11:04p	11:13p	11:24p	11:39p G				

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
Times with the letter "G" after them indicate bus returns to garage.

Route 10

BROWARD COUNTY TRANSIT

Broward Central Terminal to Camino Real and Dixie Highway
 via Federal Highway/U.S. 1

SUNDAY

EASTBOUND

To Copans Road & U.S. 1

US 441 & COMMERCIAL BLVD	OAKLAND PARK BLVD & 21 AVE	SUNRISE BLVD & 27 AVE	BROWARD TERMINAL ARRIVAL	BROWARD TERMINAL DEPARTURE	A1A & LAS OLAS BLVD	GALT MILE	ATLANTIC BLVD & A1A	US 1 & COPANS RD
1	2	3	4	4	5	6	7	8
				7:25a	7:36a	7:49a	8:02a	8:13a
7:20a	7:34a	7:44a	7:58a	8:08a	8:21a	8:36a	8:50a	9:01a
8:10a	8:24a	8:36a	8:50a	9:00a	9:14a	9:28a	9:40a	9:54a
9:00a	9:14a	9:24a	9:37a	9:47a	10:01a	10:16a	10:27a	10:39a
9:50a	10:04a	10:15a	10:27a	10:37a	10:50a	11:06a	11:18a	11:30a
10:37a	10:51a	11:02a	11:14a	11:24a	11:42a	12:00p	12:14p	12:32p
11:26a	11:40a	11:50a	12:02p	12:12p	12:29p	12:47p	1:01p	1:17p
12:18p	12:32p	12:43p	12:55p	1:05p	1:25p	1:46p	1:59p	2:12p
1:10p	1:24p	1:34p	1:46p	1:56p	2:17p	2:38p	2:52p	3:05p
2:05p	2:19p	2:30p	2:42p	2:52p	3:12p	3:36p	3:52p	4:05p
3:01p	3:16p	3:26p	3:39p	3:49p	4:11p	4:35p	4:49p	5:01p
3:57p	4:12p	4:22p	4:33p	4:43p	5:05p	5:29p	5:45p	6:00p
4:54p	5:08p	5:19p	5:30p	5:40p	5:58p	6:20p	6:33p	6:45p
5:48p	6:02p	6:15p	6:26p	6:36p	6:54p	7:12p	7:25p	7:37p
6:42p	6:55p	7:09p	7:20p	7:30p	7:49p	8:05p	8:17p	8:32p G
7:41p	7:55p	8:07p	8:18p	8:28p	8:44p	8:59p	9:09p	9:20p G
8:35p	8:48p	8:58p	9:09p G					

WESTBOUND

To Commercial Boulevard & Highway 441/S.R. 7

US 1 & COPANS RD	ATLANTIC BLVD & A1A	GALT MILE	A1A & LAS OLAS BLVD	BROWARD TERMINAL ARRIVAL	BROWARD TERMINAL DEPARTURE	SUNRISE BLVD & 27 AVE	OAKLAND PARK BLVD & 21 AVE	US 441 & COMMERCIAL BLVD
8	7	6	5	4	4	3	2	1
7:00a	7:09a	7:20a	7:34a	7:46a	7:56a	8:06a	8:15a	8:27a
7:50a	7:59a	8:10a	8:24a	8:37a	8:47a	8:59a	9:09a	9:22a
8:40a	8:50a	9:01a	9:15a	9:28a	9:38a	9:51a	10:01a	10:13a
9:30a	9:39a	9:51a	10:05a	10:17a	10:27a	10:39a	10:48a	11:00a
10:20a	10:29a	10:44a	10:58a	11:11a	11:21a	11:33a	11:42a	11:54a
11:10a	11:21a	11:37a	11:54a	12:07p	12:17p	12:29p	12:38p	12:50p
12:00p	12:10p	12:26p	12:46p	12:59p	1:09p	1:21p	1:31p	1:45p
12:50p	1:00p	1:17p	1:41p	1:58p	2:08p	2:22p	2:33p	2:45p
1:40p	1:51p	2:08p	2:33p	2:49p	2:59p	3:11p	3:21p	3:35p
2:32p	2:43p	3:01p	3:25p	3:40p	3:50p	4:02p	4:12p	4:24p
3:26p	3:36p	3:54p	4:18p	4:35p	4:45p	4:57p	5:07p	5:19p
4:22p	4:32p	4:50p	5:15p	5:32p	5:42p	5:55p	6:06p	6:20p
5:18p	5:30p	5:48p	6:14p	6:33p	6:43p	6:54p	7:05p	7:19p
6:14p	6:24p	6:41p	7:05p	7:22p	7:32p	7:45p	7:57p	8:10p
7:05p	7:15p	7:29p	7:47p	8:03p	8:13p	8:25p	8:35p	8:48p G
7:55p	8:04p	8:17p	8:33p	8:46p	8:56p	9:09p	9:18p	9:31p G

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
 Times with the letter "G" after them indicate bus returns to garage.

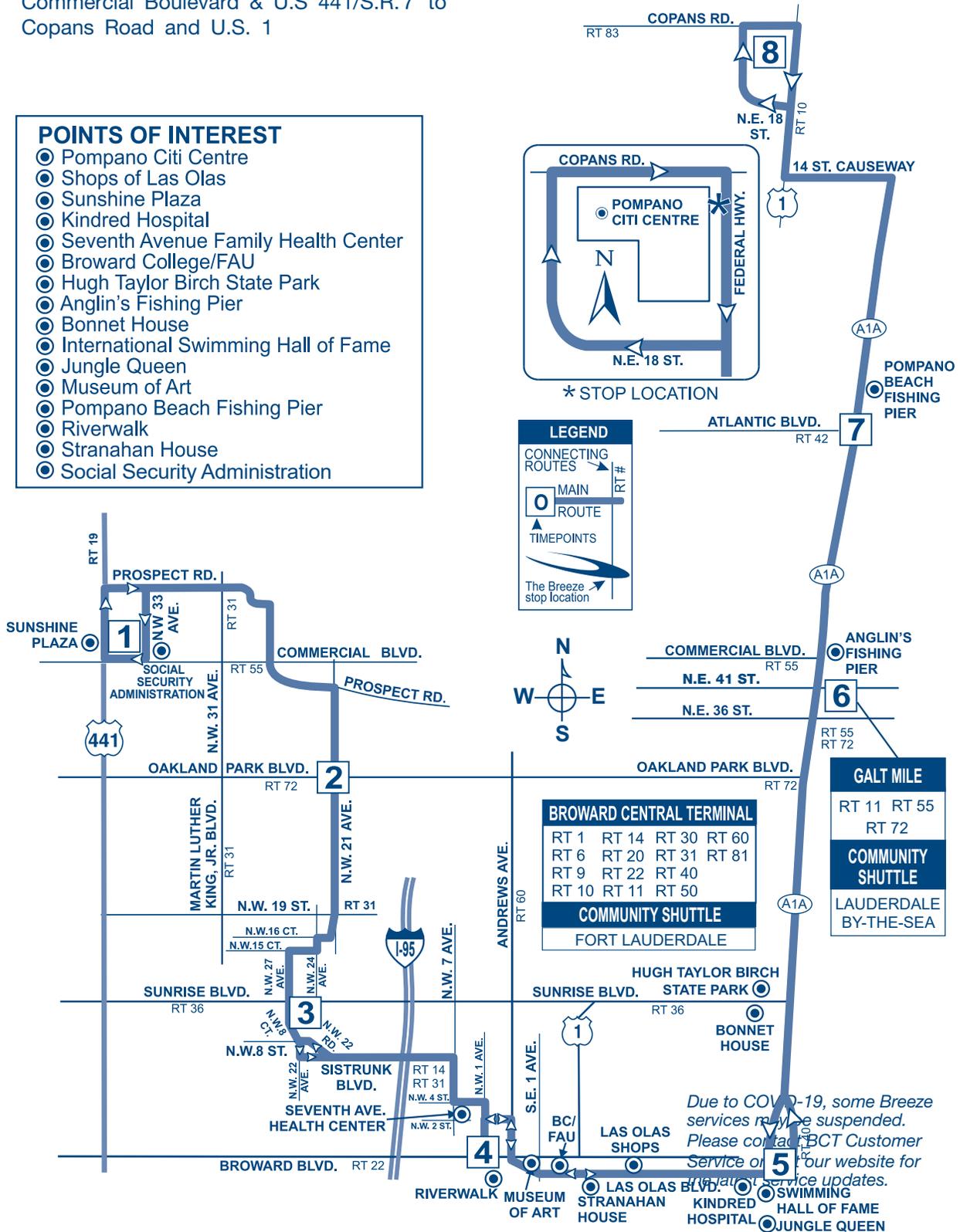
PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED
 Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324

ROUTE 11

Commercial Boulevard & U.S 441/S.R.7 to Copans Road and U.S. 1

POINTS OF INTEREST

- Pompano Citi Centre
- Shops of Las Olas
- Sunshine Plaza
- Kindred Hospital
- Seventh Avenue Family Health Center
- Broward College/FAU
- Hugh Taylor Birch State Park
- Anglin's Fishing Pier
- Bonnet House
- International Swimming Hall of Fame
- Jungle Queen
- Museum of Art
- Pompano Beach Fishing Pier
- Riverwalk
- Stranahan House
- Social Security Administration



Customer Service

Monday - Friday.....7 am - 7:45 pm
 Saturday, Sunday and Holidays.....8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-8400, Monday, Tuesday, Thursday and Friday, 9:00 am - 4:00 pm

Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.* Children (under 40 inches ride FREE)

Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

****Premium Express 10 Ride Pass:** 10 rides any time, any day. Expires after tenth ride is taken.

****Premium Express 31 Day Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not redeemable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at Broward.org/BCT and at select Broward County library locations.

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

CASE:UDP-S21031
 PZB Exhibit 4
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**WHEN IT COMES TO OUR SAFETY,
 WE CAN ALWAYS USE AN EXTRA PAIR OF EYES
 AND EARS.
 BE ALERT.
 CALL 954-357-LOOK (5665). TELL US.**

TRANSFER POLICY - EFFECTIVE 7/10/11

TRANSFERS BETWEEN REGULAR BCT BUS SERVICE AND BCT EXPRESS BUS SERVICE

Passengers using any BCT bus pass and transferring from a regular BCT route, to an Express bus route, must pay a \$1.00 upgrade fee. Passengers with a Premium bus pass do not have to pay the \$1.00 upgrade fee.

Passengers paying with cash, on a regular BCT bus route, will not be able to transfer to an Express bus route without paying the full premium fare when boarding the Express bus.

Passengers using an All-Day bus pass will be required to pay the \$1.00 upgrade fee when boarding Express buses.

PREMIUM BUS PASS CUSTOMERS

The BCT 31-Day Premium Bus Pass is acceptable on all BCT regular bus routes.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Premium Express Service, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Premium Express Service, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Premium Express Service does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

For more details on our fares please visit our web site at Broward.org/BCTor call customer service: 954-357-8400.

Reading a Timetable - It's Easy

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol □.
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
6. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

Information: 954-357-8400

Hearing-speech impaired/TTY: 954-357-8302

This publication can be made available in alternative formats upon request by contacting 954-357-8400 or TTY 954-357-8302.



This symbol is used on bus stop signs to indicate accessible bus stops.



BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS
An equal opportunity employer and provider of services.

5,000 copies of this public document were promulgated at a gross cost of \$260, or \$.052 per copy to inform the public about the Transit Division's schedule and route information. Printed 8/21

Broward County Transit
**ROUTE 36
ALL WEEK
SCHEDULE**

Sawgrass Mills Mall to A1A
via Sunrise Boulevard

Effective 8/8/21



**New Schedules Monday – Saturday
Regular Sunday Schedule**

- Face Covering Required • Maintain Social Distancing

Real Time Bus Information
MyRide.Broward.org



Broward.org/BCT
954-357-8400

Route 36

Sawgrass Mills Mall to A1A

BROWARD COUNTY TRANSIT

Sunrise Boulevard

MONDAY - FRIDAY

There are additional bus stops in between those listed.

EASTBOUND

To A1A

SAWGRASS MILLS MALL	SUNRISE BLVD & UNIVERSITY DR	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & POWERLINE RD	SUNRISE BLVD & A1A
1	2	3	3	4	5
	5:00a	5:19a	5:24a	5:38a	5:58a
	5:20a	5:39a	5:44a	5:58a	6:23a
	5:40a	5:59a	6:04a	6:22a	6:47a
5:45a	6:05a	6:25a	6:30a	6:48a	7:13a
6:09a	6:29a	6:49a	6:54a	7:12a	7:37a
6:30a	6:50a	7:10a	7:15a	7:33a	7:58a
6:50a	7:10a	7:30a	7:35a	7:53a	8:18a
7:08a	7:28a	7:48a	7:53a	8:11a	8:36a
7:25a	7:45a	8:05a	8:10a	8:28a	8:53a
7:48a	8:08a	8:28a	8:33a	8:51a	9:15a
8:11a	8:31a	8:51a	8:56a	9:13a	9:36a
8:29a	8:49a	9:10a	9:15a	9:32a	9:55a
8:45a	9:06a	9:29a	9:34a	9:51a	10:14a
9:08a	9:30a	9:53a	9:58a	10:15a	10:38a
9:28a	9:50a	10:13a	10:18a	10:35a	10:58a
9:51a	10:13a	10:36a	10:41a	10:58a	11:21a
10:16a	10:38a	11:01a	11:06a	11:23a	11:46a
10:44a	11:06a	11:29a	11:34a	11:51a	12:15p
11:18a	11:40a	12:03p	12:08p	12:25p	12:50p
11:49a	12:13p	12:37p	12:42p	12:59p	1:24p
12:07p	12:32p	12:56p	1:01p	1:18p	1:43p
12:32p	12:57p	1:21p	1:26p	1:43p	2:08p
12:49p	1:14p	1:38p	1:43p	2:00p	2:25p
1:06p	1:31p	1:55p	2:00p	2:17p	2:42p
1:26p	1:51p	2:15p	2:20p	2:37p	3:02p
1:46p	2:11p	2:35p	2:40p	2:57p	3:22p
2:03p	2:28p	2:52p	2:57p	3:15p	3:40p
2:23p	2:48p	3:13p	3:18p	3:36p	4:01p
2:45p	3:11p	3:36p	3:41p	3:59p	4:24p
3:00p	3:27p	3:52p	3:57p	4:15p	4:40p
3:14p	3:41p	4:06p	4:11p	4:29p	4:54p
3:27p	3:54p	4:19p	4:24p	4:42p	5:07p
3:43p	4:10p	4:35p	4:40p	4:58p	5:23p
4:00p	4:27p	4:52p	4:57p	5:15p	5:40p
4:15p	4:42p	5:07p	5:12p	5:30p	5:55p
4:32p	4:59p	5:24p	5:29p	5:47p	6:11p
4:48p	5:15p	5:40p	5:45p	6:03p	6:25p G
5:05p	5:32p	5:57p	6:02p	6:19p	6:41p
5:22p	5:49p	6:13p	6:18p	6:35p	6:57p G
5:42p	6:08p	6:31p	6:36p	6:53p	7:15p
6:06p	6:29p	6:52p	6:57p	7:14p	7:36p
6:33p	6:56p	7:19p	7:24p	7:41p	8:03p
7:06p	7:29p	7:52p	7:57p	8:12p	8:35p
7:39p	8:02p	8:21p	8:26p	8:41p	9:04p
8:08p	8:28p	8:47p	8:52p	9:07p	9:30p
8:38p	8:58p	9:17p	9:22p	9:37p	10:00p
9:09p	9:29p	9:48p	9:53p	10:07p	10:27p
9:39p	9:59p	10:19p	10:24p	10:37p	10:57p G
10:09p	10:27p	10:47p	10:52p	11:05p	11:25p G
10:39p	10:57p	11:17p	11:22p	11:35p	11:55p G
11:16p	11:34p	11:54p	11:59p	12:12a	12:32a G

WESTBOUND

To Sawgrass Mills Mall

SUNRISE BLVD & A1A	SUNRISE BLVD & POWERLINE RD	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & UNIVERSITY DR	SAWGRASS MILLS MALL
5	4	3	3	2	1
5:00a	5:14a	5:37a	5:42a	6:01a	6:16a
5:20a	5:34a	5:57a	6:02a	6:24a	6:39a
5:45a	5:59a	6:22a	6:27a	6:49a	7:04a
6:11a	6:28a	6:51a	6:56a	7:18a	7:33a
6:36a	6:53a	7:16a	7:21a	7:43a	7:58a
7:02a	7:19a	7:42a	7:47a	8:10a	8:25a
7:26a	7:43a	8:06a	8:11a	8:34a	8:50a
7:51a	8:08a	8:31a	8:36a	8:58a	9:15a
8:14a	8:31a	8:55a	9:00a	9:22a	9:39a
8:34a	8:52a	9:16a	9:21a	9:43a	10:00a
8:52a	9:10a	9:34a	9:39a	10:01a	10:18a
9:13a	9:31a	9:55a	10:00a	10:21a	10:38a G
9:33a	9:51a	10:16a	10:21a	10:42a	10:59a
9:53a	10:11a	10:37a	10:42a	11:03a	11:21a G
10:08a	10:26a	10:52a	10:57a	11:18a	11:36a
10:26a	10:44a	11:10a	11:15a	11:36a	11:54a
10:50a	11:08a	11:34a	11:39a	12:00p	12:18p
11:15a	11:34a	12:00p	12:05p	12:26p	12:44p
11:38a	11:57a	12:23p	12:28p	12:50p	1:08p
12:02p	12:21p	12:47p	12:52p	1:14p	1:32p
12:35p	12:55p	1:21p	1:26p	1:49p	2:07p
1:08p	1:28p	1:54p	1:59p	2:22p	2:40p
1:39p	1:59p	2:25p	2:30p	2:53p	3:11p
1:58p	2:18p	2:44p	2:49p	3:11p	3:29p
2:23p	2:43p	3:09p	3:14p	3:36p	3:54p
2:41p	3:01p	3:28p	3:33p	3:55p	4:13p
3:00p	3:22p	3:49p	3:54p	4:16p	4:34p
3:15p	3:37p	4:04p	4:09p	4:31p	4:49p
3:35p	3:57p	4:24p	4:29p	4:51p	5:08p
3:55p	4:17p	4:44p	4:49p	5:11p	5:27p
4:17p	4:39p	5:06p	5:11p	5:33p	5:49p
4:37p	4:59p	5:25p	5:30p	5:52p	6:08p
4:55p	5:19p	5:45p	5:50p	6:12p	6:28p G
5:12p	5:36p	6:02p	6:07p	6:28p	6:44p
5:26p	5:50p	6:16p	6:21p	6:41p	6:57p G
5:40p	6:04p	6:31p	6:36p	6:56p	7:12p G
5:55p	6:19p	6:46p	6:51p	7:11p	7:27p
6:10p	6:32p	6:59p	7:04p	7:24p	7:40p G
6:26p	6:48p	7:15p	7:20p	7:40p	7:56p
6:56p	7:18p	7:45p	7:50p	8:10p	8:25p
7:28p	7:50p	8:16p	8:21p	8:40p	8:55p
7:58p	8:16p	8:41p	8:46p	9:05p	9:20p
8:28p	8:46p	9:11p	9:16p	9:35p	9:50p
8:58p	9:16p	9:41p	9:46p	10:04p	10:18p
9:28p	9:46p	10:09p	10:14p	10:31p	10:45p G
9:48p	10:06p	10:26p	10:31p	10:48p	11:02p
10:18p	10:35p	10:55p	11:00p	11:16p	11:30p G
10:50p	11:07p	11:26p	11:31p	11:47p	12:01a G

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
Times with the letter "G" after them indicate bus returns to garage.

SATURDAY

EASTBOUND

To A1A

SAWGRASS MILLS MALL	SUNRISE BLVD & UNIVERSITY DR	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & POWERLINE RD	SUNRISE BLVD & A1A
1	2	3	3	4	5
	5:29a	5:52a	5:57a	6:09a	6:32a
	5:59a	6:22a	6:27a	6:39a	7:02a
6:07a	6:23a	6:46a	6:51a	7:03a	7:23a
6:37a	6:53a	7:14a	7:20a	7:33a	7:53a
7:07a	7:25a	7:45a	7:51a	8:04a	8:24a
7:39a	7:57a	8:17a	8:23a	8:36a	8:56a
8:09a	8:27a	8:47a	8:53a	9:06a	9:27a
8:40a	8:58a	9:18a	9:24a	9:41a	10:03a
9:11a	9:30a	9:50a	9:56a	10:13a	10:35a
9:41a	10:00a	10:20a	10:26a	10:43a	11:05a
10:11a	10:30a	10:51a	10:58a	11:15a	11:37a
10:44a	11:04a	11:25a	11:32a	11:49a	12:12p
11:19a	11:39a	12:00p	12:07p	12:27p	12:51p
11:53a	12:14p	12:37p	12:44p	1:04p	1:28p
12:27p	12:49p	1:12p	1:19p	1:39p	2:03p
1:02p	1:24p	1:47p	1:54p	2:14p	2:38p
1:36p	1:58p	2:21p	2:28p	2:48p	3:12p
2:10p	2:32p	2:55p	3:02p	3:22p	3:46p
2:45p	3:07p	3:30p	3:37p	3:57p	4:21p
3:20p	3:42p	4:05p	4:12p	4:32p	4:56p
3:55p	4:17p	4:39p	4:46p	5:06p	5:32p
4:29p	4:51p	5:12p	5:19p	5:38p	6:04p
5:04p	5:26p	5:47p	5:54p	6:13p	6:39p
5:38p	6:00p	6:21p	6:28p	6:47p	7:13p
6:13p	6:35p	6:56p	7:03p	7:21p	7:46p
6:46p	7:08p	7:29p	7:35p	7:47p	8:12p
7:20p	7:39p	7:59p	8:05p	8:17p	8:42p
7:51p	8:10p	8:30p	8:36p	8:48p	9:13p
8:22p	8:41p	9:01p	9:07p	9:19p	9:44p
8:52p	9:11p	9:31p	9:37p	9:49p	10:11p
9:22p	9:41p	10:01p	10:07p	10:19p	10:38p
9:52p	10:10p	10:29p	10:35p	10:47p	11:05p G
10:22p	10:39p	10:58p	11:04p	11:16p	11:34p G
10:52p	11:09p	11:28p	11:34p	11:46p	12:04p G
11:18p	11:35p	11:54p	12:00a	12:12a	12:30a G

WESTBOUND

To Sawgrass Mills Mall

SUNRISE BLVD & A1A	SUNRISE BLVD & POWERLINE RD	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & UNIVERSITY DR	SAWGRASS MILLS MALL
5	4	3	3	2	1
5:42a	5:55a	6:14a	6:20a	6:38a	6:54a
6:12a	6:27a	6:46a	6:52a	7:10a	7:26a
6:42a	6:58a	7:17a	7:23a	7:41a	7:57a
7:12a	7:28a	7:47a	7:53a	8:11a	8:27a
7:42a	7:59a	8:19a	8:25a	8:43a	9:00a
8:12a	8:29a	8:49a	8:55a	9:13a	9:30a
8:42a	8:59a	9:19a	9:25a	9:43a	10:00a
9:12a	9:29a	9:49a	9:55a	10:14a	10:31a
9:42a	9:59a	10:23a	10:29a	10:49a	11:06a
10:14a	10:34a	10:58a	11:05a	11:25a	11:43a
10:47a	11:07a	11:31a	11:38a	11:58a	12:16p
11:20a	11:40a	12:04p	12:11p	12:31p	12:51p
11:53a	12:13p	12:38p	12:45p	1:05p	1:25p
12:27p	12:47p	1:12p	1:19p	1:40p	2:00p
1:02p	1:22p	1:47p	1:54p	2:15p	2:35p
1:38p	1:58p	2:23p	2:30p	2:51p	3:10p
2:13p	2:33p	2:58p	3:05p	3:26p	3:45p
2:48p	3:09p	3:32p	3:39p	4:00p	4:19p
3:22p	3:44p	4:07p	4:14p	4:35p	4:54p
3:56p	4:18p	4:41p	4:48p	5:09p	5:28p
4:31p	4:53p	5:16p	5:23p	5:44p	6:03p
5:06p	5:28p	5:51p	5:58p	6:19p	6:36p
5:42p	6:04p	6:25p	6:32p	6:53p	7:10p
6:15p	6:37p	6:58p	7:04p	7:24p	7:41p
6:49p	7:10p	7:30p	7:36p	7:56p	8:11p
7:23p	7:42p	8:02p	8:08p	8:25p	8:40p
7:56p	8:13p	8:31p	8:37p	8:54p	9:09p
8:26p	8:42p	9:00p	9:06p	9:23p	9:38p
8:56p	9:12p	9:30p	9:36p	9:53p	10:08p
9:26p	9:42p	10:00p	10:06p	10:22p	10:37p
9:56p	10:13p	10:31p	10:37p	10:53p	11:08p
10:26p	10:43p	11:01p	11:07p	11:23p	11:38p G
10:50p	11:07p	11:25p	11:31p	11:47p	12:02a G

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
Times with the letter "G" after them indicate bus returns to garage.

SUNDAY

EASTBOUND

To A1A

SAWGRASS MILLS MALL	SUNRISE BLVD & UNIVERSITY DR	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & POWERLINE RD	SUNRISE BLVD & A1A
1	2	3	3	4	5
	7:15a	7:36a	7:43a	8:01a	8:21a
	7:45a	8:06a	8:13a	8:31a	8:51a
7:50a	8:10a	8:31a	8:38a	8:56a	9:16a
8:20a	8:40a	9:01a	9:08a	9:26a	9:46a
8:50a	9:10a	9:31a	9:38a	9:56a	10:16a
9:20a	9:40a	10:01a	10:08a	10:26a	10:48a
9:50a	10:10a	10:31a	10:40a	10:59a	11:22a
10:20a	10:40a	11:01a	11:10a	11:29a	11:52a
10:50a	11:10a	11:31a	11:40a	11:59a	12:22p
11:20a	11:40a	12:01p	12:10p	12:29p	12:52p
11:50a	12:10p	12:31p	12:40p	12:59p	1:22p
12:20p	12:40p	1:01p	1:10p	1:29p	1:52p
12:50p	1:10p	1:31p	1:40p	1:59p	2:22p
1:20p	1:40p	2:01p	2:10p	2:29p	2:52p
1:50p	2:10p	2:31p	2:40p	2:59p	3:22p
2:20p	2:40p	3:01p	3:10p	3:29p	3:52p
2:50p	3:10p	3:31p	3:40p	3:59p	4:24p
3:20p	3:40p	4:01p	4:10p	4:29p	4:54p
3:50p	4:11p	4:32p	4:41p	5:00p	5:25p
4:20p	4:41p	5:02p	5:11p	5:30p	5:55p
4:50p	5:11p	5:32p	5:41p	6:00p	6:25p
5:20p	5:41p	6:02p	6:11p	6:30p	6:55p
5:50p	6:11p	6:32p	6:41p	7:00p	7:25p
6:20p	6:41p	7:02p	7:11p	7:30p	7:54p
6:50p	7:11p	7:32p	7:41p	7:59p	8:19p G
7:20p	7:41p	8:02p	8:10p	8:27p	8:47p G
7:50p	8:09p	8:30p	8:38p	8:55p	9:15p G
8:20p	8:39p	9:00p	9:08p	9:25p	9:45p G
8:50p	9:09p	9:30p	9:38p	9:55p	10:15p G

WESTBOUND

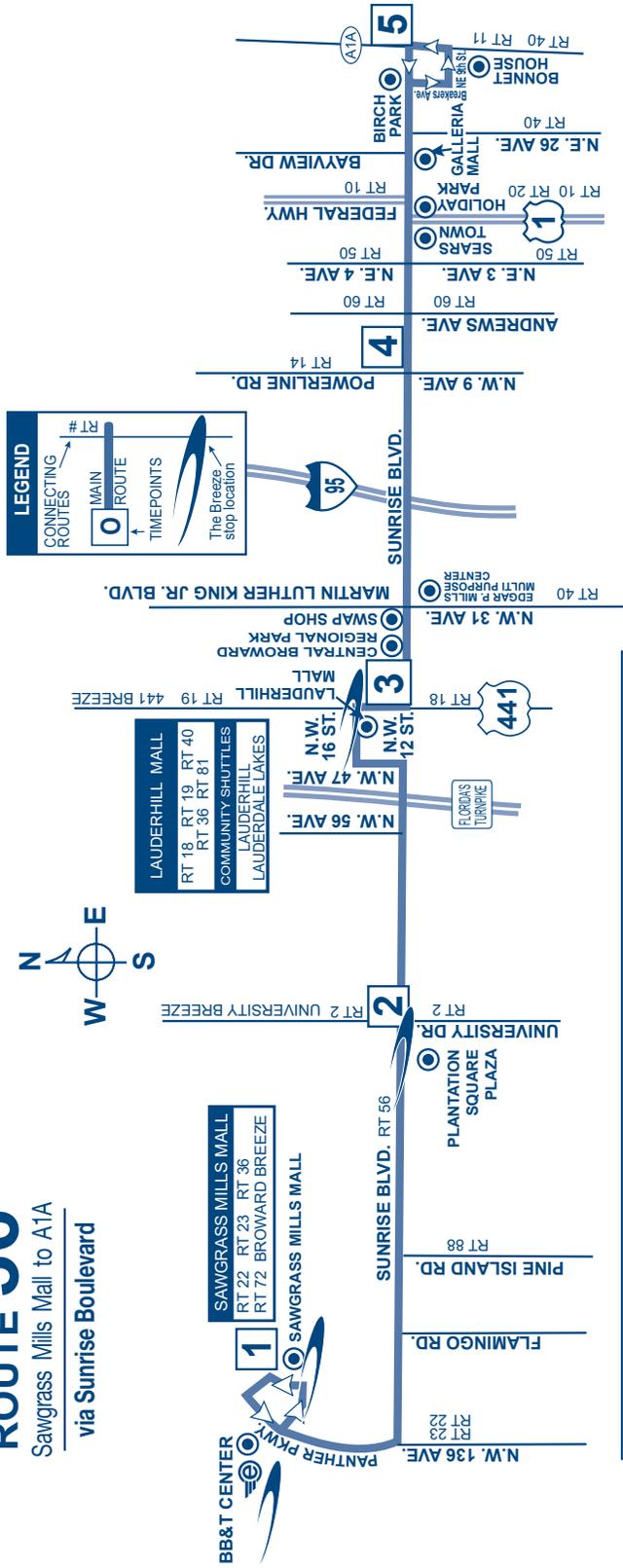
To Sawgrass Mills Mall

SUNRISE BLVD & A1A	SUNRISE BLVD & POWERLINE RD	LAUDERHILL TRANSIT CENTER ARRIVAL	LAUDERHILL TRANSIT CENTER DEPARTURE	SUNRISE BLVD & UNIVERSITY DR	SAWGRASS MILLS MALL
5	4	3	3	2	1
7:10a	7:26a	7:42a	7:50a	8:12a	8:27a
7:40a	7:56a	8:12a	8:20a	8:42a	8:57a
8:10a	8:26a	8:42a	8:50a	9:12a	9:27a
8:40a	8:56a	9:12a	9:20a	9:42a	9:57a
9:10a	9:26a	9:42a	9:50a	10:11a	10:28a
9:40a	9:56a	10:14a	10:23a	10:44a	11:01a
10:10a	10:29a	10:47a	10:56a	11:17a	11:34a
10:40a	10:59a	11:17a	11:26a	11:47a	12:04p
11:10a	11:29a	11:47a	11:56a	12:17p	12:34p
11:40a	11:59a	12:17p	12:26p	12:47p	1:04p
12:10p	12:29p	12:48p	12:57p	1:18p	1:35p
12:40p	12:59p	1:18p	1:27p	1:48p	2:05p
1:10p	1:29p	1:48p	1:57p	2:18p	2:35p
1:40p	1:59p	2:18p	2:27p	2:48p	3:05p
2:10p	2:29p	2:48p	2:57p	3:18p	3:35p
2:40p	2:59p	3:18p	3:27p	3:48p	4:05p
3:10p	3:29p	3:48p	3:57p	4:19p	4:36p
3:40p	3:59p	4:18p	4:27p	4:49p	5:06p
4:10p	4:31p	4:50p	4:59p	5:21p	5:38p
4:40p	5:01p	5:20p	5:29p	5:51p	6:08p
5:10p	5:31p	5:50p	5:59p	6:21p	6:38p
5:40p	6:01p	6:20p	6:29p	6:51p	7:08p
6:10p	6:31p	6:50p	6:59p	7:20p	7:36p
6:40p	7:01p	7:16p	7:23p	7:44p	8:00p
7:10p	7:28p	7:43p	7:50p	8:11p	8:27p
7:40p	7:58p	8:13p	8:20p	8:41p G	
8:10p	8:28p	8:43p	8:50p	9:11p G	

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP
 Times with the letter "G" after them indicate bus returns to garage.

ROUTE 36

Sawgrass Mills Mall to A1A
via Sunrise Boulevard



- POINTS OF INTEREST**
- BB&T Center
 - Sawgrass Mills Mall
 - Plantation Square Plaza
 - Lauderhill Mall
 - Central Broward Regional Park
 - Swap Shop
 - Edgar P. Mills Multi Purpose Center
 - Searstown
 - Holiday Park
 - Galleria Mall
 - Hugh Taylor Birch State Park
 - Bonnet House

Due to COVID-19, some Breeze services may be suspended. Please contact BCT Customer Service or visit our website for the latest service updates.

Customer Service

Monday - Friday.....7 am - 7:45 pm
 Saturday, Sunday and Holidays.....8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-8400, Monday, Tuesday, Thursday and Friday, 9:00 am - 4:00 pm

Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.
 Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.*
 Children (under 40 inches ride FREE)

Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

****Premium Express 10 Ride Pass:** 10 rides any time, any day. Expires after tenth ride is taken.

****Premium Express 31 Day Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at Broward.org/BCT and at select Broward County library locations.

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324



**WHEN IT COMES TO OUR SAFETY,
 WE CAN ALWAYS USE AN EXTRA PAIR OF
 EYES AND EARS. BE ALERT.
 CALL 954-357-LOOK (5665). TELL US.**

TRANSFER POLICY - EFFECTIVE 7/10/11

TRANSFERS BETWEEN REGULAR BCT BUS SERVICE AND BCT EXPRESS BUS SERVICE

Passengers using any BCT bus pass and transferring from a regular BCT route, to an Express bus route, must pay a \$1.00 upgrade fee. Passengers with a Premium bus pass do not have to pay the \$1.00 upgrade fee.

Passengers paying with cash, on a regular BCT bus route, will not be able to transfer to an Express bus route without paying the full premium fare when boarding the Express bus.

Passengers using an All-Day bus pass will be required to pay the \$1.00 upgrade fee when boarding Express buses.

PREMIUM BUS PASS CUSTOMERS

The BCT 31-Day Premium Bus Pass is acceptable on all BCT regular bus routes.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Premium Express Service, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Premium Express Service, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Premium Express Service does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

For more details on our fares please visit our web site at Broward.org/BCT or call customer service: 954-357-8400.

Reading a Timetable - It's Easy

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol □.
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
6. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

Information: 954-357-8400

Hearing-speech impaired:
Florida Relay Service- 711 or 1-800-955-8771
TTY- 954-357-8302

This publication can be made available in alternative formats upon request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BROWARD COUNTY
BOARD OF COUNTY COMMISSIONERS
An equal opportunity employer and provider of services.

5,000 copies of this public document were promulgated at a gross cost of \$260, or \$.052 per copy to inform the public about the Transit Division's schedule and route information. Printed 8/21

Broward County Transit
**ROUTE 40
ALL WEEK
SCHEDULE**

Lauderhill Transit Center to Galleria Mall
via Sistrunk Blvd./17th Street Causeway/A1A

Effective 8/8/21



**New Schedules Monday – Saturday
Regular Sunday Schedule**

- Face Covering Required • Maintain Social Distancing

Real Time Bus Information
MyRide.Broward.org



Broward.org/BCT
954-357-8400

Route 40

Lauderhill Transit Center to Galleria Mall

via Sistrunk Boulevard/
17 Street Causeway/A1A

BROWARD COUNTY TRANSIT

MONDAY - FRIDAY

EASTBOUND

To Galleria Mall

LAUDERHILL TRANSIT CENTER	SUNRISE BLVD & 31 AVE	BROWARD CENTRAL TERMINAL ARRIVAL	BROWARD CENTRAL TERMINAL DEPARTURE	SE 17 ST & EISENHOWER BLVD	SE 20 ST & S OCEAN LN (POINTS OF AMERICA)	GALLERIA MALL
1	2	3	3	5	6	7
5:30a	5:39a	5:52a	5:57a	6:10a		6:35a
5:45a	5:54a	6:08a	6:13a	6:26a		6:51a
6:00a	6:10a	6:25a	6:30a	6:43a		7:08a
6:30a	6:40a	6:55a	7:00a	7:13a	7:21a	7:46a
7:00a	7:10a	7:25a	7:30a	7:43a	7:52a	8:17a
7:23a	7:33a	7:48a	7:53a	8:06a	8:15a	8:40a G
7:40a	7:50a	8:05a	8:10a	8:23a	8:31a	8:56a
8:05a	8:15a	8:32a	8:37a	8:50a	8:58a	9:23a
8:28a	8:38a	8:55a	9:00a	9:13a		9:38a G
8:45a	8:55a	9:12a	9:17a	9:30a		9:54a
9:20a	9:30a	9:47a	9:52a	10:06a		10:29a
9:55a	10:05a	10:22a	10:27a	10:41a		11:04a
10:30a	10:40a	10:57a	11:02a	11:16a		11:39a
11:05a	11:15a	11:32a	11:37a	11:51a		12:13p
11:40a	11:50a	12:07p	12:12p	12:27p		12:49p
12:20p	12:30p	12:47p	12:52p	1:07p		1:29p
12:55p	1:05p	1:22p	1:27p	1:42p		2:04p
1:09p	1:19p	1:36p	1:41p	1:56p		2:18p
1:30p	1:40p	1:57p	2:02p	2:17p		2:40p
2:05p	2:15p	2:32p	2:37p	2:50p	3:01p	3:24p
2:40p	2:50p	3:08p	3:13p	3:29p		3:52p
2:58p	3:08p	3:27p	3:32p	3:48p		4:11p
3:20p	3:30p	3:49p	3:54p	4:10p	4:19p	4:42p
4:00p	4:10p	4:29p	4:34p	4:50p		5:13p
4:20p	4:30p	4:49p	4:54p	5:10p		5:30p
4:40p	4:50p	5:09p	5:14p	5:28p		5:47p
5:20p	5:30p	5:49p	5:54p	6:08p		6:27p
6:00p	6:10p	6:29p	6:34p	6:48p		7:07p
6:40p	6:50p	7:06p	7:11p	7:25p		7:42p
7:20p	7:30p	7:46p	7:51p	8:03p		8:19p
8:00p	8:10p	8:26p	8:31p	8:43p		8:59p
8:40p	8:50p	9:06p	9:11p	9:23p		9:39p
9:20p	9:29p	9:44p	9:49p	10:01p		10:17p G
10:00p	10:09p	10:24p	10:29p	10:41p		10:57p G
10:40p	10:49p	11:04p				

WESTBOUND

To Lauderhill Transit Center

GALLERIA MALL	SE 20 ST & S OCEAN LN (POINTS OF AMERICA)	SE 17 ST & 15TH AVE	BROWARD CENTRAL TERMINAL ARRIVAL	BROWARD CENTRAL TERMINAL DEPARTURE	SUNRISE BLVD & 31 AVE	LAUDERHILL TRANSIT CENTER
7	6	4	3	3	2	1
				5:55a	6:08a	6:20a
				6:25a	6:38a	6:50a
6:20a		6:36a	6:50a	6:55a	7:08a	7:20a
6:50a		7:06a	7:20a	7:25a	7:39a	7:53a
7:05a		7:21a	7:35a	7:40a	7:54a	8:08a
7:22a		7:38a	7:52a	7:57a	8:11a	8:25a
7:56a		8:12a	8:26a	8:31a	8:45a	8:59a
8:30a		8:46a	9:00a	9:05a	9:19a	9:33a
9:05a		9:21a	9:35a	9:40a	9:54a	10:08a
9:40a		9:56a	10:14a	10:19a	10:33a	10:48a
10:15a		10:33a	10:52a	10:57a	11:12a	11:27a
10:50a		11:08a	11:27a	11:32a	11:47a	12:02p
11:25a		11:43a	12:02p	12:07p	12:22p	12:37p
12:00p		12:18p	12:37p	12:42p	12:57p	1:12p
12:35p		12:54p	1:16p	1:21p	1:36p	1:51p
1:10p		1:29p	1:51p	1:56p	2:11p	2:26p
1:45p		2:04p	2:26p	2:31p	2:46p	3:01p
2:20p		2:39p	3:01p	3:06p	3:21p	3:36p
2:40p		2:59p	3:21p	3:26p	3:41p	3:56p
3:00p	3:20p	3:27p	3:44p	3:49p	4:08p	4:25p
3:40p		4:09p	4:29p	4:34p	4:49p	5:04p
4:20p	4:42p	4:49p	5:07p	5:12p	5:32p	5:49p
4:40p		5:09p	5:29p	5:34p	5:49p	6:04p G
5:00p		5:29p	5:49p	5:54p	6:09p	6:24p
5:25p		5:54p	6:09p	6:14p	6:29p	6:44p G
5:45p		6:09p	6:24p	6:29p	6:44p	6:59p G
6:00p		6:18p	6:33p	6:38p	6:53p	7:08p
6:40p		6:58p	7:13p	7:18p	7:31p	7:44p
7:20p		7:38p	7:53p	7:58p	8:11p	8:24p
8:00p		8:18p	8:33p	8:38p	8:51p	9:04p
8:35p		8:53p	9:08p	9:13p	9:26p	9:39p
9:20p		9:34p	9:48p	9:53p	10:06p	10:18p
9:50p	10:04p	10:18p	10:23p	10:23p	10:35p	10:47p G

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP

Times with the letter "G" after them indicate bus returns to garage.

To ensure reliable and safe connections for our customers, all trips with the "W" note will NOT depart terminal until directed by either the terminal supervisor or radio.

SATURDAY There are additional bus stops in between those listed.

EASTBOUND To Galleria Mall

WESTBOUND To Lauderhill Transit Center

LAUDERHILL TRANSIT CENTER	SUNRISE BLVD & 31 AVE	BROWARD CENTRAL TERMINAL-ARRIVAL	BROWARD CENTRAL TERMINAL-DEPARTURE	SE 17 ST & EISENHOWER BLVD	SE 20 ST & S OCEAN LN (POINTS OF AMERICA)	GALLERIA MALL
1	2	3	3	5	6	7
5:30a	5:38a	5:52a	5:57a	6:08a		6:21a
6:00a	6:09a	6:22a	6:27a	6:39a		6:52a
6:30a	6:39a	6:54a	6:59a	7:11a	7:15a	7:28a
7:00a	7:09a	7:24a	7:29a	7:41a	7:46a	7:58a
7:30a	7:40a	7:55a	8:00a	8:12a	8:17a	8:29a
8:00a	8:10a	8:25a	8:30a	8:42a	8:47a	8:59a
8:30a	8:40a	8:56a	9:01a	9:15a		9:29a
9:00a	9:10a	9:26a	9:31a	9:45a		9:59a
9:30a	9:40a	9:56a	10:01a	10:14a		10:31a
10:00a	10:10a	10:27a	10:32a	10:45a		11:02a
10:30a	10:40a	10:57a	11:02a	11:15a		11:32a
11:00a	11:10a	11:26a	11:31a	11:45a		12:02p
11:35a	11:47a	12:03p	12:08p	12:22p		12:39p
12:10p	12:22p	12:39p	12:44p	12:58p		1:15p
12:40p	12:51p	1:08p	1:13p	1:27p		1:45p
1:10p	1:21p	1:38p	1:43p	1:59p		2:20p
1:40p	1:51p	2:08p	2:13p	2:29p		2:50p
2:15p	2:27p	2:46p	2:51p	3:06p	3:10p	3:28p
2:50p	3:02p	3:19p	3:24p	3:39p		3:59p
3:25p	3:37p	3:54p	3:59p	4:12p	4:18p	4:36p
4:00p	4:12p	4:29p	4:34p	4:47p		5:06p
4:35p	4:47p	5:04p	5:09p	5:22p		5:37p
5:10p	5:22p	5:41p	5:46p	6:02p		6:17p
5:45p	5:56p	6:15p	6:20p	6:36p		6:51p
6:15p	6:26p	6:44p	6:49p	7:01p		7:16p
6:45p	6:55p	7:12p	7:17p	7:29p		7:44p
7:15p	7:25p	7:42p	7:47p	7:58p		8:11p
7:50p	8:00p	8:15p	8:20p	8:31p		8:44p
8:25p	8:35p	8:50p	8:55p	9:06p		9:19p
8:55p	9:05p	9:20p	9:25p	9:36p		9:49p G
9:40p	9:50p	10:04p	10:09p	10:20p		10:33p G
10:40p	10:50p	11:04p G				

GALLERIA MALL	SE 20 ST & S OCEAN LN (POINTS OF AMERICA)	SE 17 ST & 15TH AVE	BROWARD CENTRAL TERMINAL-ARRIVAL	BROWARD CENTRAL TERMINAL-DEPARTURE	SUNRISE BLVD & 31 AVE	LAUDERHILL TRANSIT CENTER
7	6	4	3	3	2	1
				6:00a	6:12a	6:19a
6:05a		6:19a	6:30a	6:35a	6:47a	6:56a
6:40a		6:54a	7:06a	7:11a	7:26a	7:36a
7:10a		7:25a	7:36a	7:41a	7:56a	8:06a
7:45a		8:01a	8:12a	8:17a	8:32a	8:42a
8:15a		8:31a	8:43a	8:48a	9:03a	9:13a
8:45a		8:59a	9:11a	9:16a	9:31a	9:41a
9:15a		9:29a	9:41a	9:46a	10:03a	10:13a
9:45a		10:02a	10:14a	10:19a	10:37a	10:49a
10:15a		10:34a	10:46a	10:51a	11:09a	11:21a
10:45a		11:04a	11:16a	11:21a	11:39a	11:51a
11:15a		11:34a	11:46a	11:51a	12:08p	12:20p
11:45a		12:03p	12:15p	12:20p	12:37p	12:49p
12:20p		12:38p	12:50p	12:55p	1:12p	1:24p
12:55p		1:16p	1:29p	1:34p	1:51p	2:03p
1:30p		1:51p	2:04p	2:09p	2:25p	2:36p
2:00p		2:20p	2:34p	2:39p	2:55p	3:06p
2:35p		2:55p	3:09p	3:14p	3:30p	3:41p
3:10p		3:30p	3:44p	3:49p	4:06p	4:17p
3:45p	4:07p	4:15p	4:28p	4:33p	4:49p	5:00p
4:20p		4:47p	5:01p	5:06p	5:22p	5:32p
4:50p	5:08p	5:16p	5:28p	5:33p	5:49p	6:00p
5:20p		5:40p	5:55p	6:00p	6:16p	6:26p
5:55p		6:15p	6:28p	6:33p	6:49p	7:00p
6:30p		6:50p	7:01p	7:06p	7:22p	7:33p
7:05p		7:25p	7:36p	7:41p	7:58p	8:07p
7:35p		7:54p	8:05p	8:10p	8:27p	8:36p
8:00p		8:19p	8:30p	8:35p	8:52p	9:00p G
8:30p		8:49p	9:00p	9:05p	9:19p	9:27p
9:00p		9:19p	9:30p	9:35p	9:49p	9:57p G
9:30p		9:49p	10:00p	10:05p	10:19p	10:27p

SUNDAY

EASTBOUND To Galleria Mall

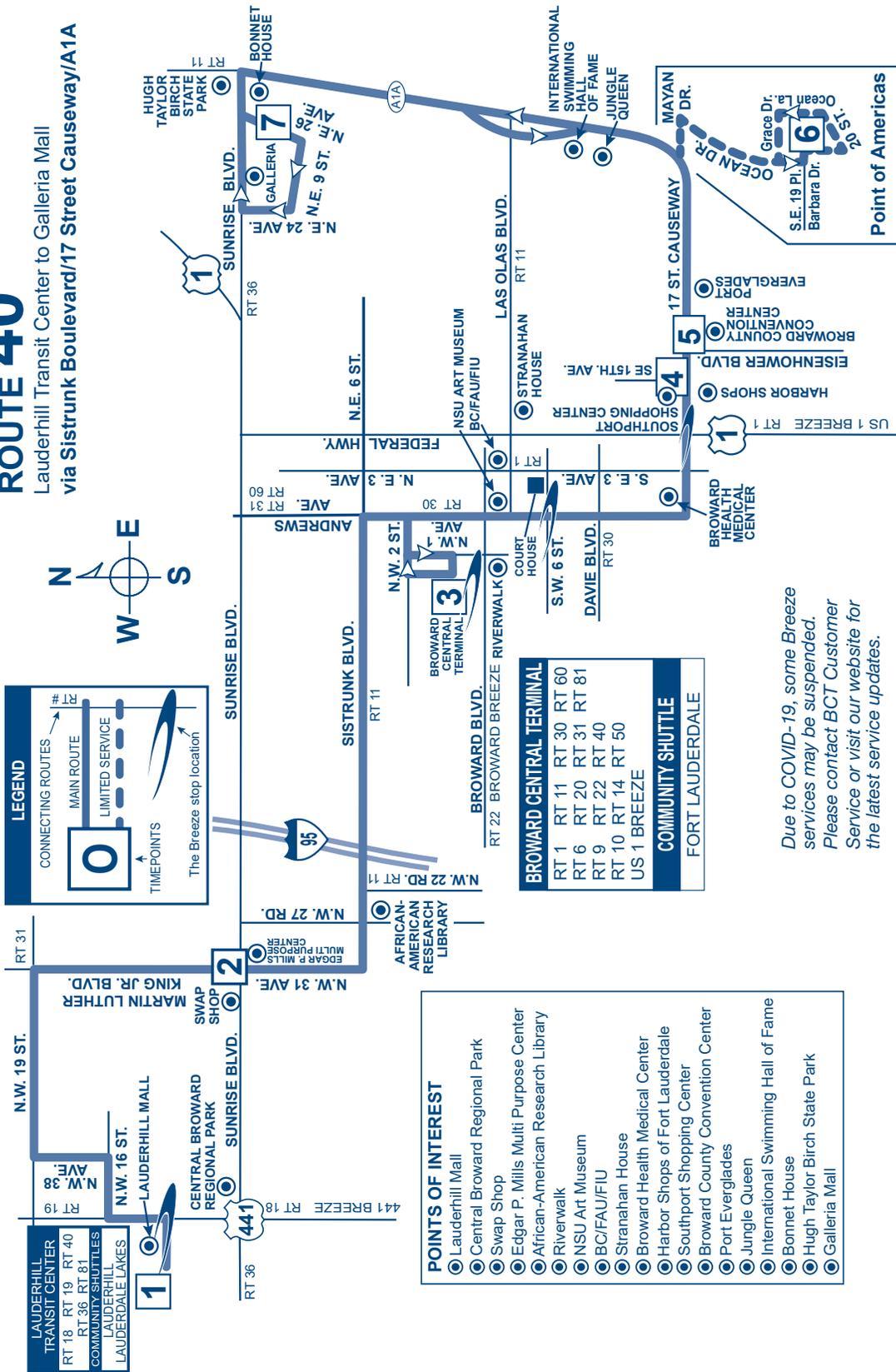
WESTBOUND To Lauderhill Transit Center

1	2	3	3	5	7
6:40a	6:50a	7:05a	7:10a	7:23a	7:37a
7:20a	7:30a	7:45a	7:50a	8:03a	8:17a
8:00a	8:09a	8:24a	8:29a	8:46a	9:00a
8:40a	8:49a	9:05a	9:10a	9:26a	9:40a
9:20a	9:31a	9:48a	9:53a	10:09a	10:23a
10:00a	10:11a	10:28a	10:33a	10:49a	11:03a
10:40a	10:51a	11:08a	11:13a	11:29a	11:46a
11:20a	11:31a	11:48a	11:53a	12:09p	12:26p
12:00p	12:11p	12:28p	12:33p	12:49p	1:06p
12:40p	12:51p	1:08p	1:13p	1:29p	1:50p
1:20p	1:31p	1:47p	1:52p	2:08p	2:29p
2:00p	2:11p	2:27p	2:32p	2:48p	3:09p
2:40p	2:51p	3:08p	3:13p	3:29p	3:51p
3:20p	3:31p	3:49p	3:54p	4:09p	4:31p
4:00p	4:11p	4:28p	4:33p	4:48p	5:10p
4:40p	4:51p	5:08p	5:13p	5:27p	5:46p
5:25p	5:36p	5:53p	5:58p	6:12p	6:31p
6:05p	6:16p	6:33p	6:38p	6:52p	7:11p
6:45p	6:56p	7:12p	7:17p	7:31p	7:50p G
7:15p	7:25p	7:41p	7:46p	8:00p	8:19p G

7	4	3	3	2	1
			8:00a	8:14a	8:22a
8:00a	8:18a	8:34a	8:39a	8:53a	9:01a
8:40a	8:58a	9:13a	9:18a	9:34a	9:43a
9:20a	9:38a	9:53a	9:58a	10:14a	10:24a
10:00a	10:19a	10:32a	10:37a	10:52a	11:01a
10:40a	10:58a	11:12a	11:17a	11:34a	11:43a
11:20a	11:38a	11:54a	11:59a	12:15p	12:24p
12:00p	12:19p	12:35p	12:40p	12:56p	1:05p
12:40p	1:00p	1:16p	1:21p	1:37p	1:46p
1:20p	1:39p	1:54p	1:59p	2:17p	2:26p
2:00p	2:17p	2:32p	2:37p	2:55p	3:04p
2:40p	2:57p	3:12p	3:17p	3:32p	3:41p
3:20p	3:39p	3:55p	4:00p	4:16p	4:25p
4:05p	4:29p	4:44p	4:49p	5:06p	5:17p
4:45p	5:07p	5:22p	5:27p	5:44p	5:53p
5:25p	5:50p	6:03p	6:08p	6:23p	6:32p
6:00p	6:21p	6:33p	6:38p	6:53p	7:02p
6:45p	7:05p	7:22p	7:27p	7:42p	7:51p G
7:25p	7:45p	8:02p	8:07p	8:22p	8:31p G

ROUTE 40

Lauderhill Transit Center to Galleria Mall
via Sistrunk Boulevard/17 Street Causeway/A1A



Customer Service

Monday - Friday.....7 am - 7:45 pm
 Saturday, Sunday and Holidays.....8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-8400, Monday, Tuesday, Thursday and Friday, 9:00 am - 4:00 pm

Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.
 Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.*
 Children (under 40 inches ride FREE)

Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

****Premium Express 10 Ride Pass:** 10 rides any time, any day. Expires after tenth ride is taken.

****Premium Express 31 Day Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at Broward.org/BCT and at select Broward County library locations.

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324



**WHEN IT COMES TO OUR SAFETY,
 WE CAN ALWAYS USE AN EXTRA PAIR OF
 EYES AND EARS. BE ALERT.
 CALL 954-357-LOOK (5665). TELL US.**

TRANSFER POLICY - EFFECTIVE 7/10/11

TRANSFERS BETWEEN REGULAR BCT BUS SERVICE AND BCT EXPRESS BUS SERVICE

Passengers using any BCT bus pass and transferring from a regular BCT route, to an Express bus route, must pay a \$1.00 upgrade fee. Passengers with a Premium bus pass do not have to pay the \$1.00 upgrade fee.

Passengers paying with cash, on a regular BCT bus route, will not be able to transfer to an Express bus route without paying the full premium fare when boarding the Express bus.

Passengers using an All-Day bus pass will be required to pay the \$1.00 upgrade fee when boarding Express buses.

PREMIUM BUS PASS CUSTOMERS

The BCT 31-Day Premium Bus Pass is acceptable on all BCT regular bus routes.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Premium Express Service, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Premium Express Service, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Premium Express Service does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

APPENDIX D

Traffic Counts Signal Plans

Traffic Counts

Traffic Survey Specialists, Inc.

85 SE 4th Avenue, Unit 109, Delray Beach, Florida 33483
 Phone (561) 272-3255

SUNRISE BOULEVARD & DRIVEWAY WEST OF
 BIRCH ROAD, FORT LAUDERDALE, FLORIDA
 VIDEO COUNT
 NOT SIGNALIZED (EMERGENCY SIGNAL)

File Name : SUNRISE & DRIVEWAY
 Site Code : 00210110
 Start Date : 9/14/2021
 Page No : 1

Groups Printed- ALL VEHICLES

Start Time	FIRE STATION From North				SUNRISE BOULEVARD From East				DRIVEWAY WEST OF BIRCH From South				SUNRISE BOULEVARD From West				Int. Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
07:00 AM	0	0	0	0	0	0	65	1	0	0	0	0	1	2	88	1	158
07:15 AM	0	0	0	0	1	0	111	0	0	0	0	0	1	4	111	0	228
07:30 AM	0	0	0	0	0	0	113	2	0	0	0	0	1	2	108	0	226
07:45 AM	0	2	0	2	0	0	122	1	0	0	0	0	0	1	161	1	290
Total	0	2	0	2	1	0	411	4	0	0	0	0	3	9	468	2	902
08:00 AM	0	5	0	2	0	0	104	4	0	0	0	2	0	3	153	1	274
08:15 AM	0	8	0	0	0	0	115	6	0	0	0	0	1	4	150	1	285
08:30 AM	0	8	0	0	0	0	119	2	0	0	0	0	4	5	177	2	317
08:45 AM	0	3	0	0	1	0	155	1	0	0	0	0	3	0	168	1	332
Total	0	24	0	2	1	0	493	13	0	0	0	2	8	12	648	5	1208
04:00 PM	0	2	0	0	0	0	193	1	0	0	0	0	1	0	161	2	360
04:15 PM	0	1	0	0	0	0	160	0	0	0	0	0	2	0	156	1	320
04:30 PM	0	1	0	2	1	1	174	1	0	1	0	0	5	0	172	0	358
04:45 PM	0	0	0	0	0	1	168	0	0	0	0	0	2	0	164	1	336
Total	0	4	0	2	1	2	695	2	0	1	0	0	10	0	653	4	1374
05:00 PM	0	0	0	1	0	0	180	0	0	0	0	0	1	1	140	0	323
05:15 PM	0	0	0	1	1	0	197	0	0	0	0	0	4	0	162	4	369
05:30 PM	0	0	0	0	0	0	155	0	0	0	0	0	0	0	166	2	323
05:45 PM	0	0	0	0	0	0	136	0	0	0	0	0	1	0	158	3	298
Total	0	0	0	2	1	0	668	0	0	0	0	0	6	1	626	9	1313
Grand Total	0	30	0	8	4	2	2267	19	0	1	0	2	27	22	2395	20	4797
Apprch %	0	78.9	0	21.1	0.2	0.1	98.9	0.8	0	33.3	0	66.7	1.1	0.9	97.2	0.8	
Total %	0	0.6	0	0.2	0.1	0	47.3	0.4	0	0	0	0	0.6	0.5	49.9	0.4	

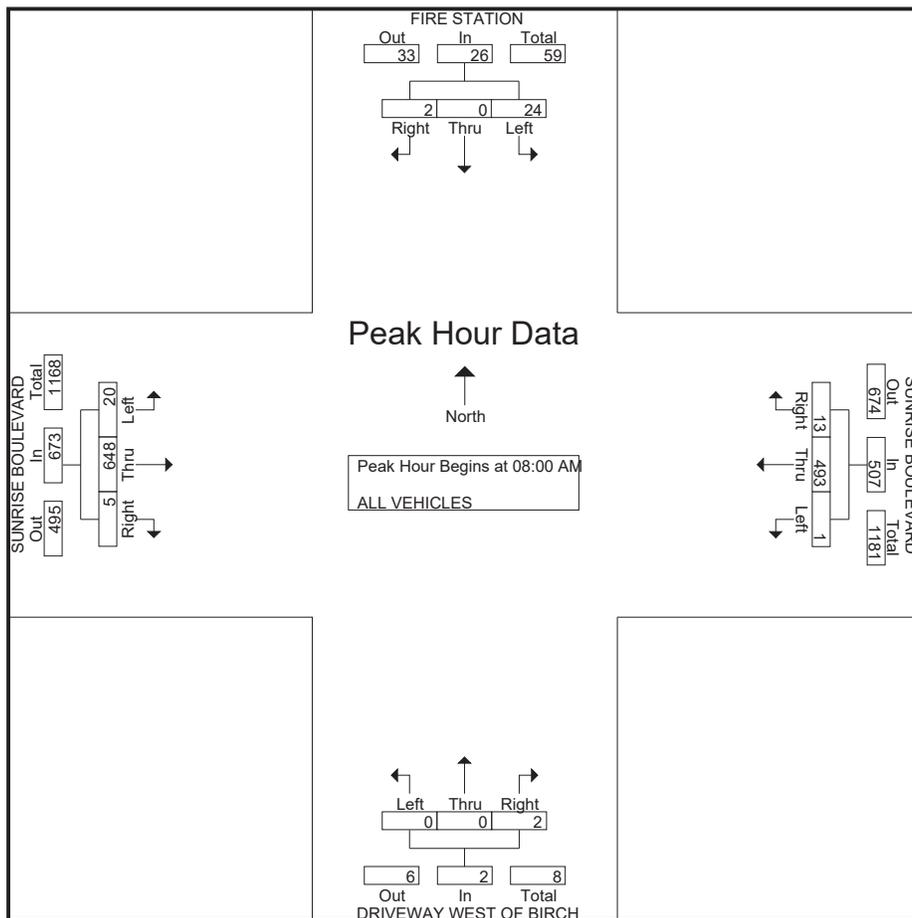
Traffic Survey Specialists, Inc.

85 SE 4th Avenue, Unit 109, Delray Beach, Florida 33483
Phone (561) 272-3255

SUNRISE BOULEVARD & DRIVEWAY WEST OF
BIRCH ROAD, FORT LAUDERDALE, FLORIDA
VIDEO COUNT
NOT SIGNALIZED (EMERGENCY SIGNAL)

File Name : SUNRISE & DRIVEWAY
Site Code : 00210110
Start Date : 9/14/2021
Page No : 2

Start Time	FIRE STATION From North					SUNRISE BOULEVARD From East					DRIVEWAY WEST OF BIRCH From South					SUNRISE BOULEVARD From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 08:00 AM																					
08:00 AM	0	5	0	2	7	0	0	104	4	108	0	0	0	2	2	0	3	153	1	157	274
08:15 AM	0	8	0	0	8	0	0	115	6	121	0	0	0	0	0	1	4	150	1	156	285
08:30 AM	0	8	0	0	8	0	0	119	2	121	0	0	0	0	0	4	5	177	2	188	317
08:45 AM	0	3	0	0	3	1	0	155	1	157	0	0	0	0	0	3	0	168	1	172	332
Total Volume	0	24	0	2	26	1	0	493	13	507	0	0	0	2	2	8	12	648	5	673	1208
% App. Total	0	92.3	0	7.7		0.2	0	97.2	2.6		0	0	0	100		1.2	1.8	96.3	0.7		
PHF	.000	.750	.000	.250	.813	.250	.000	.795	.542	.807	.000	.000	.000	.250	.250	.500	.600	.915	.625	.895	.910



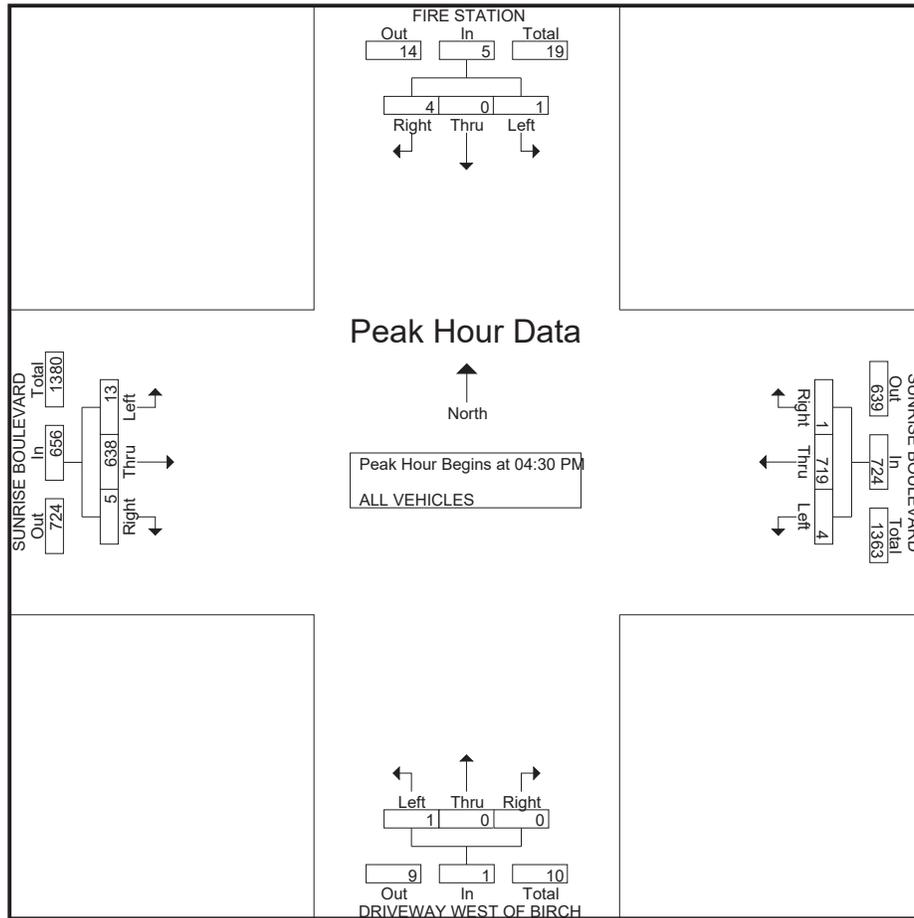
Traffic Survey Specialists, Inc.

85 SE 4th Avenue, Unit 109, Delray Beach, Florida 33483
Phone (561) 272-3255

SUNRISE BOULEVARD & DRIVEWAY WEST OF
BIRCH ROAD, FORT LAUDERDALE, FLORIDA
VIDEO COUNT
NOT SIGNALIZED (EMERGENCY SIGNAL)

File Name : SUNRISE & DRIVEWAY
Site Code : 00210110
Start Date : 9/14/2021
Page No : 3

Start Time	FIRE STATION From North					SUNRISE BOULEVARD From East					DRIVEWAY WEST OF BIRCH From South					SUNRISE BOULEVARD From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:30 PM																					
04:30 PM	0	1	0	2	3	1	1	174	1	177	0	1	0	0	1	5	0	172	0	177	358
04:45 PM	0	0	0	0	0	0	1	168	0	169	0	0	0	0	0	2	0	164	1	167	336
05:00 PM	0	0	0	1	1	0	0	180	0	180	0	0	0	0	0	1	1	140	0	142	323
05:15 PM	0	0	0	1	1	1	0	197	0	198	0	0	0	0	0	4	0	162	4	170	369
Total Volume	0	1	0	4	5	2	2	719	1	724	0	1	0	0	1	12	1	638	5	656	1386
% App. Total	0	.20	0	.80		0.3	0.3	99.3	0.1		0	100	0	0		1.8	0.2	97.3	0.8		
PHF	.000	.250	.000	.500	.417	.500	.500	.912	.250	.914	.000	.250	.000	.000	.250	.600	.250	.927	.313	.927	.939



Traffic Survey Specialists, Inc.

85 SE 4th Avenue, Unit 109, Delray Beach, Florida 33483
 Phone (561) 272-3255

SUNRISE BOULEVARD & DRIVEWAY WEST OF
 BIRCH ROAD, FORT LAUDERDALE, FLORIDA
 VIDEO COUNT
 NOT SIGNALIZED (EMERGENCY SIGNAL)

File Name : SUNRISE & DRIVEWAY
 Site Code : 00210110
 Start Date : 9/14/2021
 Page No : 1

Groups Printed- PEDESTRIANS & BIKES

Start Time	FIRE STATION From North				SUNRISE BOULEVARD From East				DRIVEWAY WEST OF BIRCH From South				SUNRISE BOULEVARD From West				Int. Total
	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	
07:00 AM	2	0	0	0	0	0	0	0	4	0	0	0	0	0	0	0	6
07:15 AM	1	0	0	0	2	0	0	0	6	0	0	0	2	0	0	0	11
07:30 AM	1	0	0	0	0	0	0	0	17	0	1	0	2	0	0	0	21
07:45 AM	2	0	0	0	1	0	0	0	9	0	0	0	2	0	0	0	14
Total	6	0	0	0	3	0	0	0	36	0	1	0	6	0	0	0	52
08:00 AM	2	0	0	0	1	0	0	0	7	0	0	0	2	0	0	0	12
08:15 AM	5	0	0	0	1	0	0	0	9	0	0	0	1	0	0	0	16
08:30 AM	2	0	0	0	2	0	0	0	8	0	0	0	2	0	0	0	14
08:45 AM	0	0	0	0	0	0	0	0	8	0	0	0	1	0	0	0	9
Total	9	0	0	0	4	0	0	0	32	0	0	0	6	0	0	0	51
04:00 PM	0	0	0	0	0	0	0	0	6	0	0	0	0	0	0	0	6
04:15 PM	0	0	0	0	0	0	0	0	3	0	1	0	0	0	0	0	4
04:30 PM	0	0	0	0	2	0	0	0	1	0	0	0	0	0	0	0	3
04:45 PM	0	0	0	0	1	0	0	0	7	0	2	0	0	0	0	0	10
Total	0	0	0	0	3	0	0	0	17	0	3	0	0	0	0	0	23
05:00 PM	0	0	0	0	0	0	0	0	7	0	3	0	0	0	0	0	10
05:15 PM	1	0	0	0	1	0	0	0	5	0	1	0	1	0	0	0	9
05:30 PM	1	0	0	0	2	0	0	0	4	0	1	0	0	0	0	0	8
05:45 PM	0	0	0	0	0	0	0	0	9	0	2	0	0	0	0	0	11
Total	2	0	0	0	3	0	0	0	25	0	7	0	1	0	0	0	38
Grand Total	17	0	0	0	13	0	0	0	110	0	11	0	13	0	0	0	164
Apprch %	100	0	0	0	100	0	0	0	90.9	0	9.1	0	100	0	0	0	
Total %	10.4	0	0	0	7.9	0	0	0	67.1	0	6.7	0	7.9	0	0	0	

Traffic Survey Specialists, Inc.

85 SE 4th Avenue, Unit 109, Delray Beach, Florida 33483
Phone (561) 272-3255

SUNRISE BOULEVARD & BIRCH ROAD
FORT LAUDERDALE, FLORIDA
VIDEO COUNT
SIGNALIZED

File Name : sunrise & birch
Site Code : 00210110
Start Date : 9/14/2021
Page No : 1

Groups Printed- ALL VEHICLES

Start Time	BIRCH ROAD From North				SUNRISE BOULEVARD From East				BIRCH ROAD From South				SUNRISE BOULEVARD From West				Int. Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
07:00 AM	0	0	0	0	0	0	62	0	0	2	0	1	1	0	84	3	153
07:15 AM	0	0	0	1	0	5	108	0	0	2	0	7	1	1	107	5	237
07:30 AM	0	0	0	0	1	2	113	0	0	2	0	1	0	1	99	5	224
07:45 AM	0	0	0	0	0	2	117	0	0	5	0	6	0	4	135	15	284
Total	0	0	0	1	1	9	400	0	0	11	0	15	2	6	425	28	898
08:00 AM	0	0	0	0	0	8	100	5	0	5	0	5	3	8	150	8	292
08:15 AM	0	0	0	0	0	2	116	4	0	8	0	3	0	6	146	7	292
08:30 AM	0	0	0	1	0	2	112	1	0	6	0	6	1	8	167	9	313
08:45 AM	0	2	0	1	1	7	137	0	0	15	1	6	1	3	159	9	342
Total	0	2	0	2	1	19	465	10	0	34	1	20	5	25	622	33	1239
04:00 PM	0	2	0	6	1	5	160	1	0	21	0	8	3	3	138	6	354
04:15 PM	0	1	0	12	0	5	133	1	0	13	1	5	3	5	153	12	344
04:30 PM	0	3	0	5	0	3	163	1	0	9	0	2	0	5	168	1	360
04:45 PM	0	3	0	1	0	3	159	2	0	6	0	7	1	5	146	7	340
Total	0	9	0	24	1	16	615	5	0	49	1	22	7	18	605	26	1398
05:00 PM	0	4	0	5	0	4	162	4	0	13	0	2	2	3	135	4	338
05:15 PM	0	1	0	9	1	2	174	3	0	9	0	3	1	2	154	7	366
05:30 PM	0	0	0	4	0	1	148	0	0	4	0	4	0	1	155	10	327
05:45 PM	0	0	0	1	1	4	129	0	0	3	0	2	1	1	147	8	297
Total	0	5	0	19	2	11	613	7	0	29	0	11	4	7	591	29	1328
Grand Total	0	16	0	46	5	55	2093	22	0	123	2	68	18	56	2243	116	4863
Apprch %	0	25.8	0	74.2	0.2	2.5	96.2	1	0	63.7	1	35.2	0.7	2.3	92.2	4.8	
Total %	0	0.3	0	0.9	0.1	1.1	43	0.5	0	2.5	0	1.4	0.4	1.2	46.1	2.4	

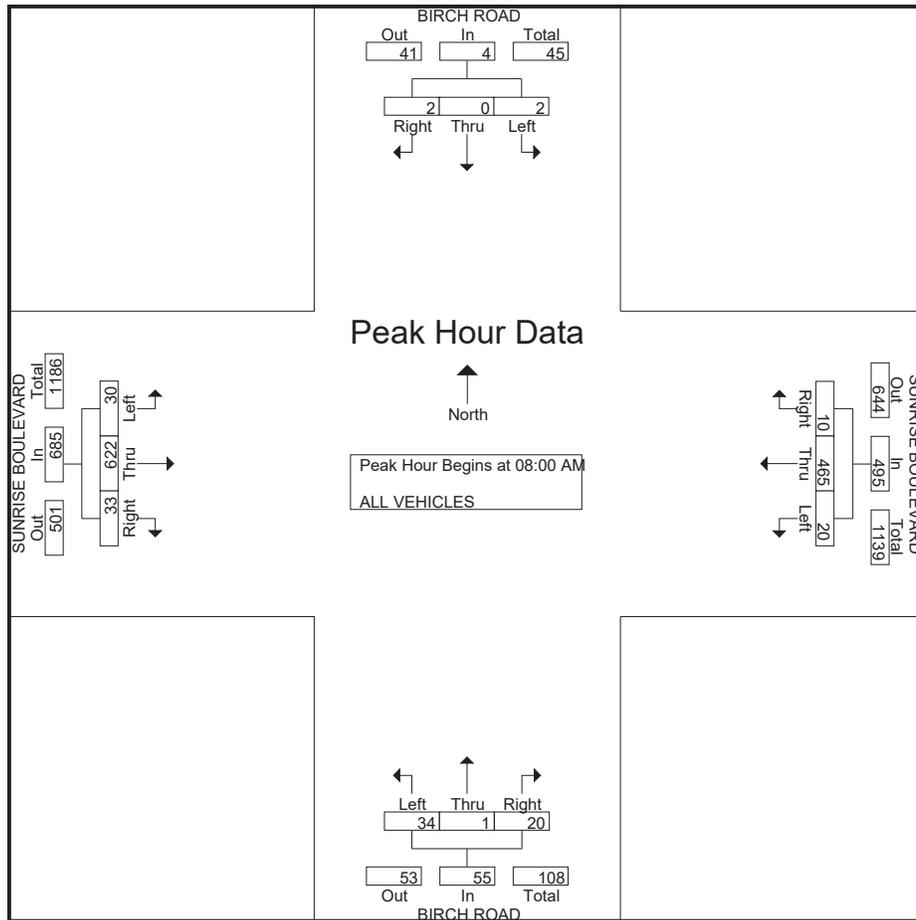
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SUNRISE BOULEVARD & BIRCH ROAD
FORT LAUDERDALE, FLORIDA
VIDEO COUNT
SIGNALIZED

File Name : sunrise & birch
Site Code : 00210110
Start Date : 9/14/2021
Page No : 2

Start Time	BIRCH ROAD From North					SUNRISE BOULEVARD From East					BIRCH ROAD From South					SUNRISE BOULEVARD From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 08:00 AM																					
08:00 AM	0	0	0	0	0	0	8	100	5	113	0	5	0	5	10	3	8	150	8	169	292
08:15 AM	0	0	0	0	0	0	2	116	4	122	0	8	0	3	11	0	6	146	7	159	292
08:30 AM	0	0	0	1	1	0	2	112	1	115	0	6	0	6	12	1	8	167	9	185	313
08:45 AM	0	2	0	1	3	1	7	137	0	145	0	15	1	6	22	1	3	159	9	172	342
Total Volume	0	2	0	2	4	1	19	465	10	495	0	34	1	20	55	5	25	622	33	685	1239
% App. Total	0	50	0	50		0.2	3.8	93.9	2		0	61.8	1.8	36.4		0.7	3.6	90.8	4.8		
PHF	.000	.250	.000	.500	.333	.250	.594	.849	.500	.853	.000	.567	.250	.833	.625	.417	.781	.931	.917	.926	.906



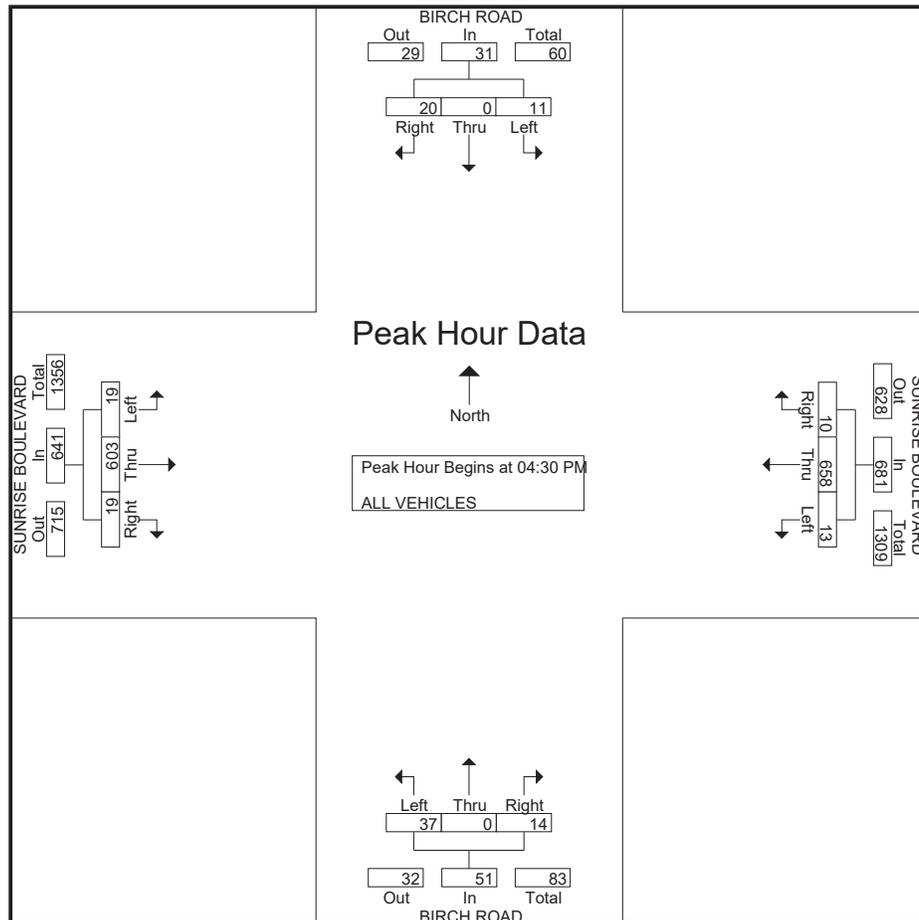
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SUNRISE BOULEVARD & BIRCH ROAD
FORT LAUDERDALE, FLORIDA
VIDEO COUNT
SIGNALIZED

File Name : sunrise & birch
Site Code : 00210110
Start Date : 9/14/2021
Page No : 3

Start Time	BIRCH ROAD From North					SUNRISE BOULEVARD From East					BIRCH ROAD From South					SUNRISE BOULEVARD From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:30 PM																					
04:30 PM	0	3	0	5	8	0	3	163	1	167	0	9	0	2	11	0	5	168	1	174	360
04:45 PM	0	3	0	1	4	0	3	159	2	164	0	6	0	7	13	1	5	146	7	159	340
05:00 PM	0	4	0	5	9	0	4	162	4	170	0	13	0	2	15	2	3	135	4	144	338
05:15 PM	0	1	0	9	10	1	2	174	3	180	0	9	0	3	12	1	2	154	7	164	366
Total Volume	0	11	0	20	31	1	12	658	10	681	0	37	0	14	51	4	15	603	19	641	1404
% App. Total	0	35.5	0	64.5		0.1	1.8	96.6	1.5		0	72.5	0	27.5		0.6	2.3	94.1	3		
PHF	.000	.688	.000	.556	.775	.250	.750	.945	.625	.946	.000	.712	.000	.500	.850	.500	.750	.897	.679	.921	.959



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SUNRISE BOULEVARD & BIRCH ROAD
FORT LAUDERDALE, FLORIDA
VIDEO COUNT
SIGNALIZED

File Name : sunrise & birch
Site Code : 00210110
Start Date : 9/14/2021
Page No : 1

Groups Printed- PEDESTRIANS & BIKES

Start Time	BIRCH ROAD From North				SUNRISE BOULEVARD From East				BIRCH ROAD From South				SUNRISE BOULEVARD From West				Int. Total	
	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right		
07:00 AM	5	0	0	0	3	0	0	0	6	0	0	0	0	0	0	0	0	14
07:15 AM	5	0	0	0	1	0	0	0	12	0	0	0	0	0	0	0	0	18
07:30 AM	9	0	0	0	1	0	0	0	17	0	1	0	5	0	0	0	0	33
07:45 AM	11	0	1	0	1	0	0	0	16	0	0	0	2	0	0	0	0	31
Total	30	0	1	0	6	0	0	0	51	0	1	0	7	0	0	0	0	96
08:00 AM	7	0	0	0	2	0	0	0	14	0	0	0	5	0	0	0	0	28
08:15 AM	10	0	0	0	3	0	0	0	10	0	0	0	1	0	0	0	0	24
08:30 AM	8	0	0	0	1	0	0	0	6	0	0	0	4	0	0	0	0	19
08:45 AM	7	0	0	0	2	0	1	0	12	0	0	0	0	0	1	0	0	23
Total	32	0	0	0	8	0	1	0	42	0	0	0	10	0	1	0	0	94
04:00 PM	2	0	1	0	1	0	0	0	11	0	0	0	0	0	0	0	0	15
04:15 PM	4	0	2	0	4	0	1	0	4	0	2	0	1	0	0	0	0	18
04:30 PM	1	0	1	0	0	0	0	0	4	0	0	0	0	0	0	0	0	6
04:45 PM	1	0	0	0	0	0	0	0	10	0	1	0	2	0	0	0	0	14
Total	8	0	4	0	5	0	1	0	29	0	3	0	3	0	0	0	0	53
05:00 PM	3	0	0	0	5	0	0	0	9	0	3	0	0	0	0	0	0	20
05:15 PM	2	0	0	0	0	0	0	0	11	0	1	0	2	0	0	0	0	16
05:30 PM	5	0	0	0	4	0	0	0	7	0	3	0	1	0	2	0	0	22
05:45 PM	0	0	0	0	0	0	0	0	15	0	2	0	0	0	0	0	0	17
Total	10	0	0	0	9	0	0	0	42	0	9	0	3	0	2	0	0	75
Grand Total	80	0	5	0	28	0	2	0	164	0	13	0	23	0	3	0	0	318
Apprch %	94.1	0	5.9	0	93.3	0	6.7	0	92.7	0	7.3	0	88.5	0	11.5	0	0	
Total %	25.2	0	1.6	0	8.8	0	0.6	0	51.6	0	4.1	0	7.2	0	0.9	0	0	

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NE 9TH COURT & BIRCH ROAD
 FORT LAUDERDALE, FLORIDA
 VIDEO COUNT
 NOT SIGNALIZED

File Name : 9TH ST & BIRCH
 Site Code : 00210110
 Start Date : 9/14/2021
 Page No : 1

Groups Printed- ALL VEHICLES

Start Time	BIRCH ROAD From North				----- From East				BIRCH ROAD From South				NE 9TH COURT From West				Int. Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
07:00 AM	0	0	3	0	0	0	0	0	0	1	3	0	0	1	0	0	8
07:15 AM	0	0	7	3	0	0	0	0	0	0	8	0	0	1	0	0	19
07:30 AM	0	0	8	0	0	0	0	0	0	0	3	0	0	0	0	0	11
07:45 AM	0	0	12	4	0	0	0	0	0	0	7	0	0	1	0	1	25
Total	0	0	30	7	0	0	0	0	0	1	21	0	0	3	0	1	63
08:00 AM	0	0	10	6	0	0	0	0	0	0	8	0	0	3	0	1	28
08:15 AM	0	0	6	3	0	0	0	0	0	0	4	0	0	5	0	3	21
08:30 AM	0	0	10	1	0	0	0	0	0	0	4	0	0	5	0	0	20
08:45 AM	0	0	12	3	0	0	0	0	0	0	12	0	0	8	0	1	36
Total	0	0	38	13	0	0	0	0	0	0	28	0	0	21	0	5	105
04:00 PM	0	0	7	5	0	0	0	0	0	1	13	0	0	12	0	1	39
04:15 PM	0	0	13	3	0	0	0	0	0	0	13	0	0	4	0	0	33
04:30 PM	0	0	3	2	0	0	0	0	0	2	8	0	0	4	0	1	20
04:45 PM	0	0	6	3	0	0	0	0	0	0	3	0	0	7	0	1	20
Total	0	0	29	13	0	0	0	0	0	3	37	0	0	27	0	3	112
05:00 PM	0	0	7	1	0	0	0	0	0	1	12	0	0	3	0	1	25
05:15 PM	0	0	6	2	0	0	0	0	0	0	7	0	0	4	0	1	20
05:30 PM	0	0	9	2	0	0	0	0	0	1	3	0	0	5	0	0	20
05:45 PM	0	0	7	5	0	0	0	0	0	1	2	0	0	2	0	1	18
Total	0	0	29	10	0	0	0	0	0	3	24	0	0	14	0	3	83
Grand Total	0	0	126	43	0	0	0	0	0	7	110	0	0	65	0	12	363
Apprch %	0	0	74.6	25.4	0	0	0	0	0	6	94	0	0	84.4	0	15.6	
Total %	0	0	34.7	11.8	0	0	0	0	0	1.9	30.3	0	0	17.9	0	3.3	

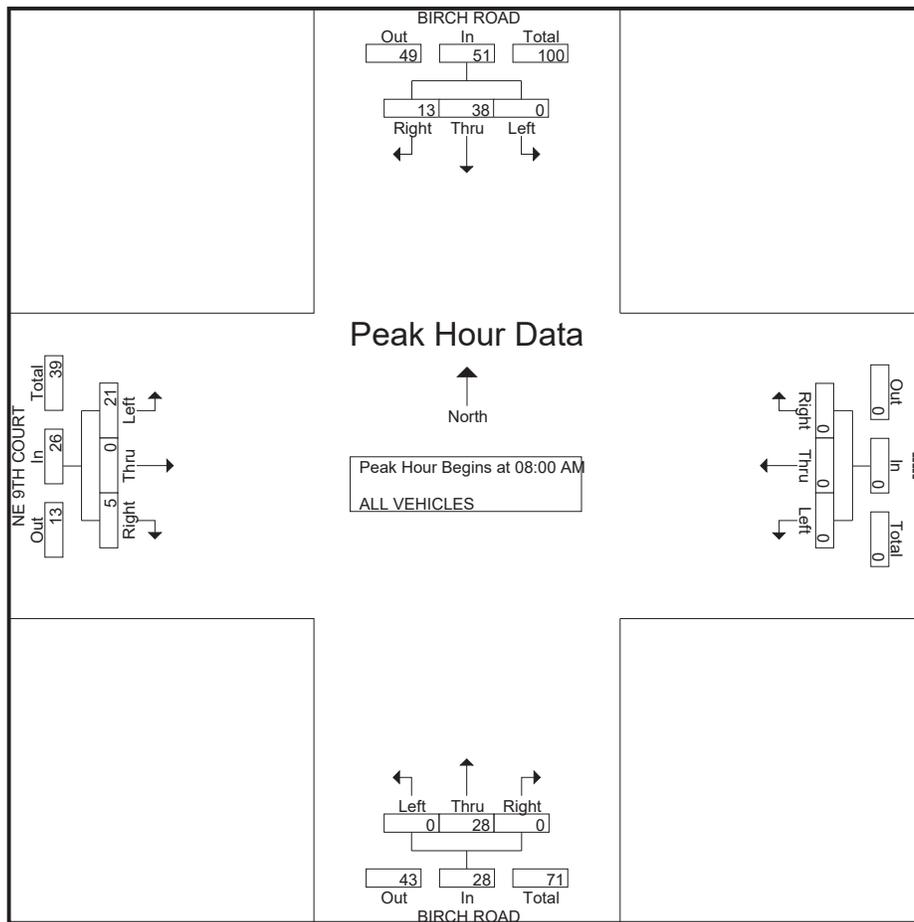
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NE 9TH COURT & BIRCH ROAD
FORT LAUDERDALE, FLORIDA
VIDEO COUNT
NOT SIGNALIZED

File Name : 9TH ST & BIRCH
Site Code : 00210110
Start Date : 9/14/2021
Page No : 2

Start Time	BIRCH ROAD From North					----- From East					BIRCH ROAD From South					NE 9TH COURT From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 08:00 AM																					
08:00 AM	0	0	10	6	16	0	0	0	0	0	0	0	8	0	8	0	3	0	1	4	28
08:15 AM	0	0	6	3	9	0	0	0	0	0	0	0	4	0	4	0	5	0	3	8	21
08:30 AM	0	0	10	1	11	0	0	0	0	0	0	0	4	0	4	0	5	0	0	5	20
08:45 AM	0	0	12	3	15	0	0	0	0	0	0	0	12	0	12	0	8	0	1	9	36
Total Volume	0	0	38	13	51	0	0	0	0	0	0	0	28	0	28	0	21	0	5	26	105
% App. Total	0	0	74.5	25.5		0	0	0	0		0	0	100	0		0	80.8	0	19.2		
PHF	.000	.000	.792	.542	.797	.000	.000	.000	.000	.000	.000	.000	.583	.000	.583	.000	.656	.000	.417	.722	.729



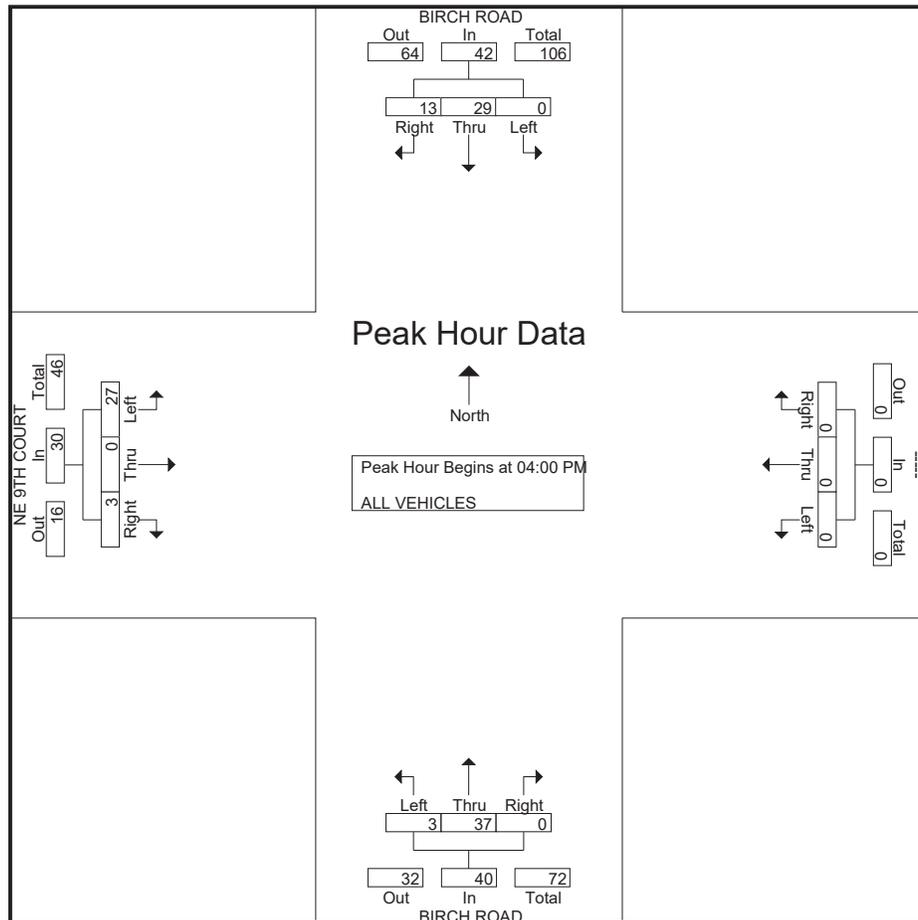
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VIDEO COUNT
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File Name : 9TH ST & BIRCH
Site Code : 00210110
Start Date : 9/14/2021
Page No : 3

Start Time	BIRCH ROAD From North					----- From East					BIRCH ROAD From South					NE 9TH COURT From West					Int. Total
	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	UTurn	Left	Thru	Right	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:00 PM																					
04:00 PM	0	0	7	5	12	0	0	0	0	0	0	1	13	0	14	0	12	0	1	13	39
04:15 PM	0	0	13	3	16	0	0	0	0	0	0	0	13	0	13	0	4	0	0	4	33
04:30 PM	0	0	3	2	5	0	0	0	0	0	0	2	8	0	10	0	4	0	1	5	20
04:45 PM	0	0	6	3	9	0	0	0	0	0	0	0	3	0	3	0	7	0	1	8	20
Total Volume	0	0	29	13	42	0	0	0	0	0	0	3	37	0	40	0	27	0	3	30	112
% App. Total	0	0	69	31		0	0	0	0		0	7.5	92.5	0		0	90	0	10		
PHF	.000	.000	.558	.650	.656	.000	.000	.000	.000	.000	.000	.375	.712	.000	.714	.000	.563	.000	.750	.577	.718



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File Name : 9TH ST & BIRCH
Site Code : 00210110
Start Date : 9/14/2021
Page No : 1

Groups Printed- PEDESTRIANS & BIKES

Start Time	BIRCH ROAD From North				----- From East				BIRCH ROAD From South				NE 9TH COURT From West				Int. Total
	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	Peds	Left	BIKES	Right	
07:00 AM	1	0	0	0	1	0	0	0	0	0	0	0	3	0	0	0	5
07:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1
07:30 AM	3	0	0	0	5	0	0	0	2	0	0	0	4	0	0	0	14
07:45 AM	1	0	0	0	4	0	0	0	0	0	0	0	1	0	0	0	6
Total	5	0	0	0	10	0	0	0	2	0	0	0	9	0	0	0	26
08:00 AM	0	0	0	0	2	0	0	0	0	0	0	0	3	0	0	0	5
08:15 AM	2	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	4
08:30 AM	2	0	0	0	1	0	0	0	0	0	0	0	1	0	0	0	4
08:45 AM	1	0	0	0	1	0	0	0	1	0	0	0	1	0	0	0	4
Total	5	0	0	0	4	0	0	0	1	0	0	0	7	0	0	0	17
04:00 PM	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
04:15 PM	0	0	0	0	1	0	1	0	0	0	0	0	1	0	0	0	3
04:30 PM	1	0	0	0	4	0	0	0	0	0	0	0	5	0	0	0	10
04:45 PM	1	0	0	0	1	0	0	0	0	0	0	0	3	0	0	0	5
Total	4	0	0	0	6	0	1	0	0	0	0	0	9	0	0	0	20
05:00 PM	1	0	0	0	9	0	0	0	0	0	0	0	0	0	0	0	10
05:15 PM	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	2
05:30 PM	0	0	0	0	1	0	0	0	0	0	0	0	2	0	0	0	3
05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1
Total	1	0	0	0	12	0	0	0	0	0	0	0	3	0	0	0	16
Grand Total	15	0	0	0	32	0	1	0	3	0	0	0	28	0	0	0	79
Apprch %	100	0	0	0	97	0	3	0	100	0	0	0	100	0	0	0	
Total %	19	0	0	0	40.5	0	1.3	0	3.8	0	0	0	35.4	0	0	0	

2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8600 EAST-A1A TO US1

WEEK	DATES	SF	MOCF: 0.88 PSCF
1	01/01/2019 - 01/05/2019	0.96	1.09
2	01/06/2019 - 01/12/2019	0.96	1.09
3	01/13/2019 - 01/19/2019	0.96	1.09
4	01/20/2019 - 01/26/2019	0.94	1.07
* 5	01/27/2019 - 02/02/2019	0.92	1.05
* 6	02/03/2019 - 02/09/2019	0.89	1.01
* 7	02/10/2019 - 02/16/2019	0.87	0.99
* 8	02/17/2019 - 02/23/2019	0.87	0.99
* 9	02/24/2019 - 03/02/2019	0.86	0.98
*10	03/03/2019 - 03/09/2019	0.86	0.98
*11	03/10/2019 - 03/16/2019	0.85	0.97
*12	03/17/2019 - 03/23/2019	0.86	0.98
*13	03/24/2019 - 03/30/2019	0.87	0.99
*14	03/31/2019 - 04/06/2019	0.89	1.01
*15	04/07/2019 - 04/13/2019	0.90	1.02
*16	04/14/2019 - 04/20/2019	0.91	1.03
*17	04/21/2019 - 04/27/2019	0.93	1.06
18	04/28/2019 - 05/04/2019	0.95	1.08
19	05/05/2019 - 05/11/2019	0.97	1.10
20	05/12/2019 - 05/18/2019	1.00	1.14
21	05/19/2019 - 05/25/2019	1.01	1.15
22	05/26/2019 - 06/01/2019	1.03	1.17
23	06/02/2019 - 06/08/2019	1.05	1.19
24	06/09/2019 - 06/15/2019	1.07	1.22
25	06/16/2019 - 06/22/2019	1.06	1.20
26	06/23/2019 - 06/29/2019	1.06	1.20
27	06/30/2019 - 07/06/2019	1.06	1.20
28	07/07/2019 - 07/13/2019	1.06	1.20
29	07/14/2019 - 07/20/2019	1.06	1.20
30	07/21/2019 - 07/27/2019	1.09	1.24
31	07/28/2019 - 08/03/2019	1.11	1.26
32	08/04/2019 - 08/10/2019	1.14	1.30
33	08/11/2019 - 08/17/2019	1.17	1.33
34	08/18/2019 - 08/24/2019	1.17	1.33
35	08/25/2019 - 08/31/2019	1.18	1.34
36	09/01/2019 - 09/07/2019	1.18	1.34
37	09/08/2019 - 09/14/2019	1.19	1.35
38	09/15/2019 - 09/21/2019	1.19	1.35
39	09/22/2019 - 09/28/2019	1.17	1.33
40	09/29/2019 - 10/05/2019	1.16	1.32
41	10/06/2019 - 10/12/2019	1.14	1.30
42	10/13/2019 - 10/19/2019	1.13	1.28
43	10/20/2019 - 10/26/2019	1.10	1.25
44	10/27/2019 - 11/02/2019	1.08	1.23
45	11/03/2019 - 11/09/2019	1.05	1.19
46	11/10/2019 - 11/16/2019	1.03	1.17
47	11/17/2019 - 11/23/2019	1.01	1.15
48	11/24/2019 - 11/30/2019	1.00	1.14
49	12/01/2019 - 12/07/2019	0.99	1.13
50	12/08/2019 - 12/14/2019	0.97	1.10
51	12/15/2019 - 12/21/2019	0.96	1.09
52	12/22/2019 - 12/28/2019	0.96	1.09
53	12/29/2019 - 12/31/2019	0.96	1.09

* PEAK SEASON

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4_8600_PKSEASON.TXT

2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8601 CEN.-W OF US1 TO SR7

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.00	1.03
2	01/06/2019 - 01/12/2019	1.00	1.03
3	01/13/2019 - 01/19/2019	1.01	1.04
4	01/20/2019 - 01/26/2019	1.00	1.03
5	01/27/2019 - 02/02/2019	0.99	1.02
* 6	02/03/2019 - 02/09/2019	0.98	1.01
* 7	02/10/2019 - 02/16/2019	0.97	1.00
* 8	02/17/2019 - 02/23/2019	0.97	1.00
* 9	02/24/2019 - 03/02/2019	0.97	1.00
*10	03/03/2019 - 03/09/2019	0.96	0.99
*11	03/10/2019 - 03/16/2019	0.96	0.99
*12	03/17/2019 - 03/23/2019	0.97	1.00
*13	03/24/2019 - 03/30/2019	0.97	1.00
*14	03/31/2019 - 04/06/2019	0.97	1.00
*15	04/07/2019 - 04/13/2019	0.98	1.01
*16	04/14/2019 - 04/20/2019	0.98	1.01
*17	04/21/2019 - 04/27/2019	0.99	1.02
*18	04/28/2019 - 05/04/2019	0.99	1.02
19	05/05/2019 - 05/11/2019	1.00	1.03
20	05/12/2019 - 05/18/2019	1.00	1.03
21	05/19/2019 - 05/25/2019	1.01	1.04
22	05/26/2019 - 06/01/2019	1.01	1.04
23	06/02/2019 - 06/08/2019	1.01	1.04
24	06/09/2019 - 06/15/2019	1.02	1.05
25	06/16/2019 - 06/22/2019	1.02	1.05
26	06/23/2019 - 06/29/2019	1.02	1.05
27	06/30/2019 - 07/06/2019	1.03	1.06
28	07/07/2019 - 07/13/2019	1.03	1.06
29	07/14/2019 - 07/20/2019	1.04	1.07
30	07/21/2019 - 07/27/2019	1.03	1.06
31	07/28/2019 - 08/03/2019	1.02	1.05
32	08/04/2019 - 08/10/2019	1.02	1.05
33	08/11/2019 - 08/17/2019	1.01	1.04
34	08/18/2019 - 08/24/2019	1.02	1.05
35	08/25/2019 - 08/31/2019	1.03	1.06
36	09/01/2019 - 09/07/2019	1.03	1.06
37	09/08/2019 - 09/14/2019	1.04	1.07
38	09/15/2019 - 09/21/2019	1.05	1.08
39	09/22/2019 - 09/28/2019	1.04	1.07
40	09/29/2019 - 10/05/2019	1.02	1.05
41	10/06/2019 - 10/12/2019	1.01	1.04
42	10/13/2019 - 10/19/2019	1.00	1.03
43	10/20/2019 - 10/26/2019	1.00	1.03
44	10/27/2019 - 11/02/2019	1.00	1.03
45	11/03/2019 - 11/09/2019	1.00	1.03
46	11/10/2019 - 11/16/2019	1.00	1.03
47	11/17/2019 - 11/23/2019	1.00	1.03
48	11/24/2019 - 11/30/2019	1.00	1.03
49	12/01/2019 - 12/07/2019	1.00	1.03
50	12/08/2019 - 12/14/2019	1.00	1.03
51	12/15/2019 - 12/21/2019	1.00	1.03
52	12/22/2019 - 12/28/2019	1.00	1.03
53	12/29/2019 - 12/31/2019	1.01	1.04

* PEAK SEASON

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2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8630 WEST-W OF US441

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.01	1.04
2	01/06/2019 - 01/12/2019	1.01	1.04
3	01/13/2019 - 01/19/2019	1.02	1.05
4	01/20/2019 - 01/26/2019	1.00	1.03
5	01/27/2019 - 02/02/2019	0.99	1.02
* 6	02/03/2019 - 02/09/2019	0.98	1.01
* 7	02/10/2019 - 02/16/2019	0.97	1.00
* 8	02/17/2019 - 02/23/2019	0.97	1.00
* 9	02/24/2019 - 03/02/2019	0.97	1.00
*10	03/03/2019 - 03/09/2019	0.97	1.00
*11	03/10/2019 - 03/16/2019	0.97	1.00
*12	03/17/2019 - 03/23/2019	0.97	1.00
*13	03/24/2019 - 03/30/2019	0.97	1.00
*14	03/31/2019 - 04/06/2019	0.97	1.00
*15	04/07/2019 - 04/13/2019	0.97	1.00
*16	04/14/2019 - 04/20/2019	0.97	1.00
*17	04/21/2019 - 04/27/2019	0.97	1.00
*18	04/28/2019 - 05/04/2019	0.98	1.01
19	05/05/2019 - 05/11/2019	0.99	1.02
20	05/12/2019 - 05/18/2019	1.00	1.03
21	05/19/2019 - 05/25/2019	1.01	1.04
22	05/26/2019 - 06/01/2019	1.02	1.05
23	06/02/2019 - 06/08/2019	1.02	1.05
24	06/09/2019 - 06/15/2019	1.03	1.06
25	06/16/2019 - 06/22/2019	1.04	1.07
26	06/23/2019 - 06/29/2019	1.04	1.07
27	06/30/2019 - 07/06/2019	1.05	1.08
28	07/07/2019 - 07/13/2019	1.05	1.08
29	07/14/2019 - 07/20/2019	1.06	1.09
30	07/21/2019 - 07/27/2019	1.05	1.08
31	07/28/2019 - 08/03/2019	1.04	1.07
32	08/04/2019 - 08/10/2019	1.02	1.05
33	08/11/2019 - 08/17/2019	1.01	1.04
34	08/18/2019 - 08/24/2019	1.01	1.04
35	08/25/2019 - 08/31/2019	1.02	1.05
36	09/01/2019 - 09/07/2019	1.02	1.05
37	09/08/2019 - 09/14/2019	1.03	1.06
38	09/15/2019 - 09/21/2019	1.03	1.06
39	09/22/2019 - 09/28/2019	1.02	1.05
40	09/29/2019 - 10/05/2019	1.01	1.04
41	10/06/2019 - 10/12/2019	1.00	1.03
42	10/13/2019 - 10/19/2019	0.98	1.01
43	10/20/2019 - 10/26/2019	0.99	1.02
44	10/27/2019 - 11/02/2019	0.99	1.02
45	11/03/2019 - 11/09/2019	0.99	1.02
46	11/10/2019 - 11/16/2019	0.99	1.02
47	11/17/2019 - 11/23/2019	1.00	1.03
48	11/24/2019 - 11/30/2019	1.00	1.03
49	12/01/2019 - 12/07/2019	1.00	1.03
50	12/08/2019 - 12/14/2019	1.00	1.03
51	12/15/2019 - 12/21/2019	1.01	1.04
52	12/22/2019 - 12/28/2019	1.01	1.04
53	12/29/2019 - 12/31/2019	1.02	1.05

* PEAK SEASON

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2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8659 BROWARD I595

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.00	1.03
2	01/06/2019 - 01/12/2019	1.01	1.04
3	01/13/2019 - 01/19/2019	1.02	1.05
4	01/20/2019 - 01/26/2019	1.01	1.04
5	01/27/2019 - 02/02/2019	1.00	1.03
* 6	02/03/2019 - 02/09/2019	0.98	1.01
* 7	02/10/2019 - 02/16/2019	0.97	1.00
* 8	02/17/2019 - 02/23/2019	0.97	1.00
* 9	02/24/2019 - 03/02/2019	0.97	1.00
*10	03/03/2019 - 03/09/2019	0.96	0.99
*11	03/10/2019 - 03/16/2019	0.96	0.99
*12	03/17/2019 - 03/23/2019	0.96	0.99
*13	03/24/2019 - 03/30/2019	0.96	0.99
*14	03/31/2019 - 04/06/2019	0.97	1.00
*15	04/07/2019 - 04/13/2019	0.97	1.00
*16	04/14/2019 - 04/20/2019	0.97	1.00
*17	04/21/2019 - 04/27/2019	0.98	1.01
*18	04/28/2019 - 05/04/2019	0.98	1.01
19	05/05/2019 - 05/11/2019	0.99	1.02
20	05/12/2019 - 05/18/2019	0.99	1.02
21	05/19/2019 - 05/25/2019	1.00	1.03
22	05/26/2019 - 06/01/2019	1.01	1.04
23	06/02/2019 - 06/08/2019	1.01	1.04
24	06/09/2019 - 06/15/2019	1.02	1.05
25	06/16/2019 - 06/22/2019	1.02	1.05
26	06/23/2019 - 06/29/2019	1.02	1.05
27	06/30/2019 - 07/06/2019	1.03	1.06
28	07/07/2019 - 07/13/2019	1.03	1.06
29	07/14/2019 - 07/20/2019	1.03	1.06
30	07/21/2019 - 07/27/2019	1.03	1.06
31	07/28/2019 - 08/03/2019	1.03	1.06
32	08/04/2019 - 08/10/2019	1.02	1.05
33	08/11/2019 - 08/17/2019	1.02	1.05
34	08/18/2019 - 08/24/2019	1.03	1.06
35	08/25/2019 - 08/31/2019	1.03	1.06
36	09/01/2019 - 09/07/2019	1.04	1.07
37	09/08/2019 - 09/14/2019	1.04	1.07
38	09/15/2019 - 09/21/2019	1.05	1.08
39	09/22/2019 - 09/28/2019	1.04	1.07
40	09/29/2019 - 10/05/2019	1.03	1.06
41	10/06/2019 - 10/12/2019	1.01	1.04
42	10/13/2019 - 10/19/2019	1.00	1.03
43	10/20/2019 - 10/26/2019	1.00	1.03
44	10/27/2019 - 11/02/2019	1.00	1.03
45	11/03/2019 - 11/09/2019	1.00	1.03
46	11/10/2019 - 11/16/2019	1.00	1.03
47	11/17/2019 - 11/23/2019	1.00	1.03
48	11/24/2019 - 11/30/2019	1.00	1.03
49	12/01/2019 - 12/07/2019	1.00	1.03
50	12/08/2019 - 12/14/2019	1.00	1.03
51	12/15/2019 - 12/21/2019	1.00	1.03
52	12/22/2019 - 12/28/2019	1.01	1.04
53	12/29/2019 - 12/31/2019	1.02	1.05

* PEAK SEASON

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2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8675 BROWARD I75 URBAN

WEEK	DATES	SF	MOCF: 2.00 PSCF
1	01/01/2019 - 01/05/2019	0.00	0.00
2	01/06/2019 - 01/12/2019	0.00	0.00
3	01/13/2019 - 01/19/2019	0.00	0.00
4	01/20/2019 - 01/26/2019	0.00	0.00
5	01/27/2019 - 02/02/2019	0.00	0.00
6	02/03/2019 - 02/09/2019	0.00	0.00
7	02/10/2019 - 02/16/2019	0.00	0.00
8	02/17/2019 - 02/23/2019	0.00	0.00
9	02/24/2019 - 03/02/2019	0.00	0.00
10	03/03/2019 - 03/09/2019	0.00	0.00
11	03/10/2019 - 03/16/2019	0.00	0.00
12	03/17/2019 - 03/23/2019	0.00	0.00
13	03/24/2019 - 03/30/2019	0.00	0.00
14	03/31/2019 - 04/06/2019	0.00	0.00
15	04/07/2019 - 04/13/2019	0.00	0.00
16	04/14/2019 - 04/20/2019	0.00	0.00
17	04/21/2019 - 04/27/2019	0.00	0.00
18	04/28/2019 - 05/04/2019	0.00	0.00
19	05/05/2019 - 05/11/2019	0.00	0.00
20	05/12/2019 - 05/18/2019	0.00	0.00
21	05/19/2019 - 05/25/2019	0.00	0.00
22	05/26/2019 - 06/01/2019	0.00	0.00
23	06/02/2019 - 06/08/2019	0.00	0.00
24	06/09/2019 - 06/15/2019	0.00	0.00
25	06/16/2019 - 06/22/2019	0.00	0.00
26	06/23/2019 - 06/29/2019	0.00	0.00
27	06/30/2019 - 07/06/2019	0.00	0.00
28	07/07/2019 - 07/13/2019	0.00	0.00
29	07/14/2019 - 07/20/2019	0.00	0.00
30	07/21/2019 - 07/27/2019	0.00	0.00
31	07/28/2019 - 08/03/2019	0.00	0.00
32	08/04/2019 - 08/10/2019	0.00	0.00
33	08/11/2019 - 08/17/2019	0.00	0.00
34	08/18/2019 - 08/24/2019	0.00	0.00
35	08/25/2019 - 08/31/2019	0.00	0.00
36	09/01/2019 - 09/07/2019	0.00	0.00
37	09/08/2019 - 09/14/2019	0.00	0.00
38	09/15/2019 - 09/21/2019	0.00	0.00
39	09/22/2019 - 09/28/2019	0.00	0.00
40	09/29/2019 - 10/05/2019	0.00	0.00
41	10/06/2019 - 10/12/2019	0.00	0.00
*42	10/13/2019 - 10/19/2019	0.00	0.00
*43	10/20/2019 - 10/26/2019	0.00	0.00
*44	10/27/2019 - 11/02/2019	0.00	0.00
*45	11/03/2019 - 11/09/2019	0.00	0.00
*46	11/10/2019 - 11/16/2019	0.00	0.00
*47	11/17/2019 - 11/23/2019	0.00	0.00
*48	11/24/2019 - 11/30/2019	0.00	0.00
*49	12/01/2019 - 12/07/2019	0.00	0.00
*50	12/08/2019 - 12/14/2019	0.00	0.00
*51	12/15/2019 - 12/21/2019	0.00	0.00
*52	12/22/2019 - 12/28/2019	0.00	0.00
*53	12/29/2019 - 12/31/2019	0.00	0.00

* PEAK SEASON

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2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8676 BROWARD I75 RURAL

WEEK	DATES	SF	MOCF: 0.95 PSCF
1	01/01/2019 - 01/05/2019	0.94	0.99
2	01/06/2019 - 01/12/2019	0.98	1.03
3	01/13/2019 - 01/19/2019	1.02	1.07
4	01/20/2019 - 01/26/2019	1.01	1.06
5	01/27/2019 - 02/02/2019	0.99	1.04
6	02/03/2019 - 02/09/2019	0.98	1.03
* 7	02/10/2019 - 02/16/2019	0.96	1.01
* 8	02/17/2019 - 02/23/2019	0.95	1.00
* 9	02/24/2019 - 03/02/2019	0.94	0.99
*10	03/03/2019 - 03/09/2019	0.92	0.97
*11	03/10/2019 - 03/16/2019	0.91	0.96
*12	03/17/2019 - 03/23/2019	0.92	0.97
*13	03/24/2019 - 03/30/2019	0.94	0.99
*14	03/31/2019 - 04/06/2019	0.95	1.00
*15	04/07/2019 - 04/13/2019	0.97	1.02
*16	04/14/2019 - 04/20/2019	0.98	1.03
*17	04/21/2019 - 04/27/2019	0.98	1.03
*18	04/28/2019 - 05/04/2019	0.98	1.03
*19	05/05/2019 - 05/11/2019	0.98	1.03
20	05/12/2019 - 05/18/2019	0.98	1.03
21	05/19/2019 - 05/25/2019	0.99	1.04
22	05/26/2019 - 06/01/2019	1.01	1.06
23	06/02/2019 - 06/08/2019	1.02	1.07
24	06/09/2019 - 06/15/2019	1.03	1.08
25	06/16/2019 - 06/22/2019	1.02	1.07
26	06/23/2019 - 06/29/2019	1.01	1.06
27	06/30/2019 - 07/06/2019	1.00	1.05
28	07/07/2019 - 07/13/2019	0.99	1.04
29	07/14/2019 - 07/20/2019	0.98	1.03
30	07/21/2019 - 07/27/2019	1.00	1.05
31	07/28/2019 - 08/03/2019	1.03	1.08
32	08/04/2019 - 08/10/2019	1.05	1.11
33	08/11/2019 - 08/17/2019	1.07	1.13
34	08/18/2019 - 08/24/2019	1.09	1.15
35	08/25/2019 - 08/31/2019	1.11	1.17
36	09/01/2019 - 09/07/2019	1.12	1.18
37	09/08/2019 - 09/14/2019	1.14	1.20
38	09/15/2019 - 09/21/2019	1.16	1.22
39	09/22/2019 - 09/28/2019	1.14	1.20
40	09/29/2019 - 10/05/2019	1.12	1.18
41	10/06/2019 - 10/12/2019	1.10	1.16
42	10/13/2019 - 10/19/2019	1.08	1.14
43	10/20/2019 - 10/26/2019	1.05	1.11
44	10/27/2019 - 11/02/2019	1.03	1.08
45	11/03/2019 - 11/09/2019	1.00	1.05
46	11/10/2019 - 11/16/2019	0.97	1.02
47	11/17/2019 - 11/23/2019	0.96	1.01
48	11/24/2019 - 11/30/2019	0.96	1.01
49	12/01/2019 - 12/07/2019	0.95	1.00
50	12/08/2019 - 12/14/2019	0.95	1.00
51	12/15/2019 - 12/21/2019	0.94	0.99
52	12/22/2019 - 12/28/2019	0.98	1.03
53	12/29/2019 - 12/31/2019	1.02	1.07

* PEAK SEASON

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4_8676_PKSEASON.TXT

2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 8695 BROWARD I95

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.01	1.04
2	01/06/2019 - 01/12/2019	1.01	1.04
3	01/13/2019 - 01/19/2019	1.00	1.03
4	01/20/2019 - 01/26/2019	1.00	1.03
5	01/27/2019 - 02/02/2019	0.99	1.02
6	02/03/2019 - 02/09/2019	0.99	1.02
7	02/10/2019 - 02/16/2019	0.98	1.01
* 8	02/17/2019 - 02/23/2019	0.98	1.01
* 9	02/24/2019 - 03/02/2019	0.97	1.00
*10	03/03/2019 - 03/09/2019	0.97	1.00
*11	03/10/2019 - 03/16/2019	0.96	0.99
*12	03/17/2019 - 03/23/2019	0.96	0.99
*13	03/24/2019 - 03/30/2019	0.96	0.99
*14	03/31/2019 - 04/06/2019	0.97	1.00
*15	04/07/2019 - 04/13/2019	0.97	1.00
*16	04/14/2019 - 04/20/2019	0.97	1.00
*17	04/21/2019 - 04/27/2019	0.97	1.00
*18	04/28/2019 - 05/04/2019	0.98	1.01
*19	05/05/2019 - 05/11/2019	0.98	1.01
*20	05/12/2019 - 05/18/2019	0.98	1.01
21	05/19/2019 - 05/25/2019	0.99	1.02
22	05/26/2019 - 06/01/2019	1.00	1.03
23	06/02/2019 - 06/08/2019	1.01	1.04
24	06/09/2019 - 06/15/2019	1.02	1.05
25	06/16/2019 - 06/22/2019	1.02	1.05
26	06/23/2019 - 06/29/2019	1.02	1.05
27	06/30/2019 - 07/06/2019	1.01	1.04
28	07/07/2019 - 07/13/2019	1.01	1.04
29	07/14/2019 - 07/20/2019	1.01	1.04
30	07/21/2019 - 07/27/2019	1.02	1.05
31	07/28/2019 - 08/03/2019	1.02	1.05
32	08/04/2019 - 08/10/2019	1.03	1.06
33	08/11/2019 - 08/17/2019	1.03	1.06
34	08/18/2019 - 08/24/2019	1.04	1.07
35	08/25/2019 - 08/31/2019	1.04	1.07
36	09/01/2019 - 09/07/2019	1.05	1.08
37	09/08/2019 - 09/14/2019	1.05	1.08
38	09/15/2019 - 09/21/2019	1.06	1.09
39	09/22/2019 - 09/28/2019	1.05	1.08
40	09/29/2019 - 10/05/2019	1.04	1.07
41	10/06/2019 - 10/12/2019	1.02	1.05
42	10/13/2019 - 10/19/2019	1.01	1.04
43	10/20/2019 - 10/26/2019	1.01	1.04
44	10/27/2019 - 11/02/2019	1.01	1.04
45	11/03/2019 - 11/09/2019	1.00	1.03
46	11/10/2019 - 11/16/2019	1.00	1.03
47	11/17/2019 - 11/23/2019	1.00	1.03
48	11/24/2019 - 11/30/2019	1.00	1.03
49	12/01/2019 - 12/07/2019	1.01	1.04
50	12/08/2019 - 12/14/2019	1.01	1.04
51	12/15/2019 - 12/21/2019	1.01	1.04
52	12/22/2019 - 12/28/2019	1.01	1.04
53	12/29/2019 - 12/31/2019	1.00	1.03

* PEAK SEASON

14-FEB-2020 15:39:27

830UPD

4_8695_PKSEASON.TXT

Signal Plans

Broward County

Timing Sheet

10/4/2021 3:18:37 PM

Station : 2319 - Sunrise Blvd & Birch Rd (Standard File)

Phase	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
	(WT)	(NT)	(WL)	(ET)	(ST)											
Walk	7	7	7	7	7	7										
Ped Clearance	13			26		13		28								
Min Green	10			6	4	10		6								
Gap Ext	3			2	1.5	3		2								
Max1	55			20	10	55		20								
Max2																
Yellow Clr	4	5	4	4	4	5	4	4	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
Red Clr		2		2	2	2		2	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Red Revert																
Added Initial																
Max Initial																
Time Before Reduce																
Cars Before Reduce																
Time To Reduce																
Reduce By																
Min Gap																
Dynamic Max Limit																
Dynamic Max Step																
Enable		ON		ON	ON	ON		ON								
Auto Flash Entry				ON				ON								
Auto Flash Exit		ON				ON										
Non-Actuated 1						ON										
Non-Actuated 2																
Lock Call									ON							
Min Recall		ON				ON										
Max Recall																
Ped Recall																
Soft Recall																
Dual Entry				ON				ON								
Sim Gap Enable				ON					ON							
Guar Passage																
Rest In Walk																
Cond Service																
Add Init Calc																

Preemption

Channel	1	2	3	4	5	6
Lock Input	ON	ON	ON	ON	ON	ON
Override Auto Flash					ON	ON
Override Higher Preempt					ON	ON
Flash in Dwell						
Link to Preempt						
Delay						
Min Duration						
Min Green	6	6	6	6	6	6
Min Walk						
Ped Clear						
Track Green						
Min Dwell	8	8	8	8	8	8
Max Presence	180	180	180	180	180	180
Track Veh 1						
Track Veh 2						
Track Veh 3						
Track Veh 4						
Dwell Cyc Veh 1						
Dwell Cyc Veh 2						
Dwell Cyc Veh 3						
Dwell Cyc Veh 4						
Dwell Cyc Veh 5						
Dwell Cyc Veh 6						

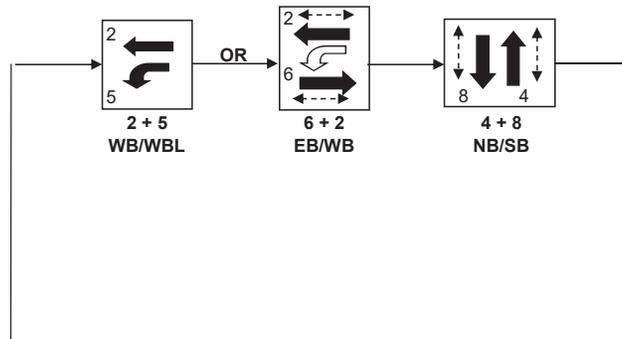
Preempt LP

Channel	1	2	3	4
Min				
Max				
Enable				
Lock Mode	MAX	MAX	MAX	MAX
Coord in Preempt				
No Skip				
Priority P1				
Priority P2				
Priority P3				
Priority P4				
Lock				
Headway				
Group Lock				
Queue Jump				
Free Mode				
Alt Table				

Sequence of Operation for Sunrise Blvd (SR 838) and Birch Road (2319)

Fort Lauderdale

Modification #12



Intersection Number	2319	Initial Operation Date	7/29/85
Controller Type	2070 LN	System Number	
Modification Number	12	Modification Date	05/16/2017
Drawing/Project No	665	FPL Grid Number	87881772901
Intersection	SUNRISE BLVD. (SR 838) and BIRCH ROAD		
Municipality	FORT LAUDERDALE		

Controller Phase	1	2	3	4	5	6	7	8
Face Number		2		4	5	6		8
Direction		WB		NB	WBL	EB		SB
Initial Green(MIN)		10		6	4	10		6
Vehicle Ext.(GAP)		3.0		2.0	1.5	3.0		2.0
Maximum Green I		55		20	10	55		20
Maximum Green II								
Yellow Clearance		5.0		4.0	4.0	5.0		4.0
All Red Clearance		2.0		2.0	2.0	2.0		2.0
Phase Recall		MIN		OFF	OFF	MIN		OFF
Detector Delay								
Walk		7		7		7		7
Pedestrian Clearance		13		26		13		28
Permissive					5 SECT			
Flash Operation		YELLOW		RED		YELLOW		RED

Attachment

NOTES:

1. FLASH OPERATION: 0000 TO 0600, 7 DAYS.
2. ANTI-BACKDOWN WESTBOUND: PHASE 6 ON--> OMIT PHASE 5.
3. DUAL ENTRY HARDWIRED NORTH/SOUTH.
4. MOD. 12 REFLECTS INSTALLATION OF PEDESTRIAN FEATURES ON PHASES 2 & 6

Submitted By _____

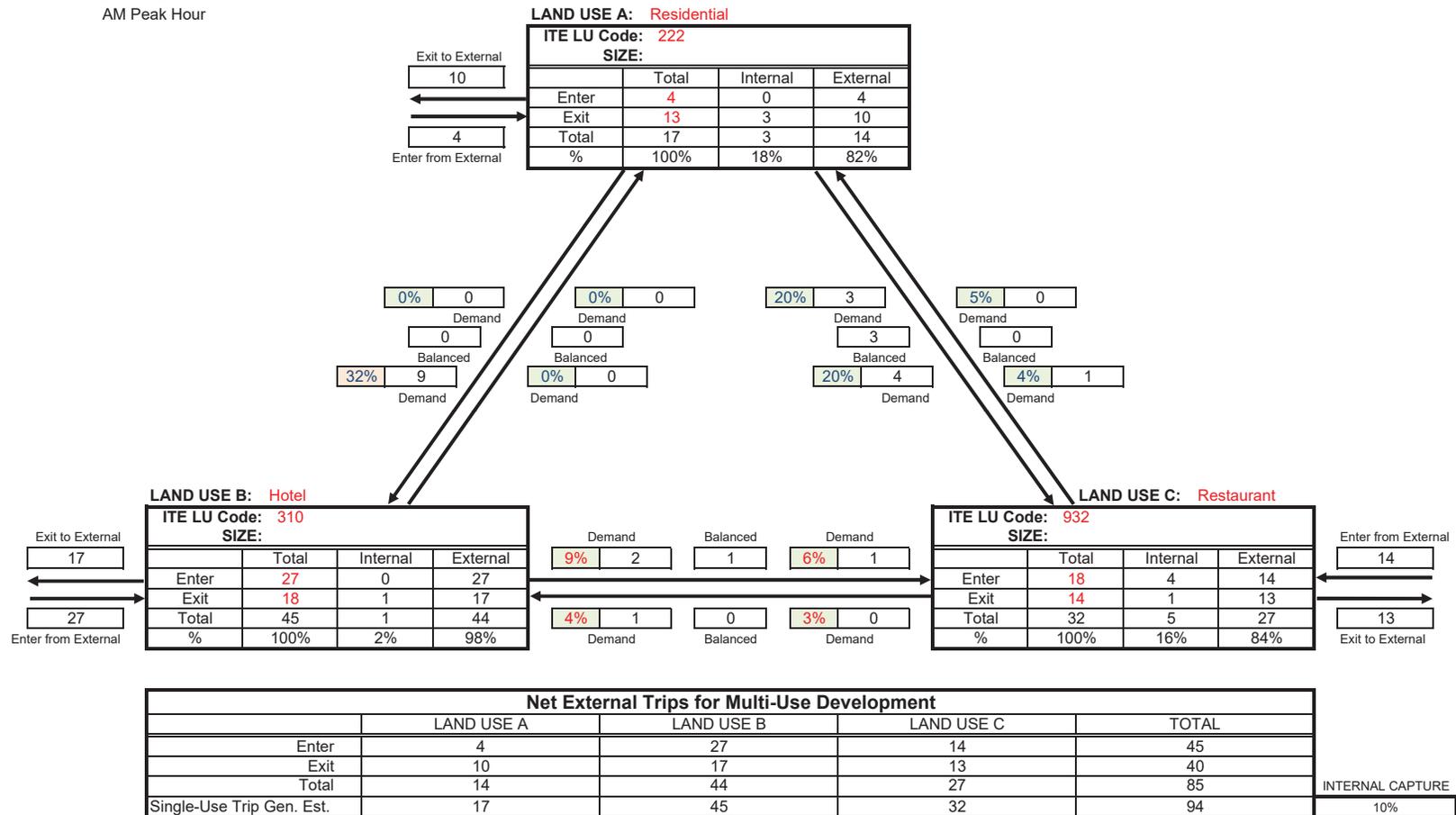
Approved By _____

APPENDIX E

Internalization

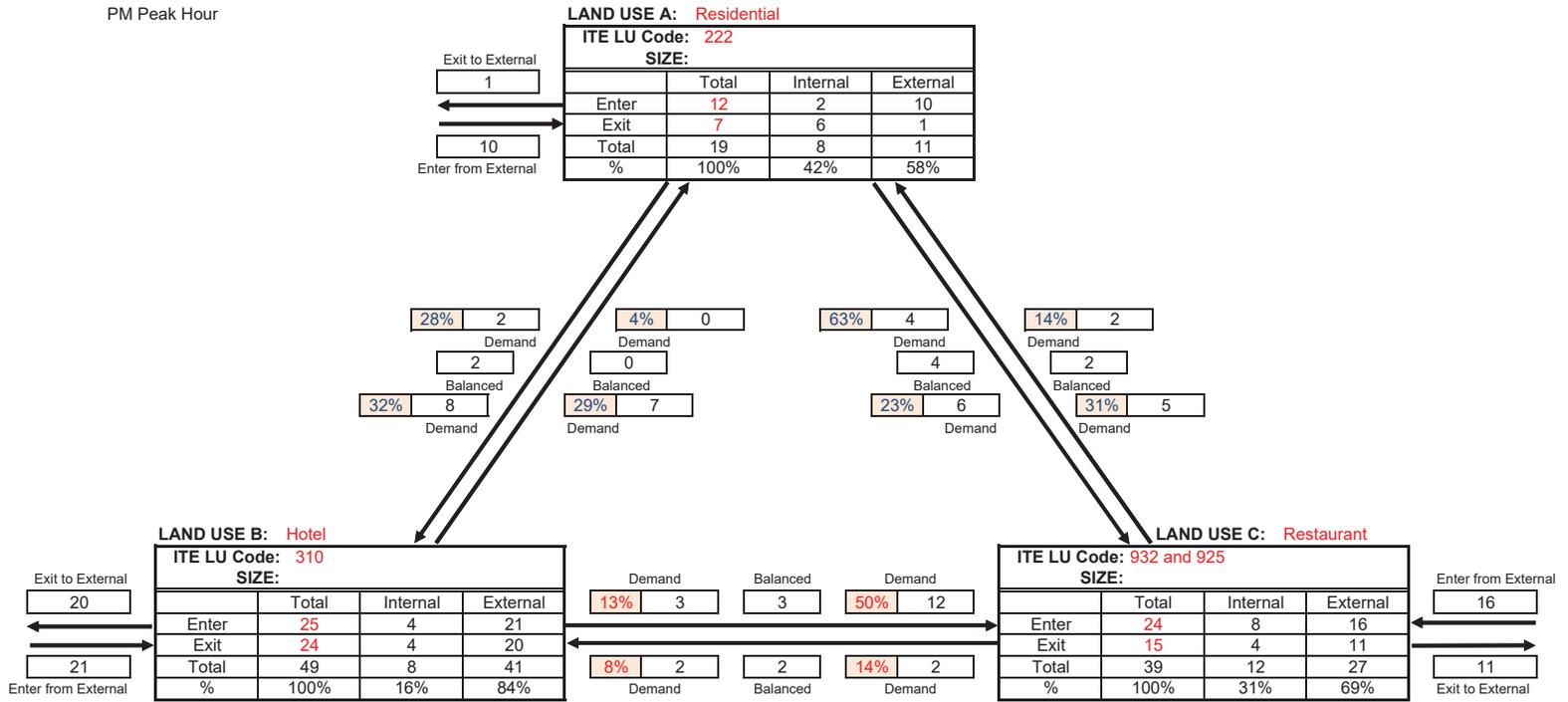
**EXISTING LAND USES
Trip Generation
and Internal Capture Summary**

Analyst: Danielsen
Date: 24-Jun-21
AM Peak Hour



**EXISTING LAND USES
Trip Generation
and Internal Capture Summary**

Analyst: Danielsen
Date: 3-Oct-19
PM Peak Hour



APPENDIX F

Historic Growth

**Ocean Park Hotel and Residences
Fort Lauderdale**

Growth Rate Analysis

Site #0106 - SR A1A north of Sunrise Blvd (SR 838)

Year	Volume	Growth Rate
2015	22000	
2019	18800	-3.10%

Site #0359 - Sunrise Blvd east of ICWW

Year	Volume	Growth Rate
2015	24500	
2019	25000	0.40%

Site #0451 - SR A1A south of Sunrise Blvd (SR 838)

Year	Volume	Growth Rate
2015	30500	
2019	27500	-2.05%

Total - All Count Stations

Year	Volume	Growth Rate
2015	77000	
2019	71300	-1.53%

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 86 - BROWARD

SITE: 0106 - SR A1A - N OF SR 838/SUNRISE BLVD

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	17300 C	N 8400	S 8900	9.00	53.50	2.90
2019	18800 C	N 9200	S 9600	9.00	54.70	2.60
2018	17800 C	N 8900	S 8900	9.00	54.10	2.60
2017	17300 C	N 8700	S 8600	9.00	53.80	2.60
2016	16100 C	N 8000	S 8100	9.00	55.20	4.10
2015	22000 C	N 12000	S 10000	9.00	54.90	4.10
2014	18900 C	N 9000	S 9900	9.00	54.50	4.10
2013	19100 C	N 9400	S 9700	9.00	54.60	3.70
2012	27500 C	N 14000	S 13500	9.00	55.00	2.60
2011	26000 C	N 13500	S 12500	9.00	54.50	2.60
2010	25500 C	N 12500	S 13000	9.37	54.06	2.60
2009	32000 C	N 16000	S 16000	9.31	53.74	4.40
2008	29500 C	N 14500	S 15000	9.70	54.48	4.40
2007	28500 C	N 14500	S 14000	9.10	53.47	1.70
2006	28500 C	N 14500	S 14000	9.48	53.59	1.50
2005	32500 C	N 16500	S 16000	10.60	58.90	1.50

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 86 - BROWARD

SITE: 0359 - SR 838/SUNRISE BLVD - E OF ICWW BR

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	24000 F	E 12000	W 12000	9.00	53.50	4.40
2019	25000 C	E 12500	W 12500	9.00	54.70	4.40
2018	20900 C	E 9900	W 11000	9.00	54.10	10.00
2017	22500 C	E 12000	W 10500	9.00	53.80	10.00
2016	22000 C	E 11000	W 11000	9.00	55.20	10.00
2015	24500 C	E 13500	W 11000	9.00	54.90	3.70
2014	21500 C	E 11500	W 10000	9.00	54.50	3.70
2013	25500 C	E 13000	W 12500	9.00	54.60	3.70
2012	23500 C	E 12500	W 11000	9.00	55.00	8.10
2011	25000 C	E 13000	W 12000	9.00	54.50	8.10
2010	22500 C	E 12000	W 10500	9.37	54.06	8.10
2009	23000 C	E 11500	W 11500	9.31	53.74	3.90
2008	31000 C	E 16000	W 15000	9.70	54.48	3.90
2007	28500 C	E 14500	W 14000	9.10	53.47	2.60
2006	28000 C	E 14000	W 14000	9.48	53.59	2.20
2005	26500 C	E 13500	W 13000	10.60	58.90	2.20

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 86 - BROWARD

SITE: 0451 - SR A1A - S OF SR 838/SUNRISE BLVD

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	26500 F	N 12500	S 14000	9.00	53.50	5.90
2019	27500 C	N 13000	S 14500	9.00	54.70	5.90
2018	32000 C	N 16000	S 16000	9.00	54.10	2.00
2017	25500 C	N 12500	S 13000	9.00	53.80	2.00
2016	37500 C	N 18000	S 19500	9.00	55.20	2.00
2015	30500 C	N 15500	S 15000	9.00	54.90	3.60
2014	28000 C	N 14000	S 14000	9.00	54.50	2.50
2013	31000 C	N 15500	S 15500	9.00	54.60	2.50
2012	29500 C	N 14000	S 15500	9.00	55.00	2.50
2011	27500 C	N 14500	S 13000	9.00	54.50	2.20
2010	28500 C	N 14500	S 14000	9.37	54.06	2.20
2009	30500 C	N 15000	S 15500	9.31	53.74	2.20
2008	29500 C	N 14500	S 15000	9.70	54.48	1.90
2007	31500 C	N 15000	S 16500	9.10	53.47	1.90
2006	34000 C	N 17000	S 17000	9.48	53.59	2.70
2005	35000 C	N 17500	S 17500	10.60	58.90	2.60

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

APPENDIX G

Volume Development Worksheets

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

NE 9 Court at Birch Road
AM Peak Hour

WEEKDAY

Description	Birch Road Northbound			Birch Road Southbound			NE 9 Court Eastbound			- Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	0	28	0	0	38	13	21	0	5	0	0	0
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	0	38	0	0	51	18	28	0	7	0	0	0
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	0	38	0	0	52	18	29	0	7	0	0	0
Existing Development												
Ocean Park												
Primary Trip						46	40					
Pass-by Capture												
2024 Total Traffic	0	38	0	0	52	64	69	0	7	0	0	0

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

NE 9 Court at Birch Road
PM Peak Hour

WEEKDAY

Description	Birch Road Northbound			Birch Road Southbound			NE 9 Court Eastbound			- Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	3	37	0	0	29	13	27	0	3	0	0	0
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	4	50	0	0	39	18	36	0	4	0	0	0
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	4	51	0	0	40	18	37	0	4	0	0	0
Existing Development												
Ocean Park												
Primary Trip						48	34					
Pass-by Capture												
2024 Total Traffic	4	51	0	0	40	66	71	0	4	0	0	0

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

Sunrise Boulevard (SR 838) at Birch Road
AM Peak Hour

WEEKDAY

Description	Birch Road Northbound			Birch Road Southbound			Sunrise Boulevard Eastbound			Sunrise Boulevard Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	34	1	20	2	0	2	30	622	33	20	465	10
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	46	1	27	3	0	3	41	840	45	27	628	14
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	47	1	27	3	0	3	41	852	45	27	637	14
Existing Development Ocean Park												
Primary Trip Pass-by Capture	27		13						31	15		
2024 Total Traffic	74	1	40	3	0	3	41	852	76	42	637	14

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

Sunrise Boulevard (SR 838) at Birch Road
PM Peak Hour

WEEKDAY

Description	Birch Road Northbound			Birch Road Southbound			Sunrise Boulevard Eastbound			Sunrise Boulevard Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	37	0	14	11	0	20	19	603	19	13	658	10
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	50	0	19	15	0	27	26	814	26	18	888	14
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	51	0	19	15	0	27	26	826	26	18	902	14
Existing Development Ocean Park												
Primary Trip Pass-by Capture	23		11						33	15		
2024 Total Traffic	74	0	30	15	0	27	26	826	59	33	902	14

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

NE 9 Court at Driveway
AM Peak Hour

WEEKDAY

Description	- Northbound			Driveway Southbound			NE 9 Court Eastbound			NE 9 Court Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	0	0	0	0	0	0	0	26	0	0	13	0
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	0	0	0	0	0	0	0	35	0	0	18	0
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	0	0	0	0	0	0	0	36	0	0	18	0
Existing Development Ocean Park												
Primary Trip Pass-by Capture				40								46
2024 Total Traffic	0	0	0	40	0	0	0	36	0	0	18	46

FUTURE TURNING MOVEMENT VOLUME ANALYSIS

NE 9 Court at Driveway
PM Peak Hour

WEEKDAY

Description	- Northbound			Driveway Southbound			NE 9 Court Eastbound			NE 9 Court Westbound		
	Left	Through	Right	Left	Through	Right	Left	Through	Right	Left	Through	Right
Existing Traffic (9/14/2021)	0	0	0	0	0	0	0	30	0	0	16	0
Season Adjustment Factor	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35	1.35
2021 Peak Season Traffic	0	0	0	0	0	0	0	40	0	0	22	0
Annual Growth Rate	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%	0.50%
Committed Developments:												
2024 Background Traffic	0	0	0	0	0	0	0	40	0	0	22	0
Existing Development Ocean Park												
Primary Trip Pass-by Capture				34								48
2024 Total Traffic	0	0	0	34	0	0	0	40	0	0	22	48

APPENDIX H

Synchro

NE 9 Court at Birch Road (Unsignalized)

HCM 6th Edition

Scenario	Peak Hour	Movement	Parameter				Approach	
			v/c	Delay (sec)	LOS	Queue (ft)	Delay (sec)	LOS
Existing	AM	EBL	0.047	8.7	A	0.1	8.7	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL		0.0	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						
	PM	EBL	0.056	8.8	A	0.2	8.8	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL	0.004	7.4	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						
Background	AM	EBL	0.048	8.7	A	0.2	8.7	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL		0.0	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						
	PM	EBL	0.058	8.9	A	0.2	8.9	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL	0.004	7.4	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						
Future	AM	EBL	0.107	9.1	A	0.4	9.1	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL		0.0	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						
	PM	EBL	0.110	9.3	A	0.4	9.3	A
		EBT						
		EBR						
		WBL						
		WBT						
		WBR						
		NBL	0.004	7.6	A	0		
		NBT						
		NBR						
		SBL						
		SBT						
		SBR						

Sunrise Boulevard at Birch Road (Signalized)

HCM 6

Scenario	Peak Hour	Movement	Parameter				Approach		Intersection	
			v/c	Delay (sec)	LOS	Queue (ft)	Delay (sec)	LOS	Delay (sec)	LOS
Existing	AM	EBL	0.08	5.6	A	25	6.5	A	6.5	A
		EBT	0.29	6.5	A	108				
		EBR	0.29	6.8	A					
		WBL	0.07	4.3	A	10	3.2	A		
		WBT	0.18	3.1	A	46				
		WBR	0.18	3.3	A					
		NBL	0.22	33.4	C	56	33.2	C		
		NBT	0.00	0.0	A	24				
		NBR	0.19	33.0	C					
		SBL	0.03	32.2	C		32.2	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					
	PM	EBL	0.09	16.5	B	18	16.2	B	11.1	B
		EBT	0.38	15.9	B	100				
		EBR	0.38	16.6	B					
		WBL	0.03	9.0	A	7	3.6	A		
		WBT	0.24	3.4	A	63				
		WBR	0.24	3.6	A					
		NBL	0.22	33.2	C	57	33.0	C		
		NBT	0.00	0.0	A	0				
		NBR	0.12	32.6	C					
		SBL	0.20	33.1	C		33.1	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					
Background	AM	EBL	0.08	5.6	A	25	6.6	A	6.5	A
		EBT	0.29	6.5	A	109				
		EBR	0.29	6.8	A					
		WBL	0.07	4.3	A	10	3.3	A		
		WBT	0.18	3.2	A	47				
		WBR	0.18	3.3	A					
		NBL	0.22	33.4	C	57	33.3	C		
		NBT	0.00	0.0	A	24				
		NBR	0.19	32.9	C					
		SBL	0.03	32.2	C		32.2	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					
	PM	EBL	0.09	16.6	B	18	16.2	B	11.1	B
		EBT	0.39	16.0	B	102				
		EBR	0.39	16.7	B					
		WBL	0.03	9.1	A	8	3.6	A		
		WBT	0.24	3.4	A	65				
		WBR	0.24	3.6	A					
		NBL	0.22	33.2	C	58	33.0	C		
		NBT	0.00	0.0	A	0				
		NBR	0.12	32.6	C					
		SBL	0.20	33.1	C		33.1	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					
Future	AM	EBL	0.08	6.0	A	27	7.2	A	7.5	A
		EBT	0.31	7.1	A	126				
		EBR	0.31	7.5	A					
		WBL	0.10	4.6	A	16	3.4	A		
		WBT	0.18	3.3	A	54				
		WBR	0.18	3.4	A					
		NBL	0.32	33.5	C	77	33.3	C		
		NBT	0.00	0.0	A	28				
		NBR	0.27	32.9	C					
		SBL	0.03	31.8	C		31.8	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					
	PM	EBL	0.09	16.7	B	19	16.5	B	11.7	B
		EBT	0.41	16.2	B	114				
		EBR	0.41	17.0	B					
		WBL	0.05	9.8	A	13	3.8	A		
		WBT	0.24	3.5	A	74				
		WBR	0.24	3.7	A					
		NBL	0.31	33.7	C	75	33.4	C		
		NBT	0.00	0.0	A	0				
		NBR	0.19	32.7	C					
		SBL	0.20	32.9	C		32.9	C		
		SBT	0.00	0.0	A	0				
		SBR	0.00	0.0	A					

95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.
m Volume for 95th percentile queue is metered by upstream signal.

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	2.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		T
Traffic Vol, veh/h	28	7	0	38	51	18
Future Vol, veh/h	28	7	0	38	51	18
Conflicting Peds, #/hr	5	1	7	0	0	7
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	73	73	73	73	73	73
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	38	10	0	52	70	25

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	147	91	102	0	-	0
Stage 1	90	-	-	-	-	-
Stage 2	57	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	1019	1098	1490	-	-	-
Stage 1	1088	-	-	-	-	-
Stage 2	1128	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	1005	1090	1480	-	-	-
Mov Cap-2 Maneuver	1005	-	-	-	-	-
Stage 1	1080	-	-	-	-	-
Stage 2	1120	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.7	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1480	-	1021	-	-
HCM Lane V/C Ratio	-	-	0.047	-	-
HCM Control Delay (s)	0	-	8.7	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Existing AM Peak Hour

Synchro 11 Light Report

Timings

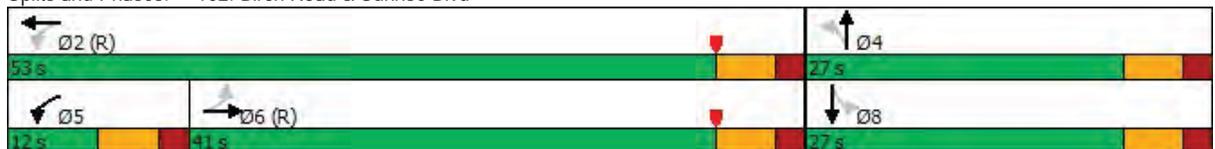
102: Birch Road & Sunrise Blvd

	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations								
Traffic Volume (vph)	41	840	27	628	46	1	3	0
Future Volume (vph)	41	840	27	628	46	1	3	0
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases		6	5	2		4		8
Permitted Phases	6		2		4		8	
Detector Phase	6	6	5	2	4	4	8	8
Switch Phase								
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0
Minimum Split (s)	46.0	46.0	13.0	26.0	39.0	39.0	41.0	41.0
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lag	Lag	Lead					
Lead-Lag Optimize?	Yes	Yes	Yes					
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None
Act Effect Green (s)	59.5	59.5	62.6	63.8	7.8	7.8		7.8
Actuated g/C Ratio	0.74	0.74	0.78	0.80	0.10	0.10		0.10
v/c Ratio	0.09	0.26	0.07	0.17	0.38	0.17		0.02
Control Delay	6.6	5.2	3.2	2.8	41.3	15.0		0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	6.6	5.2	3.2	2.8	41.3	15.0		0.2
LOS	A	A	A	A	D	B		A
Approach Delay		5.3		2.8		31.4		0.2
Approach LOS		A		A		C		A

Intersection Summary

Cycle Length: 80	
Actuated Cycle Length: 80	
Offset: 60 (75%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow	
Natural Cycle: 100	
Control Type: Actuated-Coordinated	
Maximum v/c Ratio: 0.38	
Intersection Signal Delay: 5.4	Intersection LOS: A
Intersection Capacity Utilization 51.9%	ICU Level of Service A
Analysis Period (min) 15	

Splits and Phases: 102: Birch Road & Sunrise Blvd



Existing AM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	45	972	30	705	51	31	6
v/c Ratio	0.09	0.26	0.07	0.17	0.38	0.17	0.02
Control Delay	6.6	5.2	3.2	2.8	41.3	15.0	0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	6.6	5.2	3.2	2.8	41.3	15.0	0.2
Queue Length 50th (ft)	4	40	3	27	25	0	0
Queue Length 95th (ft)	25	108	10	46	56	24	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	503	3738	458	4040	366	432	462
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.09	0.26	0.07	0.17	0.14	0.07	0.01
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		 			 			 			 	
Traffic Volume (veh/h)	41	840	45	27	628	14	46	1	27	3	0	3
Future Volume (veh/h)	41	840	45	27	628	14	46	1	27	3	0	3
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	1.00		0.97	0.97		0.96	0.97		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	45	923	49	30	690	15	51	1	30	3	0	3
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	564	3201	170	459	3831	83	235	5	155	125	20	77
Arrive On Green	0.65	0.65	0.65	0.02	0.75	0.75	0.10	0.10	0.10	0.10	0.00	0.10
Sat Flow, veh/h	734	4954	262	1781	5139	111	1374	49	1478	552	189	741
Grp Volume(v), veh/h	45	633	339	30	457	248	51	0	31	6	0	0
Grp Sat Flow(s),veh/h/ln	734	1702	1813	1781	1702	1846	1374	0	1528	1482	0	0
Q Serve(g_s), s	1.9	6.5	6.5	0.4	3.2	3.2	2.4	0.0	1.5	0.0	0.0	0.0
Cycle Q Clear(g_c), s	1.9	6.5	6.5	0.4	3.2	3.2	2.7	0.0	1.5	0.3	0.0	0.0
Prop In Lane	1.00		0.14	1.00		0.06	1.00		0.97	0.50		0.50
Lane Grp Cap(c), veh/h	564	2199	1171	459	2537	1376	235	0	160	223	0	0
V/C Ratio(X)	0.08	0.29	0.29	0.07	0.18	0.18	0.22	0.00	0.19	0.03	0.00	0.00
Avail Cap(c_a), veh/h	564	2199	1171	549	2537	1376	452	0	401	448	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	5.3	6.2	6.2	4.3	3.0	3.0	33.2	0.0	32.7	32.2	0.0	0.0
Incr Delay (d2), s/veh	0.3	0.3	0.6	0.0	0.2	0.3	0.2	0.0	0.2	0.0	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	2.0	2.3	0.1	0.8	0.9	0.9	0.0	0.5	0.1	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	5.6	6.5	6.8	4.3	3.1	3.3	33.4	0.0	33.0	32.2	0.0	0.0
LnGrp LOS	A	A	A	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		1017			735			82				6
Approach Delay, s/veh		6.5			3.2			33.2				32.2
Approach LOS		A			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.6		14.4	7.9	57.7		14.4				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+1), s		5.2		4.7	2.4	8.5		2.3				
Green Ext Time (p_c), s		5.3		0.1	0.0	7.7		0.0				
Intersection Summary												
HCM 6th Ctrl Delay				6.5								
HCM 6th LOS				A								
Notes												
User approved pedestrian interval to be less than phase max green.												

Existing AM Peak Hour

Synchro 11 Light Report

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	2.5					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T		T		T	
Traffic Vol, veh/h	36	4	4	50	39	18
Future Vol, veh/h	36	4	4	50	39	18
Conflicting Peds, #/hr	4	0	9	0	0	9
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	72	72	72	72	72	72
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	50	6	6	69	54	25

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	161	76	88	0	-	0
Stage 1	76	-	-	-	-	-
Stage 2	85	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	1003	1114	1508	-	-	-
Stage 1	1105	-	-	-	-	-
Stage 2	1094	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	981	1104	1495	-	-	-
Mov Cap-2 Maneuver	981	-	-	-	-	-
Stage 1	1091	-	-	-	-	-
Stage 2	1084	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.8	0.5	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1495	-	992	-	-
HCM Lane V/C Ratio	0.004	-	0.056	-	-
HCM Control Delay (s)	7.4	0	8.8	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Existing PM Peak Hour

Synchro 11 Light Report

Timings

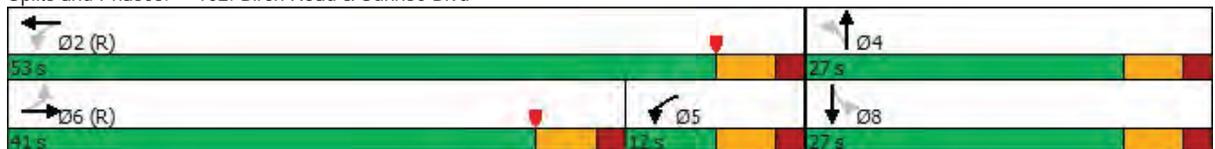
102: Birch Road & Sunrise Blvd

Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations								
Traffic Volume (vph)	26	814	18	888	50	0	15	0
Future Volume (vph)	26	814	18	888	50	0	15	0
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases		6	5	2		4		8
Permitted Phases	6		2		4		8	
Detector Phase	6	6	5	2	4	4	8	8
Switch Phase								
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0
Minimum Split (s)	41.0	41.0	12.0	26.0	27.0	27.0	27.0	27.0
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0		6.0
Lead/Lag	Lead	Lead	Lag					
Lead-Lag Optimize?	Yes	Yes	Yes					
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None
Act Effect Green (s)	62.5	62.5	67.3	67.3	7.9	7.9		7.9
Actuated g/C Ratio	0.78	0.78	0.84	0.84	0.10	0.10		0.10
v/c Ratio	0.06	0.22	0.03	0.22	0.39	0.06		0.17
Control Delay	7.1	5.1	3.2	2.6	41.7	0.3		1.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	7.1	5.1	3.2	2.6	41.7	0.3		1.5
LOS	A	A	A	A	D	A		A
Approach Delay		5.2		2.6		30.2		1.5
Approach LOS		A		A		C		A

Intersection Summary

Cycle Length: 80	
Actuated Cycle Length: 80	
Offset: 68 (85%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow	
Natural Cycle: 80	
Control Type: Actuated-Coordinated	
Maximum v/c Ratio: 0.39	
Intersection Signal Delay: 4.7	Intersection LOS: A
Intersection Capacity Utilization 44.1%	ICU Level of Service A
Analysis Period (min) 15	

Splits and Phases: 102: Birch Road & Sunrise Blvd



Existing PM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	27	875	19	940	52	20	44
v/c Ratio	0.06	0.22	0.03	0.22	0.39	0.06	0.17
Control Delay	7.1	5.1	3.2	2.6	41.7	0.3	1.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	7.1	5.1	3.2	2.6	41.7	0.3	1.5
Queue Length 50th (ft)	3	36	2	39	25	0	0
Queue Length 95th (ft)	18	101	7	64	57	0	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	422	3942	552	4267	354	566	475
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.06	0.22	0.03	0.22	0.15	0.04	0.09
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	26	814	26	18	888	14	50	0	19	15	0	27
Future Volume (veh/h)	26	814	26	18	888	14	50	0	19	15	0	27
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.93	0.99		0.98	0.98		0.97	0.98		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	27	848	27	19	925	15	52	0	20	16	0	28
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	316	2218	70	692	3854	62	242	0	162	97	22	101
Arrive On Green	0.44	0.44	0.44	0.23	0.75	0.75	0.10	0.00	0.10	0.10	0.00	0.10
Sat Flow, veh/h	591	5071	161	1781	5173	84	1352	0	1544	342	210	966
Grp Volume(v), veh/h	27	569	306	19	608	332	52	0	20	44	0	0
Grp Sat Flow(s),veh/h/ln	591	1702	1828	1781	1702	1853	1352	0	1544	1519	0	0
Q Serve(g_s), s	2.4	9.0	9.1	0.0	4.4	4.4	0.3	0.0	0.9	0.0	0.0	0.0
Cycle Q Clear(g_c), s	6.8	9.0	9.1	0.0	4.4	4.4	2.3	0.0	0.9	2.0	0.0	0.0
Prop In Lane	1.00		0.09	1.00		0.05	1.00		1.00	0.36		0.64
Lane Grp Cap(c), veh/h	316	1489	800	692	2536	1380	242	0	162	221	0	0
V/C Ratio(X)	0.09	0.38	0.38	0.03	0.24	0.24	0.22	0.00	0.12	0.20	0.00	0.00
Avail Cap(c_a), veh/h	316	1489	800	692	2536	1380	455	0	405	450	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	16.0	15.2	15.2	9.0	3.2	3.2	33.0	0.0	32.5	32.9	0.0	0.0
Incr Delay (d2), s/veh	0.5	0.7	1.4	0.0	0.2	0.4	0.2	0.0	0.1	0.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	3.4	3.8	0.1	1.1	1.3	0.9	0.0	0.4	0.8	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	16.5	15.9	16.6	9.0	3.4	3.6	33.2	0.0	32.6	33.1	0.0	0.0
LnGrp LOS	B	B	B	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		902			959			72				44
Approach Delay, s/veh		16.2			3.6			33.0				33.1
Approach LOS		B			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.6		14.4	24.6	41.0		14.4				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+11), s		6.4		4.3	2.0	11.1		4.0				
Green Ext Time (p_c), s		7.6		0.1	0.0	6.5		0.1				
Intersection Summary												
HCM 6th Ctrl Delay				11.1								
HCM 6th LOS				B								
Notes												
User approved pedestrian interval to be less than phase max green.												

Existing PM Peak Hour

Synchro 11 Light Report

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	2.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			↑		↑
Traffic Vol, veh/h	29	7	0	38	52	18
Future Vol, veh/h	29	7	0	38	52	18
Conflicting Peds, #/hr	5	1	7	0	0	7
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	73	73	73	73	73	73
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	40	10	0	52	71	25

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	148	92	103	0	-	0
Stage 1	91	-	-	-	-	-
Stage 2	57	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	1017	1097	1489	-	-	-
Stage 1	1087	-	-	-	-	-
Stage 2	1128	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	1003	1089	1479	-	-	-
Mov Cap-2 Maneuver	1003	-	-	-	-	-
Stage 1	1079	-	-	-	-	-
Stage 2	1120	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.7	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1479	-	1019	-	-
HCM Lane V/C Ratio	-	-	0.048	-	-
HCM Control Delay (s)	0	-	8.7	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Timings

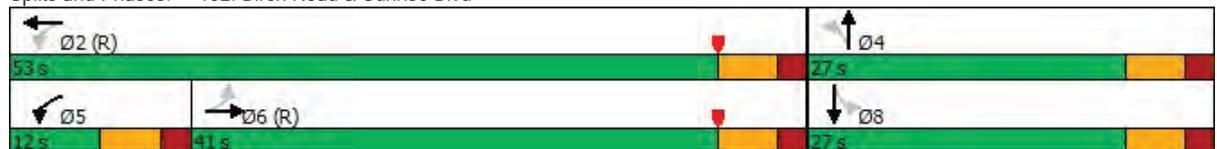
102: Birch Road & Sunrise Blvd

Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT	
Lane Configurations									
Traffic Volume (vph)	41	852	27	637	47	1	3	0	
Future Volume (vph)	41	852	27	637	47	1	3	0	
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA	
Protected Phases		6	5	2		4		8	
Permitted Phases	6		2		4		8		
Detector Phase	6	6	5	2	4	4	8	8	
Switch Phase									
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0	
Minimum Split (s)	46.0	46.0	13.0	26.0	39.0	39.0	41.0	41.0	
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0	
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%	
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	
Lead/Lag	Lag	Lag	Lead						
Lead-Lag Optimize?	Yes	Yes	Yes						
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None	
Act Effect Green (s)	59.5	59.5	62.6	63.8	7.8	7.8		7.8	
Actuated g/C Ratio	0.74	0.74	0.78	0.80	0.10	0.10		0.10	
v/c Ratio	0.09	0.26	0.07	0.18	0.38	0.17		0.02	
Control Delay	6.7	5.3	3.3	2.8	41.3	15.0		0.2	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0	
Total Delay	6.7	5.3	3.3	2.8	41.3	15.0		0.2	
LOS	A	A	A	A	D	B		A	
Approach Delay		5.4		2.8		31.5		0.2	
Approach LOS		A		A		C		A	

Intersection Summary

Cycle Length: 80	
Actuated Cycle Length: 80	
Offset: 60 (75%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow	
Natural Cycle: 100	
Control Type: Actuated-Coordinated	
Maximum v/c Ratio: 0.38	
Intersection Signal Delay: 5.5	Intersection LOS: A
Intersection Capacity Utilization 51.9%	ICU Level of Service A
Analysis Period (min) 15	

Splits and Phases: 102: Birch Road & Sunrise Blvd



Background AM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	45	985	30	715	52	31	6
v/c Ratio	0.09	0.26	0.07	0.18	0.38	0.17	0.02
Control Delay	6.7	5.3	3.3	2.8	41.3	15.0	0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	6.7	5.3	3.3	2.8	41.3	15.0	0.2
Queue Length 50th (ft)	5	41	3	27	25	0	0
Queue Length 95th (ft)	25	109	10	47	57	24	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	497	3738	454	4036	366	432	462
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.09	0.26	0.07	0.18	0.14	0.07	0.01
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	41	852	45	27	637	14	47	1	27	3	0	3
Future Volume (veh/h)	41	852	45	27	637	14	47	1	27	3	0	3
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	1.00		0.97	0.97		0.96	0.97		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	45	936	49	30	700	15	52	1	30	3	0	3
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	560	3203	167	454	3831	82	235	5	155	125	20	78
Arrive On Green	0.65	0.65	0.65	0.02	0.75	0.75	0.10	0.10	0.10	0.10	0.00	0.10
Sat Flow, veh/h	727	4959	259	1781	5141	110	1374	49	1478	552	189	741
Grp Volume(v), veh/h	45	642	343	30	463	252	52	0	31	6	0	0
Grp Sat Flow(s),veh/h/ln	727	1702	1813	1781	1702	1847	1374	0	1528	1482	0	0
Q Serve(g_s), s	1.9	6.6	6.6	0.4	3.2	3.2	2.5	0.0	1.5	0.0	0.0	0.0
Cycle Q Clear(g_c), s	1.9	6.6	6.6	0.4	3.2	3.2	2.7	0.0	1.5	0.3	0.0	0.0
Prop In Lane	1.00		0.14	1.00		0.06	1.00		0.97	0.50		0.50
Lane Grp Cap(c), veh/h	560	2199	1171	454	2537	1376	235	0	160	223	0	0
V/C Ratio(X)	0.08	0.29	0.29	0.07	0.18	0.18	0.22	0.00	0.19	0.03	0.00	0.00
Avail Cap(c_a), veh/h	560	2199	1171	544	2537	1376	452	0	401	448	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	5.3	6.2	6.2	4.3	3.0	3.0	33.3	0.0	32.7	32.2	0.0	0.0
Incr Delay (d2), s/veh	0.3	0.3	0.6	0.0	0.2	0.3	0.2	0.0	0.2	0.0	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	2.1	2.3	0.1	0.8	0.9	0.9	0.0	0.5	0.1	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	5.6	6.5	6.8	4.3	3.2	3.3	33.4	0.0	32.9	32.2	0.0	0.0
LnGrp LOS	A	A	A	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		1030			745			83				6
Approach Delay, s/veh		6.6			3.3			33.3				32.2
Approach LOS		A			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.6		14.4	7.9	57.7		14.4				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+1), s		5.2		4.7	2.4	8.6		2.3				
Green Ext Time (p_c), s		5.4		0.1	0.0	7.8		0.0				
Intersection Summary												
HCM 6th Ctrl Delay				6.5								
HCM 6th LOS				A								
Notes												
User approved pedestrian interval to be less than phase max green.												

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	2.5					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y			↑		↑
Traffic Vol, veh/h	37	4	4	51	40	18
Future Vol, veh/h	37	4	4	51	40	18
Conflicting Peds, #/hr	4	0	9	0	0	9
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	72	72	72	72	72	72
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	51	6	6	71	56	25

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	165	78	90	0	-	0
Stage 1	78	-	-	-	-	-
Stage 2	87	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	998	1112	1505	-	-	-
Stage 1	1102	-	-	-	-	-
Stage 2	1091	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	976	1102	1492	-	-	-
Mov Cap-2 Maneuver	976	-	-	-	-	-
Stage 1	1088	-	-	-	-	-
Stage 2	1081	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.9	0.5	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1492	-	987	-	-
HCM Lane V/C Ratio	0.004	-	0.058	-	-
HCM Control Delay (s)	7.4	0	8.9	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Timings

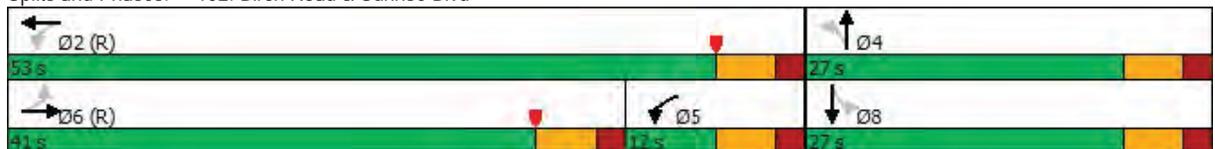
102: Birch Road & Sunrise Blvd

	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations								
Traffic Volume (vph)	26	826	18	902	51	0	15	0
Future Volume (vph)	26	826	18	902	51	0	15	0
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases		6	5	2		4		8
Permitted Phases	6		2		4		8	
Detector Phase	6	6	5	2	4	4	8	8
Switch Phase								
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0
Minimum Split (s)	41.0	41.0	12.0	26.0	27.0	27.0	27.0	27.0
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0		6.0
Lead/Lag	Lead	Lead	Lag					
Lead-Lag Optimize?	Yes	Yes	Yes					
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None
Act Effect Green (s)	62.4	62.4	67.2	67.2	8.0	8.0		8.0
Actuated g/C Ratio	0.78	0.78	0.84	0.84	0.10	0.10		0.10
v/c Ratio	0.07	0.23	0.03	0.22	0.40	0.06		0.17
Control Delay	7.2	5.2	3.3	2.6	41.7	0.3		1.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	7.2	5.2	3.3	2.6	41.7	0.3		1.5
LOS	A	A	A	A	D	A		A
Approach Delay		5.2		2.6		30.4		1.5
Approach LOS		A		A		C		A

Intersection Summary

Cycle Length: 80	
Actuated Cycle Length: 80	
Offset: 68 (85%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow	
Natural Cycle: 80	
Control Type: Actuated-Coordinated	
Maximum v/c Ratio: 0.40	
Intersection Signal Delay: 4.8	Intersection LOS: A
Intersection Capacity Utilization 44.1%	ICU Level of Service A
Analysis Period (min) 15	

Splits and Phases: 102: Birch Road & Sunrise Blvd



Background PM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	27	887	19	955	53	20	44
v/c Ratio	0.07	0.23	0.03	0.22	0.40	0.06	0.17
Control Delay	7.2	5.2	3.3	2.6	41.7	0.3	1.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	7.2	5.2	3.3	2.6	41.7	0.3	1.5
Queue Length 50th (ft)	3	36	2	39	26	0	0
Queue Length 95th (ft)	18	102	8	65	58	0	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	415	3939	547	4263	354	565	475
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.07	0.23	0.03	0.22	0.15	0.04	0.09
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	26	826	26	18	902	14	51	0	19	15	0	27
Future Volume (veh/h)	26	826	26	18	902	14	51	0	19	15	0	27
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.93	0.99		0.98	0.98		0.97	0.98		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	27	860	27	19	940	15	53	0	20	16	0	28
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	312	2220	70	689	3855	61	242	0	162	97	22	102
Arrive On Green	0.44	0.44	0.44	0.23	0.74	0.74	0.11	0.00	0.11	0.11	0.00	0.11
Sat Flow, veh/h	583	5073	159	1781	5175	83	1352	0	1544	342	210	966
Grp Volume(v), veh/h	27	576	311	19	618	337	53	0	20	44	0	0
Grp Sat Flow(s),veh/h/ln	583	1702	1828	1781	1702	1853	1352	0	1544	1519	0	0
Q Serve(g_s), s	2.4	9.2	9.2	0.0	4.5	4.5	0.3	0.0	0.9	0.0	0.0	0.0
Cycle Q Clear(g_c), s	6.9	9.2	9.2	0.0	4.5	4.5	2.3	0.0	0.9	2.0	0.0	0.0
Prop In Lane	1.00		0.09	1.00		0.04	1.00		1.00	0.36		0.64
Lane Grp Cap(c), veh/h	312	1489	800	689	2536	1380	242	0	162	221	0	0
V/C Ratio(X)	0.09	0.39	0.39	0.03	0.24	0.24	0.22	0.00	0.12	0.20	0.00	0.00
Avail Cap(c_a), veh/h	312	1489	800	689	2536	1380	455	0	405	450	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	16.1	15.2	15.2	9.1	3.2	3.2	33.0	0.0	32.5	32.9	0.0	0.0
Incr Delay (d2), s/veh	0.5	0.8	1.4	0.0	0.2	0.4	0.2	0.0	0.1	0.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	3.5	3.9	0.1	1.1	1.3	0.9	0.0	0.4	0.8	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	16.6	16.0	16.7	9.1	3.4	3.6	33.2	0.0	32.6	33.1	0.0	0.0
LnGrp LOS	B	B	B	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		914			974			73				44
Approach Delay, s/veh		16.2			3.6			33.0				33.1
Approach LOS		B			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.6		14.4	24.6	41.0		14.4				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+11), s		6.5		4.3	2.0	11.2		4.0				
Green Ext Time (p_c), s		7.7		0.1	0.0	6.6		0.1				
Intersection Summary												
HCM 6th Ctrl Delay				11.1								
HCM 6th LOS				B								

Notes

User approved pedestrian interval to be less than phase max green.

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		T
Traffic Vol, veh/h	69	7	0	38	52	64
Future Vol, veh/h	69	7	0	38	52	64
Conflicting Peds, #/hr	5	1	7	0	0	7
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	73	73	73	73	73	73
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	95	10	0	52	71	88

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	179	123	166	0	-	0
Stage 1	122	-	-	-	-	-
Stage 2	57	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	983	1064	1412	-	-	-
Stage 1	1050	-	-	-	-	-
Stage 2	1128	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	969	1056	1403	-	-	-
Mov Cap-2 Maneuver	969	-	-	-	-	-
Stage 1	1043	-	-	-	-	-
Stage 2	1120	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9.1	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1403	-	976	-	-
HCM Lane V/C Ratio	-	-	0.107	-	-
HCM Control Delay (s)	0	-	9.1	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.4	-	-

Future AM Peak Hour

Synchro 11 Light Report

Timings

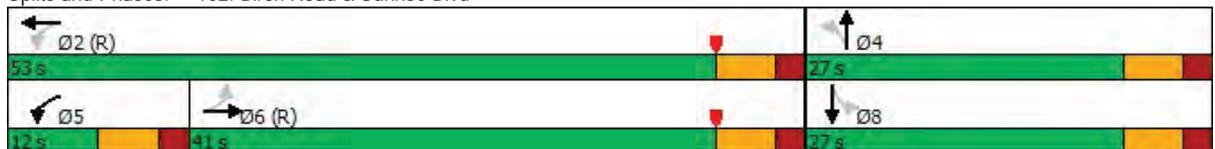
102: Birch Road & Sunrise Blvd

Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations								
Traffic Volume (vph)	41	852	42	637	74	1	3	0
Future Volume (vph)	41	852	42	637	74	1	3	0
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases		6	5	2		4		8
Permitted Phases	6		2		4		8	
Detector Phase	6	6	5	2	4	4	8	8
Switch Phase								
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0
Minimum Split (s)	46.0	46.0	13.0	26.0	39.0	39.0	41.0	41.0
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lag	Lag	Lead					
Lead-Lag Optimize?	Yes	Yes	Yes					
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None
Act Effect Green (s)	55.7	55.7	61.1	62.3	9.3	9.3		9.3
Actuated g/C Ratio	0.70	0.70	0.76	0.78	0.12	0.12		0.12
v/c Ratio	0.10	0.29	0.11	0.18	0.50	0.21		0.02
Control Delay	8.5	7.1	4.1	3.3	43.2	12.6		0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	8.5	7.1	4.1	3.3	43.2	12.6		0.2
LOS	A	A	A	A	D	B		A
Approach Delay		7.1		3.4		32.3		0.2
Approach LOS		A		A		C		A

Intersection Summary

Cycle Length: 80	
Actuated Cycle Length: 80	
Offset: 60 (75%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow	
Natural Cycle: 100	
Control Type: Actuated-Coordinated	
Maximum v/c Ratio: 0.50	
Intersection Signal Delay: 7.3	Intersection LOS: A
Intersection Capacity Utilization 52.0%	ICU Level of Service A
Analysis Period (min) 15	

Splits and Phases: 102: Birch Road & Sunrise Blvd



Future AM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	45	1020	46	715	81	45	6
v/c Ratio	0.10	0.29	0.11	0.18	0.50	0.21	0.02
Control Delay	8.5	7.1	4.1	3.3	43.2	12.6	0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	8.5	7.1	4.1	3.3	43.2	12.6	0.2
Queue Length 50th (ft)	9	80	5	31	39	0	0
Queue Length 95th (ft)	27	126	16	54	77	28	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	466	3478	427	3944	366	441	468
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.10	0.29	0.11	0.18	0.22	0.10	0.01
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	41	852	76	42	637	14	74	1	40	3	0	3
Future Volume (veh/h)	41	852	76	42	637	14	74	1	40	3	0	3
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.97	1.00		0.97	0.98		0.96	0.98		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	45	936	84	46	700	15	81	1	44	3	0	3
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	550	3009	269	446	3803	81	252	4	165	127	20	79
Arrive On Green	0.63	0.63	0.63	0.03	0.74	0.74	0.11	0.11	0.11	0.11	0.00	0.11
Sat Flow, veh/h	727	4755	425	1781	5141	110	1380	34	1493	536	181	717
Grp Volume(v), veh/h	45	669	351	46	463	252	81	0	45	6	0	0
Grp Sat Flow(s),veh/h/ln	727	1702	1777	1781	1702	1847	1380	0	1527	1434	0	0
Q Serve(g_s), s	1.9	7.2	7.2	0.7	3.3	3.3	1.7	0.0	2.2	0.0	0.0	0.0
Cycle Q Clear(g_c), s	1.9	7.2	7.2	0.7	3.3	3.3	3.8	0.0	2.2	2.2	0.0	0.0
Prop In Lane	1.00		0.24	1.00		0.06	1.00		0.98	0.50		0.50
Lane Grp Cap(c), veh/h	550	2154	1124	446	2518	1366	252	0	168	226	0	0
V/C Ratio(X)	0.08	0.31	0.31	0.10	0.18	0.18	0.32	0.00	0.27	0.03	0.00	0.00
Avail Cap(c_a), veh/h	550	2154	1124	522	2518	1366	462	0	401	442	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	5.8	6.7	6.7	4.5	3.1	3.1	33.3	0.0	32.6	31.8	0.0	0.0
Incr Delay (d2), s/veh	0.3	0.4	0.7	0.0	0.2	0.3	0.3	0.0	0.3	0.0	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	2.3	2.5	0.2	0.8	1.0	1.5	0.0	0.8	0.1	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	6.0	7.1	7.5	4.6	3.3	3.4	33.5	0.0	32.9	31.8	0.0	0.0
LnGrp LOS	A	A	A	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		1065			761			126				6
Approach Delay, s/veh		7.2			3.4			33.3				31.8
Approach LOS		A			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.2		14.8	8.6	56.6		14.8				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+11), s		5.3		5.8	2.7	9.2		4.2				
Green Ext Time (p_c), s		5.4		0.2	0.0	8.1		0.0				
Intersection Summary												
HCM 6th Ctrl Delay				7.5								
HCM 6th LOS				A								
Notes												
User approved pedestrian interval to be less than phase max green.												

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PZB Exhibit 4
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HCM 6th TWSC
103: NE 9 Ct & Driveway

Intersection						
Int Delay, s/veh	2.4					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	0	36	18	46	40	0
Future Vol, veh/h	0	36	18	46	40	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	39	20	50	43	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	70	0	-	0	84
Stage 1	-	-	-	-	45
Stage 2	-	-	-	-	39
Critical Hdwy	4.12	-	-	-	5.5
Critical Hdwy Stg 1	-	-	-	-	5.42
Critical Hdwy Stg 2	-	-	-	-	5.42
Follow-up Hdwy	2.218	-	-	-	3
Pot Cap-1 Maneuver	1531	-	-	-	1093
Stage 1	-	-	-	-	1143
Stage 2	-	-	-	-	1150
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1531	-	-	-	1093
Mov Cap-2 Maneuver	-	-	-	-	1093
Stage 1	-	-	-	-	1143
Stage 2	-	-	-	-	1150

Approach	EB	WB	SB
HCM Control Delay, s	0	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1531	-	-	-	1093
HCM Lane V/C Ratio	-	-	-	-	0.04
HCM Control Delay (s)	0	-	-	-	8.4
HCM Lane LOS	A	-	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Future AM Peak Hour

Synchro 11 Light Report

HCM 6th TWSC
101: Birch Road & NE 9 Ct

Intersection						
Int Delay, s/veh	3.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y			4		4
Traffic Vol, veh/h	71	4	4	51	40	66
Future Vol, veh/h	71	4	4	51	40	66
Conflicting Peds, #/hr	4	0	9	0	0	9
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	72	72	72	72	72	72
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	99	6	6	71	56	92

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	198	111	157	0	-	0
Stage 1	111	-	-	-	-	-
Stage 2	87	-	-	-	-	-
Critical Hdwy	5.5	5	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3	3	2.218	-	-	-
Pot Cap-1 Maneuver	962	1077	1423	-	-	-
Stage 1	1063	-	-	-	-	-
Stage 2	1091	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	941	1068	1411	-	-	-
Mov Cap-2 Maneuver	941	-	-	-	-	-
Stage 1	1049	-	-	-	-	-
Stage 2	1081	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9.3	0.5	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1411	-	947	-	-
HCM Lane V/C Ratio	0.004	-	0.11	-	-
HCM Control Delay (s)	7.6	0	9.3	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.4	-	-

Future PM Peak Hour

Synchro 11 Light Report

Timings

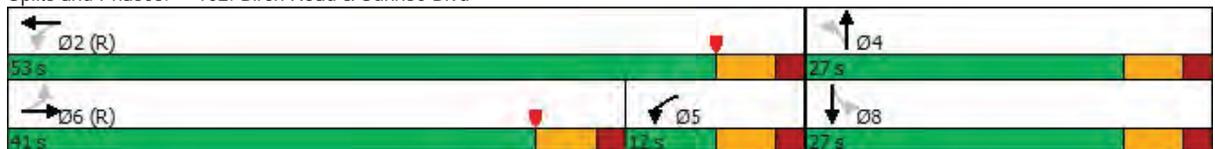
102: Birch Road & Sunrise Blvd

Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Lane Configurations								
Traffic Volume (vph)	26	826	33	902	74	0	15	0
Future Volume (vph)	26	826	33	902	74	0	15	0
Turn Type	Perm	NA	pm+pt	NA	Perm	NA	Perm	NA
Protected Phases		6	5	2		4		8
Permitted Phases	6		2		4		8	
Detector Phase	6	6	5	2	4	4	8	8
Switch Phase								
Minimum Initial (s)	10.0	10.0	4.0	10.0	6.0	6.0	6.0	6.0
Minimum Split (s)	41.0	41.0	12.0	26.0	27.0	27.0	27.0	27.0
Total Split (s)	41.0	41.0	12.0	53.0	27.0	27.0	27.0	27.0
Total Split (%)	51.3%	51.3%	15.0%	66.3%	33.8%	33.8%	33.8%	33.8%
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0		6.0
Lead/Lag	Lead	Lead	Lag					
Lead-Lag Optimize?	Yes	Yes	Yes					
Recall Mode	C-Max	C-Max	None	C-Max	None	None	None	None
Act Effct Green (s)	55.2	55.2	62.4	62.4	9.2	9.2		9.2
Actuated g/C Ratio	0.69	0.69	0.78	0.78	0.12	0.12		0.12
v/c Ratio	0.07	0.27	0.07	0.24	0.49	0.08		0.16
Control Delay	9.0	7.2	4.2	3.6	43.2	0.5		1.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		0.0
Total Delay	9.0	7.2	4.2	3.6	43.2	0.5		1.2
LOS	A	A	A	A	D	A		A
Approach Delay		7.3		3.6		31.0		1.2
Approach LOS		A		A		C		A

Intersection Summary

Cycle Length: 80
 Actuated Cycle Length: 80
 Offset: 68 (85%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow
 Natural Cycle: 80
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.49
 Intersection Signal Delay: 6.6
 Intersection Capacity Utilization 51.7%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 102: Birch Road & Sunrise Blvd



Future PM Peak Hour

Synchro 11 Light Report

Queues

102: Birch Road & Sunrise Blvd



Lane Group	EBL	EBT	WBL	WBT	NBL	NBT	SBT
Lane Group Flow (vph)	27	921	34	955	77	31	44
v/c Ratio	0.07	0.27	0.07	0.24	0.49	0.08	0.16
Control Delay	9.0	7.2	4.2	3.6	43.2	0.5	1.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	9.0	7.2	4.2	3.6	43.2	0.5	1.2
Queue Length 50th (ft)	5	75	4	44	37	0	0
Queue Length 95th (ft)	19	114	13	74	75	0	0
Internal Link Dist (ft)		243		314		140	91
Turn Bay Length (ft)	150		65		90		
Base Capacity (vph)	366	3453	502	3954	354	565	473
Starvation Cap Reductn	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0
Reduced v/c Ratio	0.07	0.27	0.07	0.24	0.22	0.05	0.09
Intersection Summary							

HCM 6th Signalized Intersection Summary
102: Birch Road & Sunrise Blvd

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	26	826	59	33	902	14	74	0	30	15	0	27
Future Volume (veh/h)	26	826	59	33	902	14	74	0	30	15	0	27
Initial Q (Ob), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	0.99		0.93	0.99		0.98	0.98		0.97	0.98		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	27	860	61	34	940	15	77	0	31	16	0	28
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	312	2118	150	675	3842	61	245	0	166	98	22	104
Arrive On Green	0.44	0.44	0.44	0.23	0.74	0.74	0.11	0.00	0.11	0.11	0.00	0.11
Sat Flow, veh/h	583	4842	342	1781	5175	83	1353	0	1545	344	207	964
Grp Volume(v), veh/h	27	603	318	34	618	337	77	0	31	44	0	0
Grp Sat Flow(s),veh/h/ln	583	1702	1779	1781	1702	1853	1353	0	1545	1515	0	0
Q Serve(g_s), s	2.4	9.7	9.8	0.0	4.6	4.6	1.7	0.0	1.5	0.0	0.0	0.0
Cycle Q Clear(g_c), s	7.0	9.7	9.8	0.0	4.6	4.6	3.7	0.0	1.5	2.0	0.0	0.0
Prop In Lane	1.00		0.19	1.00		0.04	1.00		1.00	0.36		0.64
Lane Grp Cap(c), veh/h	312	1489	779	675	2527	1376	245	0	166	224	0	0
V/C Ratio(X)	0.09	0.41	0.41	0.05	0.24	0.24	0.31	0.00	0.19	0.20	0.00	0.00
Avail Cap(c_a), veh/h	312	1489	779	675	2527	1376	455	0	406	449	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	0.00
Uniform Delay (d), s/veh	16.1	15.4	15.4	9.8	3.2	3.2	33.4	0.0	32.5	32.7	0.0	0.0
Incr Delay (d2), s/veh	0.5	0.8	1.6	0.0	0.2	0.4	0.3	0.0	0.2	0.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	3.7	4.1	0.3	1.2	1.3	1.4	0.0	0.5	0.8	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	16.7	16.2	17.0	9.8	3.5	3.7	33.7	0.0	32.7	32.9	0.0	0.0
LnGrp LOS	B	B	B	A	A	A	C	A	C	C	A	A
Approach Vol, veh/h		948			989			108				44
Approach Delay, s/veh		16.5			3.8			33.4				32.9
Approach LOS		B			A			C				C
Timer - Assigned Phs		2		4	5	6		8				
Phs Duration (G+Y+Rc), s		65.4		14.6	24.4	41.0		14.6				
Change Period (Y+Rc), s		6.0		6.0	6.0	6.0		6.0				
Max Green Setting (Gmax), s		47.0		21.0	6.0	35.0		21.0				
Max Q Clear Time (g_c+11), s		6.6		5.7	2.0	11.8		4.0				
Green Ext Time (p_c), s		7.7		0.2	0.0	6.9		0.1				
Intersection Summary												
HCM 6th Ctrl Delay				11.7								
HCM 6th LOS				B								
Notes												
User approved pedestrian interval to be less than phase max green.												

Future PM Peak Hour

Synchro 11 Light Report

CASE:UDP-S21031
PZB Exhibit 4
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HCM 6th TWSC
103: NE 9 Ct & Driveway

Intersection						
Int Delay, s/veh	2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	0	40	22	48	34	0
Future Vol, veh/h	0	40	22	48	34	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	43	24	52	37	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	76	0	-	0	93
Stage 1	-	-	-	-	50
Stage 2	-	-	-	-	43
Critical Hdwy	4.12	-	-	-	5.5
Critical Hdwy Stg 1	-	-	-	-	5.42
Critical Hdwy Stg 2	-	-	-	-	5.42
Follow-up Hdwy	2.218	-	-	-	3
Pot Cap-1 Maneuver	1523	-	-	-	1082
Stage 1	-	-	-	-	1136
Stage 2	-	-	-	-	1145
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1523	-	-	-	1082
Mov Cap-2 Maneuver	-	-	-	-	1082
Stage 1	-	-	-	-	1136
Stage 2	-	-	-	-	1145

Approach	EB	WB	SB
HCM Control Delay, s	0	0	8.4
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1523	-	-	-	1082
HCM Lane V/C Ratio	-	-	-	-	0.034
HCM Control Delay (s)	0	-	-	-	8.4
HCM Lane LOS	A	-	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Future PM Peak Hour

Synchro 11 Light Report

APPENDIX I

Valet Analysis

Ocean Park – Valet Operations
Queuing Analysis based on ITE Procedures

$q = 48$ veh/hr (demand rate)

$Q = 23.0$ veh/hr (service rate @ 155 sec/veh)

$$p = \frac{q}{NQ} = 0.6957 \text{ (N = 3 valet attendants)}$$

$$Q_M = 0.4864 \text{ (for N = 3)}$$

Using Acceptable Probability of 5% (95% Confidence Level)

$$M = \left(\frac{\ln(x > M) - \ln(Q_M)}{\ln(p)} \right) - 1$$

$$M = \left(\frac{\ln(0.05) - \ln(0.4864)}{\ln(0.6957)} \right) - 1$$

$$M = \left(\frac{-2.996 - (-0.7297)}{-0.3628} \right) - 1$$

$$M = 6.2701 - 1 = 5.2701 \text{ vehicles}$$

or, 6 vehicles

- (1) Ticket processing time = **30 sec.** + vehicle travel time to furthest point = **94 sec.** + attendant return = **31 sec.** for a total of **155 seconds.**

DC Engineers, Inc.



1401 EAST BROWARD BOULEVARD, SUITE 303
 FORT LAUDERDALE, FLORIDA 33301
 DIRECT LINE: 954.779.1123
 EMAIL: NCHAKAS@LOCHRIELAW.COM
 MAIN PHONE: 954.779.1119
 FAX: 954.779.1117

January 27, 2022

Via Email (kgrant@fortlauderdale.gov)

Karlanne Grant, Planner
 Urban Design & Planning
 700 NW 19th Avenue
 Fort Lauderdale, FL 33311

**RE: Ocean Park Hotel and Residences – 2851/2901 NE 9th Court
 (Case No. UDP-S21031) Public Participation Summary**

Dear Karlanne:

This letter is being provided to satisfy the City’s public participation requirements pursuant to the City of Fort Lauderdale Unified Land Development Regulations Sec. 47-27.4.A. The following is a summary of the public participation meeting, which was held virtually via ZOOM:

SUMMARY:	
Date of meeting:	Thursday, January 20, 2022 via ZOOM
Time of meeting:	6 pm (meeting concluded at 8:00 pm)
Meeting Notice:	Meeting notice was mailed on January 7, 2022. See attached Notice of Public Participation Meeting. Notice was provided U.S. Mail to: 1 - Central Beach Alliance (the only city-recognized association within 300’ of the site); and 3 – Owners within a 300’ radius of the property.
Participants:	There were 129 registered attendees.
Presentation Materials:	Power Point presentation with the renderings and aerials (copy attached to this letter)
Discussion:	The applicant presented the plans for the proposed project. There were several topics and areas of concerns discussed during the meeting: <ol style="list-style-type: none"> 1. Drainage: Applicant explained that currently the site is mostly asphalt/concrete and storm water sheet flows into the right-of-way. However, the proposed development is required to show that the drainage will improve the current conditions through the installation of an on-site storm water retention and an underground drainage system consisting of exfiltration trenches, drainage, inlets and drainage wells. 2. Traffic: Applicant explained the trip generation comparison between existing uses/buildings on site vs. the trip generation of the proposed uses. The project produces a net decrease of PM Peak Hour Trips compared to the existing uses. In addition, the Applicant explained the results of the traffic study which studied the intersections of Sunrise Boulevard /Birch Road and Birch Road/NE 9th Court. The Applicant’s traffic consultant explained that the study showed that the intersections are operating at an acceptable level of service. 3. Setbacks: Residents inquired about the setbacks and variances. Applicant explained that there are no variance requested for the

	<p>setbacks. The project complies with the setbacks permitted under Site Plan Level IV review.</p> <p>4. Noise: Neighbors expressed concerns about music from the hotel rooftop. Applicant explained that the project will comply with the City’s noise ordinance, and in addition, the owner has agreed to limit the hours of the outdoor amplified music to the following: Monday through Thursday from 11:00 a.m. to 9:30 p.m.; Friday from 11:00 a.m. to 11:00 p.m.; Saturday from 10:00 a.m. to 11:00 p.m.; and Sunday from 10:00 a.m. to 9:30 p.m.</p>
<p>Affidavit:</p>	<p>The required affidavit attesting that the notice has been sent in accordance with the ULDR is included with this letter.</p>

Should you require additional information, please let me know.

Very truly yours,



Nectaria M. Chakas, Esq.

NMC/

cc: Bill Brown, President of Central Beach Alliance (cbaftlcom@gmail.com)

Exhibits

1. Affidavit of Public Participation Meeting
2. Notice of Public Participation Meeting
3. Affidavit of Mail Notice, Mail List and Map
4. Presentation Materials

AFFIDAVIT OF PUBLIC PARTICIPATION NOTIFICATION

STATE OF FLORIDA, BROWARD COUNTY

RE: PLANNING AND ZONING BOARD

CASE NUMBER: UDP-S21031

APPLICANT: Sunrise FTL Ventures LLLP

PROPERTY: 2851/2901 NE 9th Court

PUBLIC HEARING DATE: April 20, 2022 - Planning and Zoning Board

BEFORE ME, the undersigned authority, personally appeared Nectaria M. Chakas, who upon being duly sworn and cautioned, under oath deposes and says:

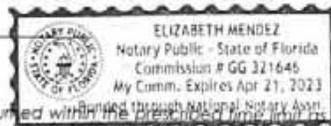
1. Affiant is the Applicant in the above cited City of Fort Lauderdale Development Review Case.
2. The Affiant/Applicant has mailed or has caused to be mailed, via postal service or electronic mail, a letter to property owners and any official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of the Public Participation meeting.
3. That the letter referenced in Paragraph two (2) above was mailed prior to the submittal of the Planning and Zoning Board application meeting cited above.
4. That the public participation meeting was held at least **thirty (30)** days prior to the date of the Planning and Zoning Board meeting cited above.
5. Affiant has prepared a summary of the public participation meeting cited above that documents the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion and comments expressed during the process.
6. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Planning office **fifteen (15)** days prior to the date of the Planning and Zoning Board meeting and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
7. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefor.

Nectaria Chakas
AFFIANT

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 21 day of January, 2022

(SEAL)

NOTARY PUBLIC
MY COMMISSION EXPIRES:



NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Section 47.27.3.i of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. (Initial here)
Initials of applicant (or representative) receiving sign as per ULDR Section 47-27.2(3) (A-J)



MEETING NOTICE

January 7, 2022

**Re: Public Meeting for the Ocean Park Hotel and Residences Project
2851 and 2901 NE 9th Court, Fort Lauderdale, FL ("Property")
Case No. UDP-S21031**

Dear Neighbor:

This letter is to invite you to a public participation meeting relating to the Ocean Park Hotel and Residences project on the Property. The meeting will be conducted via Zoom. You may also call in to the meeting. If you would like to set up a separate meeting, we would be happy to do so.

We have scheduled the following public meeting:

Date: Thursday, January 20, 2022
Time: 6:00 PM
Place: Virtual meeting via Zoom. To register for the meeting, please go to: www.OceanParkPublicMeeting.com in advance of the meeting.

If you wish to submit written comments, have any questions or would like to set up a separate meeting please contact:

Nectaria Chakas, Esq. (Attorney for Applicant)
Lochrie & Chakas, P.A.
1401 E. Broward Blvd.
Suite 303
Fort Lauderdale, FL 33301
(954) 779-1123



1401 EAST BROWARD BOULEVARD, SUITE 303
FORT LAUDERDALE, FLORIDA 33301
DIRECT DIAL: 954.617.8919
EMAIL: ASCH@LOCHRIELAW.COM
MAIN PHONE: 954.779.1119
FAX: 954.779.1117

**300' NOTICE AFFIDAVIT
Public Participation Zoom Meeting Notice
(Case #UDP-S21031)**

STATE OF FLORIDA]
BROWARD COUNTY]

BEFORE ME THIS DAY PERSONALLY APPEARED ANDREW J. SCHEIN, WHO BEING DULY SWORN, DEPOSES AND SAYS:

The attached property owners list is, to the best of my knowledge, a complete and accurate list of all property owners and property control numbers as recorded in the latest official tax rolls obtained from the Property Appraiser's Office for property located at 2828/2870/2892-2896/2902/2908 E. Sunrise Boulevard and property identified with folio numbers 504201140050, 504201140060, 504201140080, 504201140090, 504201140100 and 504201140120 (the "Property"); within (1) the jurisdictional boundaries of the City of Fort Lauderdale; (2) 300' feet of the Property; and (3) 300' of any city officially recognized neighborhood association(s) of the Property. Attached to this Notice is the following:

- 1. The property owners list includes, to the best of my knowledge, all affected property owners and city officially recognized neighborhood association(s) in accordance with the requirements of the City of Fort Lauderdale ULDR ("affected parties") referenced as Exhibit "A".
- 2. A detailed map reflecting the Property consisting of eleven (11) parcels along with the folio detail referenced as Exhibit "B".
- 3. The Notice mailed to all affected parties on January 7, 2022 referenced as Exhibit "C".

[Signature]

Signature

STATE OF FLORIDA)
) SS:
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me, by means of physical presence or online notarization this 7th day of January, 2022 by Andrew J. Schein who is personally known to me or has produced NA as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 7 day of January, 2022.

[Signature]

Notary Public
Elizabeth Hernandez

Typed, printed or stamped name of Notary Public



EXHIBIT "A"

Sunrise FTL Ventures, LLLP
 Public Participation - 300' Mailing
 UDP-S21031 (alphabetical listing)

FOIIO_NUMB	NAME_LINE	ADDRESS_LI	CITY	ST	ZIP	LEGAL
1	504201AP0020 2400 DEL LAGO DRIVE L L C	2845 NE 9 TH ST #406	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 406PER CDO BK/Pg:
2	504201AP0390 2845 NE 9TH STREET LLC	930 SHERIDAN AVE	WILMETTE	IL	60091	LE CLUB INTERNATIONAL CONDOUNIT 1101PER CDO BK/Pg:
3	504201CK0180 9102-9587 QUEBEC INC	1308 GABRIEL DRUILLETES	*CHICOUTIMI QC	CA	6710	33621/1210
4	504201CK1200 ADAMS, ANTHONY H/E & ADAMS, CHRISTOPHER	3000 E SUNNISE BLVD #47H	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 17-4PER CDO BK/Pg: 8513/681
5	504201CK1100 ADAMS, SAMUEL WENDELL & BAGGETT, HUGH ALAN	105 HELMSLEY DRIVE NW	ATLANTA	GA	30327	CARLTON TOWER CONDOUNIT 16-4PER CDO BK/Pg: 8513/681
6	504201PW0410 ALEXANDER, ALISON	901 N BIRCH RD #10D	FORT LAUDERDALE	FL	33304	MARINE COLONY VILAS CO-OP UNIT 10D
7	504201PW0370 ALEXANDER, ALISON F & OWERS, JAMES E	575 RIVER BOTTOM RD	ATHENS	GA	30606	MARINE COLONY VILAS CO-OP UNIT 5D
8	504201CK0240 ALIFERIS, GREGORY G	2900 NE 33 CT	FORT LAUDERDALE	FL	33306	CARLTON TOWER CONDOUNIT 4-4PER CDO BK/Pg: 8513/681
9	504201CK0080 AMARO, SERGIO	3000 E SUNNISE BLVD #2H	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 2-4PER CDO BK/Pg: 8513/681
10	504201CK1110 AMATO, PIERRO & JOSEPHINE	11 SUNSET DR	WHITE PLAINS	NY	10604	CARLTON TOWER CONDOUNIT 16-6PER CDO BK/Pg: 8513/681
11	504201CK0420 ANDRES, FRANCISCO JAVIER SAGREDO	6 HALBURTON AVE	*TORONTO ON	CA	M9B 4	CARLTON TOWER CONDOUNIT 7-4PER CDO BK/Pg: 8513/681
12	504201AP0310 ANGEL, PETER W & DIANE M	2845 NE 9 TH ST #905	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 905PER CDO BK/Pg:
13	504201CK0410 ANNE M BLENKE IRRREV TR & TAYLOR, WILLIAM A TRUSTEE ETAL	732 MIDDLE RIVER DR	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 7-4PER CDO BK/Pg: 8513/681
14	504201AH0030 ASHER, JULIA G	3599 CAHUENGA BLVD W FL 4	LOS ANGELES	CA	90068	SUNRISE EAST CONDOUNIT 4 CPER CDO BK/Pg: 4184/178
15	504201AP0460 AUKER, CHRISTINE & SCOTT & CHRISTINE AUKER REV TR	2845 NE 9 TH ST #1202	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1202PER CDO BK/Pg:
16	504201CK0340 AVILA, CARLOS	19 BAUER PLACE EXT	WESTPORT	CT	6880	CARLTON TOWER CONDOUNIT 6-4PER CDO BK/Pg: 8513/681
17	504201PW0020 BAKER, MICHELLE	43966 TRILLIUM	STRUBING HEIGHTS	MI	48314	MARINE COLONY VILAS CO-OP UNIT 2A
18	504201PW0090 BALOU, SCOTT	901 N BIRCH RD #8D	FORT LAUDERDALE	FL	33304	MARINE COLONY VILAS CO-OP UNIT 8D
19	504201AH0110 BARTISTA, RICHARD & HECHENBLEIKNER, PETER	2800 E SUNNISE BLVD #5E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 5 EPER CDO BK/Pg: 4184/178
20	504201PW0050 BARBER, JANICE & KIERN WALTER	849 STONERIDGE SPRINGS	CHESTERFIELD	MO	63005	MARINE COLONY VILAS CO-OP UNIT 4D
21	504201CK1150 BARTK, KELLY	1136 COUNTY RD #D	ITHACA	NE	68033	CARLTON TOWER CONDOUNIT 17-CPER CDO BK/Pg: 8513/681
22	504201CK0840 BARTNETT, KEVIN F & KEVIN F BARTNETT REV LIV TR	3000 E SUNNISE BLVD #12D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 12-0PER CDO BK/Pg: 8513/681
23	504201CK0120 BATISTALEO	3000 E SUNNISE BLVD APT 3D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 3-DPER CDO BK/Pg: 8513/681
24	504201AH0770 BECKER, RICHARD & GOBER, BECKER, AUDREY L	2800 E SUNNISE BLVD APT 17E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 17 EPER CDO BK/Pg: 4184/178
25	504201PW0320 BENTZ, GEORGE O TRSTEE & BENTZ, CONSTANCE M TRSTEE	710 W BENTON AVE	NAPERVILLE	IL	60540	MARINE COLONY VILAS CO-OP UNIT 1D
26	504201PW0070 BIORKLIN, PONTIUS	901 N BIRCH RD #7A	FORT LAUDERDALE	FL	33304	MARINE COLONY VILAS CO-OP UNIT 7A
27	504201AP0290 BOERS, SUSAN & SHAW, WILLIAM	18696 RIVERLOOK CT	LESBURG	VA	20176	LE CLUB INTERNATIONAL CONDOUNIT 903PER CDO BK/Pg:
28	504201AH0210 BOYD, WILLIAM & IRVIN, RICHARD	2800 E SUNNISE BLVD #7C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 7 CPER CDO BK/Pg: 4184/178
29	504201AH0350 BOYKIN, MILES	6416 163 PL	TINLEY PARK	IL	60477	SUNRISE EAST CONDOUNIT 9 EPER CDO BK/Pg: 4184/178
30	504201PW0180 BOZAK, CARMEN	901 N BIRCH RD #8B	FORT LAUDERDALE	FL	33304	MARINE COLONY VILAS CO-OP UNIT 8B
31	504201GG9998 BREAKERS OF FT LAUD CONDO ASSOC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE TIME SHARE CONDO PER CDO BK/Pg: 4619/358
32	504201BF0010 BREAKERS OF FT LAUDERDALE CONDOMINIUM ASSOCIATION	909 BREAKERS AVE #C-1	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-1 PER AMCDO BK/Pg: 12045/494
33	504201BF0020 BREAKERS OF FT LAUDERDALE CONDO ASSN INC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-2 PER AMCDO BK/Pg: 12045/494
34	504201BF0030 BREAKERS OF FT LAUDERDALE CONDO ASSN INC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-3 PER AMCDO BK/Pg: 12045/494
35	504201BF0040 BREAKERS OF FT LAUDERDALE CONDO ASSN INC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-4 PER AMCDO BK/Pg: 12045/494
36	504201BF0050 BREAKERS OF FT LAUDERDALE CONDO ASSN INC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-5 PER AMCDO BK/Pg: 12045/494

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37	504201BH0060	BREAKERS OF FT LAUDERDALE CONDO ASSN INC	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	BREAKERS OF FT LAUDERDALE CONDO COMMERCIAL UNIT C-6PER
38	504201AH0080	BRENNAN, ANNE C	2800 E SUNRISE BLVD #5B	FORT LAUDERDALE	FL	33304	AMVDO BK/Pg: 12045/494
39	504201AH0150	BRODMAN, BARBARA & BARBARA BRODMAN TR	2800 E SUNRISE BLVD #6C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 5-BPER CDO BK/Pg: 4184/178
40	504201AP0040	BRUNO, VINCENT & MARY ANN	2845 NE 9 ST #502	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 6-CPER CDO BK/Pg: 4184/178
41	504201AP0050	BRUNO, VINCENT & MARY ANN	2854 SHOOK HILL CIR	MOUNTAIN BRK	AL	35223	LE CLUB INTERNATIONAL CONDOUNIT 502PER CDO BK/Pg: 33621/1210
42	504201AH0390	BURCHFIELD, BRADLEY C	2800 E SUNRISE BLVD #10C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 10-CPER CDO BK/Pg: 4184/178
43	504201AP0340	BURKETT, RICHARD CHARLES & JONES, JACK WILLIAM	2845 NE 9 ST #1002	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1002PER CDO BK/Pg: 33621/1210
44	504201AP0350	BURKHARD, BARBARA A & GERALD C & B A BURKHARD REV TR	2845 NE 9 ST UNIT 1003	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1003PER CDO BK/Pg: 33621/1210
45	504201CK0050	BURNETT, JEFFREY R & BENDER, KEVIN S	9305 BULL VALLEY ROD	BULL VALLEY	IL	60098	CARLTON TOWER CONDOUNIT 2-EPER CDO BK/Pg: 8513/681
46	504201CK0040	CAMALONI, JOHN J & DIANE	3000 E SUNRISE BLVD #2D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 2-DPER CDO BK/Pg: 8513/681
47	504201AP0080	CARDIELLO, JOSEPH	2845 NE 9 ST UNIT 1503	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1503PER CDO BK/Pg: 33621/1210
48	504201CK0090	CARLSON, TERESA USHER & RICHARD & TERESA CARLSON TR ETAL	3000 E SUNRISE BLVD #14B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-BPER CDO BK/Pg: 8513/681
49	504201CK0190	CARSON, DEBORAH & CARSON, WAYNE C	5467 GLEN HILL DR	BETHEL PARK	PA	15102	CARLTON TOWER CONDOUNIT 4-CPER CDO BK/Pg: 8513/681
50	504201AH00840	CASALLO, MARCELINA	2800 E SUNRISE BLVD APT 18F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 18-FPER CDO BK/Pg: 4184/178
51	504201AH0100	CATTIE, GARY A	2800 E SUNRISE BLVD #5D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 5-DPER CDO BK/Pg: 4184/178
52	504201D0320	CENTINI, BETTY ANN & BETTY-ANN CENTINI TR %B DONOHUE	171 HALE RD	GASTONBURY	CT	6033	COCOUNUT BAY RESORT CONDOUNIT 300 & 301PER CDO BK/Pg: 9776/521
53	504201CK0030	CERMAK, KATHLEEN & CERMAK, ROBERT	12 FISKE TER BLVD #2C	CRANFORD	NJ	7016	CARLTON TOWER CONDOUNIT 2-CPER CDO BK/Pg: 8513/681
54	504201CK0280	CHARLES V KLUCKA TR & KLUCKA, CHARLES V TRSTEE	11130 HARBOR YACHT CT #14-B	FORT MYERS	FL	33908	CARLTON TOWER CONDOUNIT 5-DPER CDO BK/Pg: 8513/681
55	504201CK1280	CHARLES V KLUCKA TR & KLUCKA, CHARLES V TRSTEE	11130 HARBOR YACHT CT #14-B	FORT MYERS	FL	33908	CARLTON TOWER CONDOUNIT PH-HPER CDO BK/Pg: 8513/681
56	504201CK0740	CHINFONG, MIGUEL	3000 E SUNRISE BLVD #11B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 11-BPER CDO BK/Pg: 8513/681
57	504201AH0090	CHISHOLM, FLORIDA PROPERTY TR & CHISHOLM, KELLE MARIE TRSTEE	2800 E SUNRISE BLVD #12A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12-APER CDO BK/Pg: 4184/178
58	504201CK0350	CHOPRA, ANU S & CHOPRA, SANJAY	3017 E RIDGE DR	GIBSONIA	PA	15044	CARLTON TOWER CONDOUNIT 6-CPER CDO BK/Pg: 8513/681
59	504201CK0320	CHORNEY, BRENT & HODGES, CRAIG	20 YERGENA AVE	*TORONTO ON	CA	M651	CARLTON TOWER CONDOUNIT 5-HPER CDO BK/Pg: 8513/681
60	504201PW0380	CIRIELLO, LUKE	3400 GALT OCEAN DR #1708S	FORT LAUDERDALE	FL	33308	MARINE COLONY VILLAS CO-OP UNIT 7D
61	504201PW0030	CLARK, DAVID MI	901 N BIRCH RD #3A	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OP UNIT 3A
62	504201AP0170	CLARK, JEROME ADRIAN & JEROME ADRIAN CLARK TR	2845 NE 9 ST #703	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 703PER CDO BK/Pg: 33621/1210
63	504201AH0790	CLINE, JESSICA L & COULTHURST, FRICK	2800 E SUNRISE BLVD #18A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 18-APER CDO BK/Pg: 4184/178
64	504201G09998	COCOUNUT BAY RESORT INC	919 N BIRCH ROAD	FORT LAUDERDALE	FL	33304	COCOUNUT BAY RESORT TIMESHARE CONDOOPER CDO BK/Pg: 9776/521
65	504201AH0760	COHEN, IRIS D	2800 E SUNRISE BLVD APT 17D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 17-DPER CDO BK/Pg: 4184/178
66	504201AH0050	COHN, MILBRED	2800 E SUNRISE BLVD #15E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 15-FPER CDO BK/Pg: 4184/178
67	504201CK0290	COLLICA, PAUL J	2001 N OCEAN DR #1201	FORT LAUDERDALE	FL	33305	CARLTON TOWER CONDOUNIT 5-EPER CDO BK/Pg: 8513/681
68	504201CK1080	COLLINS, KEVIN MICHAEL & BIANCOSINO, ANTHONY	3000 E SUNRISE BLVD #16D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 16-DPER CDO BK/Pg: 8513/681
69	504201PW0340	CONSTANCE M BENITZ TR & BENITZ, CONSTANCE M TRSTEE ETAL	710 W BENTON AVE	NAPERVILLE	IL	60540	MARINE COLONY VILLAS CO-OP UNIT 3D
70	504201CK1060	COPPOLA, PAUL	4 WOODSIDE LN	RYE	NY	10580	CARLTON TOWER CONDOUNIT 16-BPER CDO BK/Pg: 8513/681
71	504201CK1070	COPPOLA, PAUL & ANTONELLA	4 WOODSIDE LANE	RYE	NY	10580	CARLTON TOWER CONDOUNIT 16-CPER CDO BK/Pg: 8513/681
72	504201PW0400	COUNCL, JAMES R III & GROUNDER, KRIS R	200 2 AVE S	ST PETERSBURG	FL	33701	MARINE COLONY VILLAS CO-OP UNIT 9D
73	504201CK1000	DAMIJANOVIC, DRAGMIVA	3000 E SUNRISE BLVD APT 15D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 15-DPER CDO BK/Pg: 8513/681

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74	504201AP0540	DAVID F STOWE LIV TR & STOWE, DAVID F TRSSTE	2611 N WAHL AVE	MILWAUKEE	WI	53211	LE CLUB INTERNATIONAL CONDOUNIT 1405PER CDO BK/P/G: 33621/1210
75	504201DC0470	DAVIDSON, JOEL	919 N BIRCH ROAD STE 407	FORT LAUDERDALE	FL	33304	COCONUT BAY RESORT CONDOUNIT 407PER CDO BK/P/G: 9776/521
76	504201AH0370	DAVIS, CAROL J	2800 E SUNRISE BLVD #10A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 10 APER CDO BK/P/G: 4184/178
77	504201AP0270	DAVIS, CHARLES H I/E & SCHIAVO, MARIO J	2845 NE 9 ST APT 901	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 901PER CDO BK/P/G: 33621/1210
78	504201CK0500	DE HERMANDEZ, SONIA CRUZ	3000 E SUNRISE BLVD #88	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 8-BPER CDO BK/P/G: 8513/681
79	504201AP0090	DE VRIES, CHRISTINE H TRSSTEE	2845 NE 9 ST #1202	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 601PER CDO BK/P/G: 33621/1210
80	504201CK0620	DEADY, EUGENE	3000 E SUNRISE BLVD #15B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 9-4PER CDO BK/P/G: 8513/681
81	504201CK0780	DEADY, EUGENE	3000 E SUNRISE BLVD #15B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 11-FPER CDO BK/P/G: 8513/681
82	504201CK0980	DEADY, EUGENE	3000 E SUNRISE BLVD APT 15B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 15-BPER CDO BK/P/G: 8513/681
83	504201CK0680	DEAN, ROBERT M & RAY, ELEANOR	PO BOX 22692	FORT LAUDERDALE	FL	33335	CARLTON TOWER CONDOUNIT 10-DPER CDO BK/P/G: 8513/681
84	504201CK0690	DEAN, ROBERT M & RAY, ELEANOR	368 NE 7 AVE	FORT LAUDERDALE	FL	33301	CARLTON TOWER CONDOUNIT 10-EPER CDO BK/P/G: 8513/681
85	504201CK0150	DEMIRHAN, ABDURAZZAK	3000 E SUNRISE BLVD APT 3G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 3-GPER CDO BK/P/G: 8513/681
86	504201CK1270	DINAPOLI, PERRY & DINAPOLI, VINCENTZA	3000 E SUNRISE BLVD #PHG	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT PH-GPER CDO BK/P/G: 8513/681
87	504201CK1220	DINAPOLI, VINCENTZA AMATO	19 ELMWOOD AVE	WEST HARRISON	NY	10604	CARLTON TOWER CONDOUNIT PH-BPER CDO BK/P/G: 8513/681
88	504201AP0430	DONOFRIO, ANTHONY	2845 NE 9 ST UNIT 1105	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1105 & 1106PER CDO BK/P/G: 33621/1210
89	504201AP0640	DOYLE, DAWN J & DAWN J DOYLE REV LIV TR	2845 NE 9 ST #PH4	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT PH4PER CDO BK/P/G: 33621/1210
90	504201AP0320	DRUEY FAMI TR & DRUEY, DAVID & KRISTIN TRS	2845 NE 9 ST #906	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 906PER CDO BK/P/G: 33621/1210
91	504201PW0250	ESCARDA, EILEEN & RAMSAY, ANDREA	4923 NW 66 AVE	LAUDERHILL	FL	33319	MARINE COLONY VILLAS CO-OPUNIT 5C
92	504201AH0380	ESPLEY, STEPHEN H & FERRARIS, PHYLLIS A	2800 E SUNRISE BLVD #10B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 10-BPER CDO BK/P/G: 4184/178
93	504201CK0110	ESTEVEZ, MONTEJO, JESUS R & MORENO, MARIA I	3000 NE 48 ST APT 104	FORT LAUDERDALE	FL	33308	CARLTON TOWER CONDOUNIT 3-CPER CDO BK/P/G: 8513/681
94	504201AP0610	ETTOZZE & %IOHN WOOD ESQ	4900 WOODWAY DR #1110	HOUSTON	TX	77056	LE CLUB INTERNATIONAL CONDOUNIT 1506PER CDO BK/P/G: 33621/1210
95	504201AP0060	FELDER, LAWRENCE & ELYSE	2845 NE 9 ST #504	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 504PER CDO BK/P/G: 33621/1210
96	504201PW0260	FELTMAN, JOHN	PO BOX 11064	FORT LAUDERDALE	FL	33339	MARINE COLONY VILLAS CO-OPUNIT 6C
97	504201PW0230	FELTMAN, JOHN C	PO BOX 11064	FORT LAUDERDALE	FL	33339	MARINE COLONY VILLAS CO-OPUNIT 2C
98	504201AH0040	FENSTEMAKER, RICHARD LEE & DEWEY, ROBERT LEON	2800 E SUNRISE BLVD APT 4D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 4-DPER CDO BK/P/G: 4184/178
99	504201CK0140	FERRERIA, JUAN JOSE & MONICA T	13087 SW 197 ST	MIAMI	FL	33177	CARLTON TOWER CONDOUNIT 3-FPER CDO BK/P/G: 8513/681
100	504201AP0150	FERRY, DAVID PAUL & GAUTHE, CHRISTIAN	2845 NE 9 ST #701	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 701PER CDO BK/P/G: 33621/1210
101	504201CK0830	FINNEGAN, DAVID & FINNEGAN, DEIRDRE	3000 E SUNRISE BLVD #12C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 12-CPER CDO BK/P/G: 8513/681
102	504201CK0820	FINNEGAN, DAVID & DEIRDRE	3000 E SUNRISE BLVD #12B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 12-BPER CDO BK/P/G: 8513/681
103	504201PW0090	FINNEGAN, MICHAEL	901 N BIRCH RD #9A	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 9A
104	504201CK0700	FISHER, JONATHAN PETER & GARCIMONDE-FISHER, LAUREN B	3000 E SUNRISE BLVD #10F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 10-FPER CDO BK/P/G: 8513/681
105	504201AP0410	FITZJOHN, MARIE LABBATO & MARIE L FITZJOHN REV LIV TR	2845 NE 9 ST #1103	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1103PER CDO BK/P/G: 33621/1210
106	504306000010	FLORIDA DEPT OF TRANSPORTATION & OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	06-50-43POR OF ST RD A1A LYING FROM S/L/O BIRCH OCEAN FRONT SUB 19-26BNLV TO SUNRISE BLVD AS PER R/W MAP 2-48 SHT 4 & MISC MB 8-149
107	504201AH0720	FRASER, LESLIE A & ZAEHNER, MEINARD WOLFGANG	2800 E SUNRISE BLVD UNIT 16F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 16-FPER CDO BK/P/G: 4184/178
108	504201AH0240	FUENTES FAMILY TRUST LLC	21011 JOHNSON ST #110	PEMBROKE PINES	FL	33029	SUNRISE EAST CONDOUNIT 7-FPER CDO BK/P/G: 4184/178

109	504201APW0220	GAMCOR, LLC	80 ORCHARD POINT RD	*TORONTO ON	CA	M4L 3	MARINE COLONY VILLAS CO-OP UNIT 1C
110	504201CK0930	GAINY, THOMAS E	156 OCEAN AVE	BREEZY POINT	NY	11697	CARLTON TOWER CONDOUNIT 14-EPER CDO BK/Pg: 8513/681
111	504201AP0160	GARDNER, ANNETTE	2845 NE 9 ST #702	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 702PER CDO BK/Pg: 33621/1210
112	504201AH0460	GARREANS, MELISSA	2800 E SUNRISE BLVD #41D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 11 DPER CDO BK/Pg: 4184/178
113	504201PW0110	GEORGE N BLISS TR & BLISS, GEORGE N TRSTEE	132 WATERFALL LN	BIRMINGHAM	MI	48009	MARINE COLONY VILLAS CO-OP UNIT 1B
114	504201PW0120	GIANNETTA, KATHY	901 N BIRCH RD #2B	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OP UNIT 2B
115	504201AH0050	GIANNOTTI, JAMES A	2800 E SUNRISE BLVD APT 4E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 4 EPER CDO BK/Pg: 4184/178
116	504201AP0130	GILL, DEBRA P	2845 NE 9 ST #605	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 605PER CDO BK/Pg: 33621/1210
117	504201CK0650	GILMORE INVESTMENTS INC	3000 E SUNRISE BLVD APT 10A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 10-APER CDO BK/Pg: 8513/681
118	504201CK0090	GOLENKO, ALEKEY	3020 NE 32 AVE #603	FORT LAUDERDALE	FL	33308	CARLTON TOWER CONDOUNIT 3-APER CDO BK/Pg: 8513/681
119	504201AP0110	GOOD, ROBIN L & PACHER, ROBERT E	34 OAKCAREST LN	HASTINGS ON HUDSON	NY	10706	LE CLUB INTERNATIONAL CONDOUNIT 603PER CDO BK/Pg: 33621/1210
120	504201AP0470	GOODMAN, STEVE	2845 NE 9 ST #1203	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1203PER CDO BK/Pg: 33621/1210
121	504201AH0880	GOODWIN, LISA	4625 PONDEROSA TRL	LITTLETON	CO	80125	SUNRISE EAST CONDOUNIT 19 DPER CDO BK/Pg: 4184/178
122	504201CK1190	GUSTAS, CAROL	3000 E SUNRISE BLVD #17G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 17-GPER CDO BK/Pg: 8513/681
123	504201CK0850	HAWLET-METZ LIV TR & HAWLET-METZ, MARIO TRSTEE	3900 N OCEAN DR #12G	FORT LAUDERDALE	FL	33308	CARLTON TOWER CONDOUNIT 12-EPER CDO BK/Pg: 8513/681
124	504201AH0280	HAENSEN, BRIGITTA	2800 E SUNRISE BLVD #8D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 8 DPER CDO BK/Pg: 4184/178
125	504201CK0060	HARJANI, NARJAN & LAUWAN, SUSHILA	3000 E SUNRISE BLVD APT 2F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 2-PPER CDO BK/Pg: 8513/681
126	504201CK1140	HAROS, NICHOLAS	2100 N OCEAN BLVD UNIT 26D	FORT LAUDERDALE	FL	33305	CARLTON TOWER CONDOUNIT 17-BPER CDO BK/Pg: 8513/681
127	504201CK0450	HARRY THOMAS WILSON III REV TR & WILSON, HARRY THOMAS III TRSTEE	10 VENETIAN WAY #903	MIAMI BEACH	FL	33139	CARLTON TOWER CONDOUNIT 7-EPER CDO BK/Pg: 8513/681
128	504201AP0600	HAWKINS, JAMES L & JAMES L HAWKINS REV TR	2845 NE 9 ST #1505	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1505PER CDO BK/Pg: 33621/1210
129	504201AH0130	HEBERLING, RUSSELL W & CLARK, WILLIAM R	2800 E SUNRISE BLVD #6A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 6 APER CDO BK/Pg: 4184/178
130	504201CK0510	HEIL, PERNIL MILDRED	3000 E SUNRISE BLVD #8C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 8-CPER CDO BK/Pg: 8513/681
131	504201CK0920	HERD, JAMES E JR	3000 E SUNRISE BLVD #14D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-DPER CDO BK/Pg: 8513/681
132	504201CK0200	HERNANDEZ, SONIA	3000 E SUNRISE BLVD #88	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 4-DPER CDO BK/Pg: 8513/681
133	504201AH0410	HERSHOVITZ, CRAIG E	2800 E SUNRISE BLVD #10E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 10 EPER CDO BK/Pg: 4184/178
134	504201AH0470	HODKOWSKI, ANN MARIE & STANLEY	2800 E SUNRISE BLVD #5A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 5 APER CDO BK/Pg: 4184/178
135	504201AH0730	HOFF, ERIKA CHRISTINE & LAURSEN, BRETT PAUL	2800 E SUNRISE BLVD #17A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 17 APER CDO BK/Pg: 4184/178
136	504201CK0270	HOFFSTROM, RANDALL S	3000 E SUNRISE BLVD UNIT 5C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 5-CPER CDO BK/Pg: 8513/681
137	504201AH0400	HOUSTON, MICHAEL W	2800 E SUNRISE BLVD #10D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 10 DPER CDO BK/Pg: 4184/178
138	504201DC0630	HUGHES, ALEXANDER & HELEN	9 CUDIA CRESCENT	*SCARBOROUGH ON	CA	M1M 2	COCONUT BAY RESORT CONDOUNIT 510PER CDO BK/Pg: 9776/521
139	504201AP0250	HUGHES, LAURA A	2845 NE 9 ST #805	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 805PER CDO BK/Pg: 33621/1210
140	504201CK0430	HURLEY, TERENCE F/H/E & HURLEY, LAURA A	3000 E SUNRISE BLVD #7C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 7-CPER CDO BK/Pg: 8513/681
141	504201CK0660	IUGIN, ALI & NORMA & ALI & NORMA IUGIN REV TR	3000 E SUNRISE BLVD # 10B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 10-BPER CDO BK/Pg: 8513/681
142	504201AP0230	IMPERIAL OPTICAL LIMITED	2845 NE 9 ST #803	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 803PER CDO BK/Pg: 33621/1210
143	504201390011	INTERNAL IMPROVEMENT TR FUND & STATE OF FL BOARD TRSTEES	DNR-DOUGLAS BLVD	TALLAHASSEE	FL	32399	LE CLUB TOWERS 69-29 BA POR OF TRACT 7, DESC AS: BEG ATSW COR SAID TR Z, NW 149.88 TOP/C,NLY AN ARC DIST 39.39 TO P/TE 47.45 S 175. W 72.81 TO POB
144	504201000012	INTERNATIONAL BEACH HOTEL DEV	909 BREAKERS AVE	FORT LAUDERDALE	FL	33304	1-50-42POR GOV LOT 1 DESC INOR 4076/445
145	504201AH0020	IRONS, JIAN S	2800 E SUNRISE BLVD #4B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 4 BPER CDO BK/Pg: 4184/178
146	504201CK0520	IZAT, MARWAN K	VIA MONTERREDO 4	*60020 SIRIOLO AN RUSHVILLE	IT	<Null>	CARLTON TOWER CONDOUNIT 8-DPER CDO BK/Pg: 8513/681
147	504201DC0250	J & R REALTY INC	210 E US HWY 52 #E	RUSHVILLE	IN	46173	COCONUT BAY RESORT CONDOUNIT 107PER CDO BK/Pg: 9776/521

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148	504201CK1010	JAMES A CARLTON LIV TR & CARLTON/JAMES A TRSTEE	2247 FRISCO PL	INDIANAPOLIS	IN	46240	CARLTON TOWER CONDOUNIT 15-FPER CDO BK/Pg: 8513/681
149	504201AH0120	JIM WOOD REV FAM TR & WOOD,JUSTINE & WOOD,M M TRSTEE	PO BOX 768	OLD ORCHARD BEACH	ME	4064	SUNRISE EAST CONDOUNIT 5 PPER CDO BK/Pg: 4184/178
150	504201CK0640	JOHNSON,FRED H III & FRED H JOHNSON III LIV TR	3000 E SUNRISE BLVD #9H	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 9-HPER CDO BK/Pg: 8513/681
151	504201AH0420	JOHNSTON,THOMAS & SHARON	PO BOX 1431	CORNELLUS	NC	28031	SUNRISE EAST CONDOUNIT 10 PPER CDO BK/Pg: 4184/178
152	504201PW0010	JONES,ERIC & KISH,ROBERT A	2244 STOCKBRIDGE RD	AKRON	OH	44313	MARINE COLONY VILLAS CO-OPUNIT 1A
153	504201PW0100	JULIANN B MCGUIRE REV TR & MCGUIRE,JULIANN B TRSTEE	500 GRAND HILL #5	SAINTE PAUL	MI	55102	MARINE COLONY VILLAS CO-OPUNIT 10A
154	504201CK0170	JUNGOSA,CARLOS	3000 E SUNRISE BLVD #4A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 4-APER CDO BK/Pg: 8513/681
155	504201CK1260	KABBEZ,GEORGE & KABBEZ,THERESA D	171 86 ST	BROOKLYN	NY	11209	CARLTON TOWER CONDOUNIT PH-FPER CDO BK/Pg: 8513/681
156	504201AH0060	KALVAITIS GROUP LLC	7450 NW 84 AVE	PARKLAND	FL	33067	SUNRISE EAST CONDOUNIT 4 PPER CDO BK/Pg: 4184/178
157	504201CK0890	KARAMAT,KHAOUAN & LAURIE	3000 E SUNRISE BLVD APT 14A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-APER CDO BK/Pg: 8513/681
158	504201PW0300	KENNETH RICKEL IRA #1416 & NEXT GENERATION TR SVCS TRSTEE	75 LIVINGSTON AVE 3RD FLOOR	ROSELAND	NJ	7068	MARINE COLONY VILLAS CO-OPUNIT 10C
159	504201AP0560	KENT,WILLIAM A & WILLIAM A KENT REV TR	2845 NE 9 ST #1501	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1501PER CDO BK/Pg: 33621/1210
160	504201AP0240	KESSLER,KEVIN R & KEVIN R KESSLER REV TR	2845 NE 9 ST #804	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 804PER CDO BK/Pg: 33621/1210
161	504201AH0870	KEVIN MELIA LIFETIME TR & MELIA,KEVIN TRSTEE	2800 E SUNRISE BLVD #19C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 19 CPER CDO BK/Pg: 4184/178
162	504201CK1240	KILGORE, TERRY	3000 E SUNRISE BLVD #PH D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT PH-DPER CDO BK/Pg: 8513/681
163	504201AH0270	KLEIN,ROBERT M & DENEALU,T ERNEST A	2800 E SUNRISE BLVD #8C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 8 CPER CDO BK/Pg: 4184/178
164	504201AH0630	KLEIN,VICTORIA & VICTORIA & M KLEIN JOINT LIV TR	2800 E SUNRISE BLVD APT 15C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 15 CPER CDO BK/Pg: 4184/178
165	504201PW0040	KLEIN,WALTER	319 N 4 ST STE 212	ST LOUIS	MO	63102	MARINE COLONY VILLAS CO-OPUNIT 4A
166	504201AH0170	KNASIN,EILEEN & KNASIN,PAUL	38 MODULE DR	CRAWSTON	RI	2921	SUNRISE EAST CONDOUNIT 6 PPER CDO BK/Pg: 4184/178
167	504201AP0220	KOCHER,KRIS & KRVC,H ROBERT M	2845 NE 9 ST UNIT 802	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 802PER CDO BK/Pg: 33621/1210
168	504201AH0220	KOHLMANN,RONALD & KOHLMANN,SUZANNE	55 SHERYL CRES	SMITHTOWN	NY	11787	SUNRISE EAST CONDOUNIT 7 DPER CDO BK/Pg: 4184/178
169	504201CK1020	KUNCGAR,PATRICIA ELIANA ANANIAS & KUNCGAR,SYLVIA	3000 E SUNRISE BLVD #15F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 15-FPER CDO BK/Pg: 8513/681
170	504201CK1160	PARIS,JORGE ANTONIO FERRER	ANTILLHE 6582	*SANTIAGO 7660156	CI		CARLTON TOWER CONDOUNIT 17-DPER CDO BK/Pg: 8513/681
171	504201AP0630	KYLE,GARRY	2500 SCENIC DR	FLOWER MOUND	TX	75022	LE CLUB INTERNATIONAL CONDOUNIT PH3PER CDO BK/Pg: 33621/1210
172	504201CK0010	LADOLCETTA,GARY & LADOLCETTA,LINDA	4211 INTRACOASTAL DR	HIGHLAND BCH	FL	33487	CARLTON TOWER CONDOUNIT 2-APER CDO BK/Pg: 8513/681
173	504201AP0030	LAHTI,ERIK A & SHARON W	2845 NE 9 ST UNIT 501	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 501PER CDO BK/Pg: 33621/1210
174	504201CK0100	LALWANI,MONITY N H/E LALWANI,NARAIN S & ASHA N	3000 E SUNRISE BLVD #38	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 3-BPER CDO BK/Pg: 8513/681
175	504201CK1180	LAST,JEEREE	3000 E SUNRISE BLVD #17F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 17-FPER CDO BK/Pg: 8513/681
176	504201CK1130	LAW,JOHN H H/E & LAW,ELAINE	3000 E SUNRISE BLVD #17A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 17-APER CDO BK/Pg: 8513/681
177	504201AH0710	LEE SIMERMANN TR	725 LOMBARD ST	PHILADELPHIA	PA	19147	SUNRISE EAST CONDOUNIT 16 PPER CDO BK/Pg: 4184/178
178	504201CK0810	LEE,ARTHUR & LEE,JOANNE	42 WINSTON DR	SMITHTOWN	NY	11787	CARLTON TOWER CONDOUNIT 12-APER CDO BK/Pg: 8513/681
179	504201CK0880	LEE,JOANNE	42 WINSTON DR	SMITHTOWN	NY	11787	CARLTON TOWER CONDOUNIT 12-HPER CDO BK/Pg: 8513/681
180	504201CK0600	LENOBLE,ALAN A	417 GRAND ST D1602	NEW YORK	NY	10002	CARLTON TOWER CONDOUNIT 9-DPER CDO BK/Pg: 8513/681
181	504201AP0330	LUDELL,GARRETT M	2845 NE 9 ST #1001	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1001PER CDO BK/Pg: 33621/1210
182	504201CK0390	LIEM,WELIK & LIEM,AUBREY	2800 E SUNRISE BLVD #18B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 6-PER CDO BK/Pg: 8513/681
183	504201AH0800	LIEM,WELIK & AUBREY M	2800 E SUNRISE BLVD #18B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 18 PPER CDO BK/Pg: 4184/178

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184	504201AH0610	LILLIAN B BOZZUTO TR & KNOX, CHARLES H TRSTEE	275 SCHOOLHOUSE ROAD	CHESHIRE	CT	6410	SUNRISE EAST CONDOUNIT 15 APER CDO BK/Pg: 4184/178
185	504201AH0750	LUSZEWSKI, PETER	2800 E SUNRISE BLVD #17-C	SUNRISE	FL	33304	SUNRISE EAST CONDOUNIT 17 CPER CDO BK/Pg: 4184/178
186	504201AH0850	LOMONACO, ANTONIA & MASSARELLI, JOE	4301 N OCEAN BLVD APT 4A06	BOCA RATON	FL	33431	SUNRISE EAST CONDOUNIT 19 APER CDO BK/Pg: 4184/178
187	504201AH0660	LONGINI, HOWARD B & SUSAN M	2800 E SUNRISE BLVD #15F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 15 FPER CDO BK/Pg: 4184/178
188	504201AH0700	LUIZZO, JOHN	PO BOX 1102	MANSLFIELD	MA	2048	SUNRISE EAST CONDOUNIT 16 DPER CDO BK/Pg: 4184/178
189	504201AH0300	LYNAR, KEVIN ANDREW	2800 E SUNRISE BLVD #9C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 9 CPER CDO BK/Pg: 4184/178
190	504201AH0450	LYNCH FAMILY TR & LYNCH, JOSEPH F & MARY ANN TRSTEE	57 MURRAY AVE	YONKERS	NY	10704	SUNRISE EAST CONDOUNIT 11 CPER CDO BK/Pg: 4184/178
191	504201CK0310	MACCLELLAN, WILLIAM & MACCLELLAN, SERENA	3000 E SUNRISE BLVD #15C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 5-GPER CDO BK/Pg: 8513/681
192	504201CK0990	MACCLELLAN, WILLIAM T & MACCLELLAN, SERENA	1247Z 79TH ST	BROOKLYN	NY	11228	CARLTON TOWER CONDOUNIT 15-CPER CDO BK/Pg: 8513/681
193	504201CK0220	MADRERA, KAREN	3000 E SUNRISE BLVD #4F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 4-FPER CDO BK/Pg: 8513/681
194	504201CK0800	MADELINE VALDES REV TR & VALDES, MADELINE TRSTEE	15320 DUNNFOR DOR	MIAMI LAKES	FL	33014	CARLTON TOWER CONDOUNIT 11-HPER CDO BK/Pg: 8513/681
195	504201AH0640	MALATESTA, CARMINE & MALATESTA, MIRELLA	2800 E SUNRISE BLVD #15D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 15 DPER CDO BK/Pg: 4184/178
196	504201AP0660	MALVIN CARL TEICH REV TR & TEICH, MALVIN CARL TRSTEE	70 MONTGOMERY ST	BOSTON	MA	2116	LE CLUB INTERNATIONAL CONDOUNIT PH6PER CDO BK/Pg: 33621/1210
197	504201CK0860	MARINA MICHELE & MARINA, RICHARD	160 HUSTIS RD	COLD SPRINGS	NY	10516	CARLTON TOWER CONDOUNIT 12-FPER CDO BK/Pg: 8513/681
198	504201PW0301	MARINE COLONY VILLAS INC	20423 STATE RD 7 STE F6 #490	BOCA RATON	FL	33498	MARINE COLONY VILLAS CO-OP UNIT 11C
199	504201CK0710	MARKS, MALCOLM	3000 E SUNRISE BLVD APT 10G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 10-GPER CDO BK/Pg: 8513/681
200	504201CK0960	MARTIN, CHARLES I	3000 E SUNRISE BLVD APT 14H	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-HPER CDO BK/Pg: 8513/681
201	504201AH0930	MATILDE Y ZUCKERMAN TR & ZUCKERMAN, MATILDE Y TRSTEE	2800 E SUNRISE BLVD #PH-J	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT PH JPER CDO BK/Pg: 4184/178
202	504201AH0430	MAURELLI, JOSEPH & VOLANDA M	2800 E SUNRISE BLVD APT 11A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 11 APER CDO BK/Pg: 4184/178
203	504201AP0530	MAYROSH, STEPHEN J & LOUIS J CISSONE TR	2845 NE 9 ST #4104	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1404PER CDO BK/Pg: 33621/1210
204	504201CK0160	MC GLOBAL CORP	2025 NW 102 AVE #103	DORAL	FL	33172	CARLTON TOWER CONDOUNIT 3-HPER CDO BK/Pg: 8513/681
205	504201CK0670	MCELROY, MARK	280 BOVINGTON ST UNIT 505	CHESTNUT HILL	MA	2467	CARLTON TOWER CONDOUNIT 10-CPER CDO BK/Pg: 8513/681
206	504201AP0400	MCGUIRE, F JAMES	2845 NE 9 ST #1102	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1102PER CDO BK/Pg: 33621/1210
207	504201AH0620	MCHUGH, GARY M & MCHUGH, SUSAN M	1204 KAVANAUGH PLACE	WALWATOSA	WI	53213	SUNRISE EAST CONDOUNIT 15 BPER CDO BK/Pg: 4184/178
208	504201PW0190	MCGINNIS, RONALD & KATHLEEN	7 GANDER COVE	*INNSFEL ON	CA	195 1	MARINE COLONY VILLAS CO-OP UNIT 9B
209	504201AH0780	MCLACHLAN, FINLEY J & MCLACHLAN, WILLIAM G	71 RIDELE AVE	*TORONTO ON	CA	M6B 1	SUNRISE EAST CONDOUNIT 7 PER CDO BK/Pg: 4184/178
210	504201AH0230	MEALGARY & MEALJEANNE	2800 E SUNRISE BLVD #7E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 7 EPER CDO BK/Pg: 4184/178
211	504201AH0510	MEINERT, TIMOTHY J & ADDISON, MARK F	2800 E SUNRISE BLVD #12C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12 CPER CDO BK/Pg: 4184/178
212	504201AH0740	MELL, RUSSELL D & OHRUM, WILLIAM E	328 W OLD YORK RD	CARLISE	PA	17015	SUNRISE EAST CONDOUNIT 17 BPER CDO BK/Pg: 4184/178
213	504201AH0810	MESSIHA, NADIA Y & SHERIF Z	2800 E SUNRISE BLVD # 18C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 18 CPER CDO BK/Pg: 4184/178
214	504201AH0820	MEYER, MICHAEL M H/E & VEGA, LEDDAR	2800 E SUNRISE BLVD #18D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 18 DPER CDO BK/Pg: 4184/178
215	504201AP0300	MH FORT LAUDERDALE LLC	3717 ROSWELL RD	ATLANTA	GA	30342	LE CLUB INTERNATIONAL CONDOUNIT 904PER CDO BK/Pg: 33621/1210
216	504201AP0420	MICHAEL C VANDERBURG REV TR	49 WHITTIERBIRCH CIR	MILLER PLACE	NY	11764	LE CLUB INTERNATIONAL CONDOUNIT 1104PER CDO BK/Pg: 33621/1210
217	504201CK0930	MICHEL, SOPHIE T	3000 E SUNRISE BLVD APT 6A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 6-APER CDO BK/Pg: 8513/681
218	504201PW0140	MICRO ACCOUNTING LTD	118 WINSTON RD	*WINNIPEG MB	CA	R3J 1	MARINE COLONY VILLAS CO-OP UNIT 4B
219	504201AP0360	MIVARES, JAVIER H/E & AMAHROUB, DEAN	2845 NE 9 ST #1004	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1004PER CDO BK/Pg: 33621/1210
220	504201CK0460	MOUZAKIS, EUGENE	17 JONQUILLE	*KIRKLAND QC	CA	H9H 5	CARLTON TOWER CONDOUNIT 7-FPER CDO BK/Pg: 8513/681
221	504201CK1250	MUNSTER, CHARLES W	3000 E SUNRISE BLVD #9HE	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT PH-EPER CDO BK/Pg: 8513/681
222	504201AH0920	NASSER, MARION & MARLON J NASSER LUV TR	2800 E SUNRISE BLVD # PHH	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT PH HPER CDO BK/Pg: 4184/178
223	504201CK0070	NASTO, MICRINI & KHUNI, MINOZA	61-11 WOODBINE ST 43R	RIDGEMOOD	NY	11385	CARLTON TOWER CONDOUNIT 2-GPER CDO BK/Pg: 8513/681
224	504201AH0590	NESBITT, MARRROSE	2800 E SUNRISE BLVD #14E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 14 EPER CDO BK/Pg: 4184/178
225	504201AH0530	NOCCO, FRANK	2800 E SUNRISE BLVD #12E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12 EPER CDO BK/Pg: 4184/178

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226	504201AP0100	NORD, JOHN S & TERESA M	2845 NE 9 ST #602	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 602PER CDO BK/PG: 33621/1210
227	504201PW0310	NORTH BIRCH LLC	745 WILLVEE DR	DECATUR	GA	30033	MARINE COLONY VILLAS CO-OPUNIT 12C
228	504201CK0540	OLANDER, SVEN T H/E & SERENIUS, KATRI I OLANDER	3000 E SUNRISE BLVD #8F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 8-PPER CDO BK/PG: 8513/681
229	504201AH0140	OLENDER, THOMAS W & THOMAS W OLENDER REV TR	2800 E SUNRISE BLVD #6B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 6 BPER CDO BK/PG: 4184/178
230	504201AH0920	ONG, MICHAEL K	2800 E SUNRISE BLVD #9B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 9 BPER CDO BK/PG: 4184/178
231	504201AP0570	OZGORKEY, MURAT & OZGORKEY, M SELIM	CAPAK KOVU JOLLI CADDESI #11	TORBALI 12 MIR	TR	35860	IE CLUB INTERNATIONAL CONDOUNIT 1502PER CDO BK/PG: 33621/1210
232	504201AP0990	P TZANET TR	4150 PLACE FRANCOISE-LORANGE	*MONTREAL QC	CA	H4R 2	IE CLUB INTERNATIONAL CONDOUNIT 1205PER CDO BK/PG: 33621/1210
233	504201PW0270	PANELLA, JACK A & PANELLA, VIVIAN	89 CENTRAL DR	EASTON	PA	18045	MARINE COLONY VILLAS CO-OPUNIT 7C
234	504201CK0130	PAUL, PAVLACK REV LIV TR & PAVLACK, PAUL TRSTEE ETAL	19333 COLLINS AVE #1110	SUNNY ISLES BEACH	FL	33160	CARLTON TOWER CONDOUNIT 3-PPER CDO BK/PG: 8513/681
235	504201AH0540	PELCZYNSKI, MATTHEW THOMAS H/E & PELCZYNSKI, THOMAS JOHN	2800 E SUNRISE BLVD #12F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12 FPER CDO BK/PG: 4184/178
236	504201AP0140	PENLEY, SCOTT E & LAUREN A	2845 NE 9 ST #606	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 606PER CDO BK/PG: 33621/1210
237	504201AP0620	PEREZ, JOSEPH H	2845 NE 9 ST #PH 2	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT PH2PER CDO BK/PG: 33621/1210
238	504201AP0120	PESTELL, RICHARD & ANNA	2845 NE 9 ST #604	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 604PER CDO BK/PG: 33621/1210
239	504201CK1210	PETRI, CHRIS & PETRI, LISA KAY	34W201 ARMY TRAIL RD	WAYNE	IL	60184	CARLTON TOWER CONDOUNIT PH-APER CDO BK/PG: 8513/681
240	504201CK0490	PINO, NOELI MARIA	33 SAN VICENTE	*BUENOS AIRES CP1865	AR	<Null>	CARLTON TOWER CONDOUNIT 8-APER CDO BK/PG: 8513/681
241	504201CK0400	POG FAMILY TR & GODINA, MARY TRSTEE ETAL	29 RUE HICKORY	*DOLLARD DES ORMEAUX QC	CA	H9G 3	CARLTON TOWER CONDOUNIT 6-HPER CDO BK/PG: 8513/681
242	504201CK1040	POLANCO, ERNESTINA & POLANCO, SALVADOR	1110 N FARMSWORTH AVE #101	AURORA	IL	60505	CARLTON TOWER CONDOUNIT 15-HPER CDO BK/PG: 8513/681
243	504201CK0950	POPE, BARBARA	3000 E SUNRISE BLVD #14G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-GPER CDO BK/PG: 8513/681
244	504201CK0380	PORRETT, ANTHONY	69-23 60 DR	MASETEH	NY	11378	CARLTON TOWER CONDOUNIT 6-HPER CDO BK/PG: 8513/681
245	504201CK0300	POWNER, THOMAS & TORRES, ROBERTO	3000 E SUNRISE BLVD #5F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 5-FPER CDO BK/PG: 8513/681
246	504201AP0070	PRACKER, DAVID & MARIE & IDA PRACKER REV LIV TR	2845 NE 9 ST, 505	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 505PER CDO BK/PG: 33621/1210
247	504201AP0280	PRICE, CORRETT A	2845 NE 9 ST #902	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 902PER CDO BK/PG: 33621/1210
248	504201140130	PUBLIC LAND % CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301	SEABRIDGE 21-46 BHAMILTON SUBDIVISION 68-20 B STREETS, AVENUES, AND ROADS DEDICATED TO PUBLIC PER PLAT21-46 B AND THOROUGHFARES DEDICATED TO PUBLIC PER PLAT168-20 B
249	504201140140	PUBLIC LAND % CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301	SEABRIDGE 21-46 BWAYTERWAYS DEDICATED PER PLAT21-46 B
250	504201AP0260	QUERUGA, NARCISO & QUERUGA, RAMONA	2845 NE 9 ST #806	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 806PER CDO BK/PG: 33621/1210
251	504201CK0570	R J DASH INVESTMENTS INC	161 LYTTON BLVD	*RICHMOND HILL ON	CA	L4B 3	CARLTON TOWER CONDOUNIT 9-APER CDO BK/PG: 8513/681
252	504201AP0380	RAZIN, STEVE M	2845 NE 9 ST #1006	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 1006PER CDO BK/PG: 33621/1210
253	504201CK0770	RAWOS, RENEE	3000 E SUNRISE BLVD APT 11E	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 11-EPER CDO BK/PG: 8513/681
254	504201CK0230	RASORIO LLC	1155 BRICKELL BAY DR APT 1901	MIAMI	FL	33131	CARLTON TOWER CONDOUNIT 4-GPER CDO BK/PG: 8513/681
255	504201AH0290	RATCLIFFE, DAVID E	2800 E SUNRISE BLVD APT 8E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 8 EPER CDO BK/PG: 4184/178
256	504201CK0760	RAY, ELEANOR N H/E & DEAN, ROBERT M	3000 E SUNRISE BLVD #11D	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 11-DPER CDO BK/PG: 8513/681
257	504201AH0960	REED, PAUL	2800 E SUNRISE BLVD #9F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 9 FPER CDO BK/PG: 4184/178
258	504201PW0050	REISNER, DAVID J & LOUITTA	3094 CLUBHOUSE RD	MERRICK	NY	11565	MARINE COLONY VILLAS CO-OPUNIT 5A
259	504201AP0200	REISNER, LOUITTA	2845 NE 9 ST #706	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 706PER CDO BK/PG: 33621/1210

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ADDITIONAL INFORMATION

Sunrise FTL Ventures, LLLP
Public Participation - 300' Malling
UDP-S21031 (alphabetical listing)

260	504201APW0150	REISNER,LOUITTA	2845 NE 9 ST # 706	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 5B
261	504201AH040	RENECKER,GLENN T & RODBERG,JENS P	1901-1132 BAY STREET	*TORONTO ON	CA	MISS 2	SUNRISE EAST CONDOUNIT 11 BPER CDO BK/Pg: 4184/178
262	504201AP0500	RICHARD F HOLMES TR & MARIANNE M HOLMES TR ETAL	PO BOX 479	SANIBEL	FL	33957	IE CLUB INTERNATIONAL CONDOUNIT 1206PER CDO BK/Pg: 33621/1210
263	504201AP0080	RICKARD,JUDITH ANN & JUDITH ANN RICKARD REV TR	1758 N ALBRIGHT AVE	UPLAND	CA	91784	IE CLUB INTERNATIONAL CONDOUNIT 506PER CDO BK/Pg: 33621/1210
264	504201AH0560	ROBERT S HOCKETT REV TR & HOCKETT,ROBERT S TRS,STE	5753 HIGHWAY 85 N	CRESTVIEW	FL	32536	SUNRISE EAST CONDOUNIT 14 BPER CDO BK/Pg: 4184/178
265	504201CK0480	ROBERT W STETSON II REV TR & ROBERT W STETSON REV TR ETAL	3000 E SUNRISE BLVD #14F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 7-HPER CDO BK/Pg: 8513/681
266	504201AH0500	ROMANOV,LEV & ITA & LEV & ITA ROMANOV REV LIV TR	2800 E SUNRISE BLVD APT 12B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12 BPER CDO BK/Pg: 4184/178
267	504201AH0260	ROSENBAUM,DEBORAH	2800 E SUNRISE BLVD #8B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 8 BPER CDO BK/Pg: 4184/178
268	504201AP0480	ROSENBAUM,JEFFRY & REBECCA	2845 NE 9 ST UNIT 1204	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 1204PER CDO BK/Pg: 33621/1210
269	504201AH0860	ROSENSTEIN REV TR & ROSENSTEIN,CYNTHIA TRS,TE ETAL	8857 E CALLE DE LAS BRISAS	SCOTTSDALE	AZ	85255	SUNRISE EAST CONDOUNIT 19 BPER CDO BK/Pg: 4184/178
270	504201AP0370	ROUWELL,MICHAEL T & KEMP,GEOFFREY P ETAL	2845 NE 9 ST #1005	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 1005PER CDO BK/Pg: 33621/1210
271	504201CK0870	RUESCH,PHILIP C	3000 E SUNRISE BLVD #12G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 12-GPER CDO BK/Pg: 8513/681
272	504201CK1090	RUIZ,ANDRES F	1854D SW 44 ST	MIRAMAR	FL	33029	CARLTON TOWER CONDOUNIT 16-EPER CDO BK/Pg: 8513/681
273	504201AH0680	RUSSELL,RONALD J JR & RONALD J RUSSELL JR LIV TR	2800 E SUNRISE BLVD # 16B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 16 BPER CDO BK/Pg: 4184/178
274	504201CK0630	RUSSO,BILLY O & RUSSO,CARMEN	3000 E SUNRISE BLVD #9G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 9-GPER CDO BK/Pg: 8513/681
275	504201D0260	SABO,STEVE Q	919 N BIRCH ROAD #108	FORT LAUDERDALE	FL	33304	COCOSUIT BAY RESORT CONDOUNIT 108PER CDO BK/Pg: 9776/521
276	504201CK1170	SAGGERSON,NEIL	3000 E SUNRISE BLVD APT 17E	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 17-EPER CDO BK/Pg: 8513/681
277	504201PV0170	SALVADOR,RENATO M & TRONO,CHRISTOPHER I	720 BAYSHORE DR #605	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 7B
278	504201AP0190	SCHUETT E,CHARLES & ISABELLE	2845 NE 9 ST #705	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 705PER CDO BK/Pg: 33621/1210
279	504201CK0260	SCHWARTZ,BLAIR H	3000 E SUNRISE BLVD APT 5B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 5-BPER CDO BK/Pg: 8513/681
280	504201PV0360	SELLERS,STEPHEN N	901 N BIRCH RD APT D5	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 5D
281	504201AH0830	SHALLER,MICHAEL JEFFREY & SHALLER,KIM LOUISE	907 CALE HERMOSA	SAN DIMAS	CA	91773	SUNRISE EAST CONDOUNIT 18 BPER CDO BK/Pg: 4184/178
282	504201AP0510	SHAPIRO,JAMES R & WENDY J	2845 NE 9 ST #402	FORT LAUDERDALE	FL	33304	IE CLUB INTERNATIONAL CONDOUNIT 1402PER CDO BK/Pg: 33621/1210
283	504201AH0570	SHEFF,DOONNA M	8310 HAMBLETONIAN DR	CINCINNATI	OH	45249	SUNRISE EAST CONDOUNIT 14 CPER CDO BK/Pg: 4184/178
284	504201CK0590	SHEKARCHI,DAVID V & EZAR,CHRISTINE MARIE	PO BOX 342432	BETHESDA	MD	20827	CARLTON TOWER CONDOUNIT 9-GPER CDO BK/Pg: 8513/681
285	504201PV0240	SHIPMAN,FRED G & SHIPMAN,KAREN S	3525 REGENT CT	ALENTOWN	PA	18103	MARINE COLONY VILLAS CO-OPUNIT 3C
286	504201AH0200	SILVERA,CRAIG B & MARY SCHMIDT	2800 E SUNRISE BLVD APT 7B	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 7 BPER CDO BK/Pg: 4184/178
287	504201AH0520	SILVENSTEIN,SCOTT DAVID	2800 E SUNRISE BLVD APT 12D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 12 DPER CDO BK/Pg: 4184/178
288	504201CK0730	SLAVENSKY,DAVID & DOMAR,CHUK,LORI	19565 E CAMPBELL RD	BEND	OR	97702	CARLTON TOWER CONDOUNIT 11-APER CDO BK/Pg: 8513/681
289	504201140010	SOUTHLAND CORP-% TAX DEPT #26169	PO BOX 711	DALLAS	TX	75221	SEABRIDGE 21-46 BLOT 1,2 BLK BA
290	504201CK0550	SPANNO,NICHOLAS A	120 COLONIAL PKWY N	YONKERS	NY	10710	CARLTON TOWER CONDOUNIT 8-GPER CDO BK/Pg: 8513/681
291	504201CK0360	SPANNO,NICHOLAS A	120 COLONIAL PKWY N	YONKERS	NY	10710	CARLTON TOWER CONDOUNIT 8-HPER CDO BK/Pg: 8513/681
292	504201CK0790	SPARBY,DAVID M & SPARBY,DANIEL J	1 ASPEN LN	NORTH OAKS	MI	55127	CARLTON TOWER CONDOUNIT 11-GPER CDO BK/Pg: 8513/681
293	504201CK0210	SPARBY,DAVID M & NANCY J	1 ASPEN LN	SANIT PAULI	MI	55127	CARLTON TOWER CONDOUNIT 4-EPER CDO BK/Pg: 8513/681
294	504201AH0070	SPARKS,CHERYL R	1005 SUNSET TER	ROCHELLE	IL	61068	SUNRISE EAST CONDOUNIT 11 EPER CDO BK/Pg: 4184/178
295	504201AH0550	SPEISER,MARK	2800 E SUNRISE BLVD #14-A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 14 APER CDO BK/Pg: 4184/178
296	504201CK0360	SPENGLER,EDWIN R	629 PARKVIEW	WALUSON	OH	43567	CARLTON TOWER CONDOUNIT 6-DPER CDO BK/Pg: 8513/681
297	504201CK0250	SRINIVASAN,SHIVARAMAKRISHNAN	3000 E SUNRISE BLVD #5A	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 5-APER CDO BK/Pg: 8513/681
298	504201AH0900	STANEK,MICHAEL J & MCCABE,MARY F	2800 E SUNRISE BLVD #19-F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 19 FPER CDO BK/Pg: 4184/178

ADDITIONAL INFORMATION

Sunrise FTL Ventures, LLP
Public Participation - 300 Malling
UDP-S21031 (alphabetical listing)

299	504201AH0300	STANLEY G ELFBUM TR & ELFBUM,STANLEY G TRSTE	66 COCCASSET ST # H	FOXBORO	MA	2035	SUNRISE EAST CONDOUNIT 8 PPER CDO BK/Pg: 4184/178
300	504201CK0580	STEELE BEAR LLC	1000 N WEST ST SITE 1501	WILMINGTON	DE	19801	CARLTON TOWER CONDOUNIT 9-BPER CDO BK/Pg: 8513/681
301	504201CK0940	STETSON,ROBERT W II	3000 E SUNRISE BLVD #14F	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-PFER CDO BK/Pg: 8513/681
302	504201PVD0160	STOJCEVSKI,KIRO & STOJCEVSKA,OLGA	1006-1100 CAVEN ST	*MISSISSAUGA ON	CA	LSG 4	MARINE COLONY VILLAS CO-OPUNIT 6B
303	504201AH0010	STOLLBERG LIV TR & STOLLBERG,JAMES TRSTEE ETAL	2800 E SUNRISE BLVD APT 4A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 4 APER CDO BK/Pg: 4184/178
304	504201CK1230	SUBHAW,RAJUSA & SUBHAW FAAT TR	3000 E SUNRISE BLVD PH-C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT PH-CPER CDO BK/Pg: 8513/681
305	504201PVD0200	SULLIVAN,DAVID R & WACHTER,MANDA V	2218 SHERWOOD HALL LN	ALEXANDRIA	VA	22306	MARINE COLONY VILLAS CO-OPUNIT 10B
306	504201140020	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 3 BLK BA
307	504201140030	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 4 BLK BA
308	504201140040	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 5 BLK BA
309	504201140050	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 6 BLK BA
310	504201140060	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 7 BLK BA
311	504201140070	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 8 BLK BA
312	504201140080	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 9 BLK BA
313	504201140090	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 10 BLK BA
314	504201140100	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 11 BLK BA
315	504201140110	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 12 BLK BA
316	504201140120	SUNRISE FTL VENTURES LLP	150 SE 2 AVE #800	MIAMI	FL	33131	SEABRIDGE 21-46 BLOT 13 LESS RD R/W BLK BA
317	504201AH0480	SYMONDS,MICHAEL J & HARKINS, BARBARA	70 CANTERBURY CT	CARLISE	MA	1741	SUNRISE EAST CONDOUNIT 11-FPER CDO BK/Pg: 4184/178
318	504201CK0970	TAN,TEAN-SU	2157 NE 17 TER	WILTON MANORS	FL	33305	CARLTON TOWER CONDOUNIT 15-APER CDO BK/Pg: 8513/681
319	504201AH0090	TARALJOHN S	2800 E SUNRISE BLVD #5C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 5 CPER CDO BK/Pg: 4184/178
320	504201AH0040	TATKOW,DIANNA H/E & PIMENTEL,ORTIZ,MANUEL ENRIQUE	2800 E SUNRISE BLVD #9D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 9 DPER CDO BK/Pg: 4184/178
321	504201AH0690	TAYLOR,DOUGLAS G H/E & TURNER,JEFFREY B	2800 E SUNRISE BLVD #16C	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 16 CPER CDO BK/Pg: 4184/178
322	504201PVD0330	TEEBOOM, TROY M	513 2 AVE	ASBURY PARK	NJ	7712	MARINE COLONY VILLAS CO-OPUNIT 2D
323	504201CK1120	TERZAKIS,TAMMY J	3000 E SUNRISE BLVD # 16H	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 16-HPER CDO BK/Pg: 8513/681
324	504201AH0250	THAU,GHRISTOPHER & DUGAN,DANIEL	2800 E SUNRISE BLVD #6-A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 8 APER CDO BK/Pg: 4184/178
325	494236000010	TITF/DNR DIV/RCC & PARKS & HUGH TAYLOR BIRCH ST PARK	DEF DOUGLAS BLDG	TALLAHASSEE	FL	32399	36-49-42LOT 1 LESS PAR 1 & 3 AS IN PB17/13,PT OF LOT 7 LYING E OF INTRACOASTAL W/W R/W ALSO THAT PT OF NEW RIVER SOUND IN NE1/4OF SEC 36 LYING E OF INTRACOASTAL W/W R/W & PT OF LOT 5 LYING E OF INTRA W/W R/W,LOT 6 LESS PAR 6 AS INPB 17/13 & LESS RD R/W,ALSO THAT PT OF NEW RIVER SOUND IN THE SE1/4 LYING E OF INTRACOASTAL W/W R/W
326	494307000460	TITF/STATE OF FLORIDA & % FL INLAND NAVIGATION DISTRICT	1314 MARCINSKI RD	JUPITER	FL	33477	FLORIDA EAST COAST CANAL 17-1 BROR OF THE FLA EAST COAST CANALLOCATED IN THE CITY OF FORTLAUDERDALE
327	504201AH0670	TRAHEV,AMY L	16116 JEFF CT	GRAND LEDGE	MI	48837	SUNRISE EAST CONDOUNIT 16 APER CDO BK/Pg: 4184/178
328	504201CK0370	TROISJ,GERARDO	3500 GALT OCEAN DR #1404	FORT LAUDERDALE	FL	33308	CARLTON TOWER CONDOUNIT 6-PER CDO BK/Pg: 8513/681
329	504201PVD0290	TROLLS FRANCHISING LTD	118 WINSTON RD	*WINNIPEG MB	CA	R31 1	MARINE COLONY VILLAS CO-OPUNIT 9C
330	504201AH0160	TSARIKOVSKY,VALERY & YELENA	2800 E SUNRISE BLVD 6D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 6 DPER CDO BK/Pg: 4184/178
331	504201AP0450	TURCHIN,SHARVA & LESLIE S TURCHIN TR ETAL	2845 NE 9 ST UNIT 1201	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1201-PER CDO BK/Pg: 3362/1210
332	504201AP0210	TURNER,THEODORE R JR & LONERGAN,KELLY ETAL	2845 NE 9 ST #801	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 801-PER CDO BK/Pg: 3362/1210
333	504201CK0440	TURQUOIZ LLC	30 N GOULD ST STE N	SHERIDAN	WV	82801	CARLTON TOWER CONDOUNIT 7-DPER CDO BK/Pg: 8513/681
334	504201CK0720	TURQUOIZ LLC	30 N GOULD ST STE N	SHERIDAN	WV	82801	CARLTON TOWER CONDOUNIT 10-HPER CDO BK/Pg: 8513/681
335	504201PVD0060	TURZO,LUIS	901 N BIRCH RD #46	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 6A
336	504201AH0600	TUTT,GEORGE T & GEORGE T TUTT LIV TR	2800 E SUNRISE BLVD #24F	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 14 PPER CDO BK/Pg: 4184/178
337	504201CK0020	VEEN, YADIRA TYBERA DAMIANA	3000 E SUNRISE BLVD #2-B	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 2-BPER CDO BK/Pg: 8513/681
338	504201AH0310	VENZA,JAC & ROUTHIER,DANIEL D ETAL	2800 E SUNRISE BLVD # 9A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 9 APER CDO BK/Pg: 4184/178

ADDITIONAL INFORMATION

Sunrise FTL Ventures, LLP
 Public Participation - 300' Malling
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339	504201AH0190	VON DINCKLAEG,ANDRES	2800 E SUNRISE BLVD #7A	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 7APER CDO BK/Pg: 4184/178
340	504201AP0550	VORBACH,GREGORY & NANCY	2845 NE 9 ST #1406	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1406PER CDO BK/Pg: 33621/1210
341	504201PW0210	WACHTER,JEAN	7802 DAVENPORT ST	ALEXANDRIA	VA	22306	MARINE COLONY VILLAS CO-OPUNIT 128
342	504201CK0750	WARO, BARBARA P	3000 E SUNRISE BLVD #11C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 11-CPER CDO BK/Pg: 8513/681
343	504201CK1050	WARE, JOHN	11427-B SW 109 ROAD	MIAMI	FL	33176	CARLTON TOWER CONDOUNIT 16-APER CDO BK/Pg: 8513/681
344	504201AP0180	WERCHOWSKY,JOEL M	2845 NE 9 ST #704	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 704PER CDO BK/Pg: 33621/1210
345	504201CK0610	WERNISING,RICHARD W	3000 E SUNRISE BLVD #9E	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 9-EPER CDO BK/Pg: 8513/681
346	504201AH0910	WILLIAM D LAEVER TR NO 2003 & LAEVER,WILLIAM D TRSTEE	619 W JEFFERSON ST	ROCKFORD	IL	61103	SUNRISE EAST CONDOUNIT PH GPER CDO BK/Pg: 4184/178
347	504201CK0530	WILLIAM WAYNE MACKINNON REV,TR & MACKINNON,WILLIAM WAYNE TRSTEE	5144 NE 17 TER	FORT LAUDERDALE	FL	33334	CARLTON TOWER CONDOUNIT 8-EPER CDO BK/Pg: 8513/681
348	504201PW0080	WILLIAMS,CORY DAVID	488 STRASBURG RD	*KITCHENER ON	CA	N2 E 1	MARINE COLONY VILLAS CO-OPUNIT 8A
349	504201DC0240	WOODS PROPERTIES INC & % JOHNNY,WOODS	19 CASTLE HARBOR IS	FORT LAUDERDALE	FL	33308	COCONUT BAY RESORT CONDOUNIT 106PER CDO BK/Pg: 9776/521
350	504201AP0010	WOODS, F LAWRENCE	2845 NE 9 ST #404	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 404PER CDO BK/Pg: 33621/1210
351	504201CK0910	WOOTTON,THEODORE	3000 E SUNRISE BLVD #14C	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 14-CPER CDO BK/Pg: 8513/681
352	504201PW0280	WRIGHT,ROBERT E	901 N BIRCH ROAD # 8C	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 8C
353	504201AP0590	YANOWITZCH,BEVERLY & BEVERLY YANOWITZCH REV TR	2845 NE 9 ST #1504	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1504PER CDO BK/Pg: 33621/1210
354	504201AH0180	YANULE,JANE	2220 FRONT ST APT 401	MELBOURNE	FL	32901	SUNRISE EAST CONDOUNIT 6 PER CDO BK/Pg: 4184/178
355	504201CK0470	YOUNG,STEPHEN & SALLY	2260 CONCORD VILLAGE DR	COLUMBUS	OH	43220	CARLTON TOWER CONDOUNIT 7-GPER CDO BK/Pg: 8513/681
356	504201AH0580	YOUNGBLOOD,K & YENNEL,DOUGLAS S & YOUNGBLOOD VENNELL REV LIV TR	2800 E SUNRISE BLVD #14D	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 14 DPER CDO BK/Pg: 4184/178
357	504201AH0890	ZAFRAN,ERIC M/H/E & TOKKUMIKO	2800 E SUNRISE BLVD #19-E	FORT LAUDERDALE	FL	33304	SUNRISE EAST CONDOUNIT 19EPER CDO BK/Pg: 4184/178
358	504201PW0130	ZEICHNER,SAMUEL	901 N BIRCH RD #38	FORT LAUDERDALE	FL	33304	MARINE COLONY VILLAS CO-OPUNIT 38
359	504201AP0520	ZISSEL,JANICE & ZISSEL,RALF	2845 NE 9 ST #1403	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT 1403PER CDO BK/Pg: 33621/1210
360	504201AP0650	ZISSEL,RALF & JANICE	2845 NE 9 ST # PH5	FORT LAUDERDALE	FL	33304	LE CLUB INTERNATIONAL CONDOUNIT PH5PER CDO BK/Pg: 33621/1210
361	504201CK1030	ZUBERHULDER CASARES,JANIE LUIS	3000 E SUNRISE BLVD #15G	FORT LAUDERDALE	FL	33304	CARLTON TOWER CONDOUNIT 15-GPER CDO BK/Pg: 8513/681

CENTRAL BEACH ALLIANCE C/O WILLIAM BROWN 112 N BIRCH ROAD, UNIT 201 FORT LAUDERDALE, FL 33304



EXHIBIT "C"**MEETING NOTICE**

January 7, 2022

**Re: Public Meeting for the Ocean Park Hotel and Residences Project
2851 and 2901 NE 9th Court, Fort Lauderdale, FL ("Property")
Case No. UDP-S21031**

Dear Neighbor:

This letter is to invite you to a public participation meeting relating to the Ocean Park Hotel and Residences project on the Property. The meeting will be conducted via Zoom. You may also call in to the meeting. If you would like to set up a separate meeting, we would be happy to do so.

We have scheduled the following public meeting:

Date: Thursday, January 20, 2022
Time: 6:00 PM
Place: Virtual meeting via Zoom. To register for the meeting, please go to: www.OceanParkPublicMeeting.com in advance of the meeting.

If you wish to submit written comments, have any questions or would like to set up a separate meeting please contact:

Nectaria Chakas, Esq. (Attorney for Applicant)
Lochrie & Chakas, P.A.
1401 E. Broward Blvd.
Suite 303
Fort Lauderdale, FL 33301
(954) 779-1123

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OCEAN PARK HOTEL AND RESIDENCES

2851 and 2901 NE 9th Court

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PZB Exhibit 5
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DEVELOPMENT AND DESIGN TEAM:

Sunrise FTL Ventures LLLP (Integra Investments) – Owner/Developer

- Paul Drummond, Director of Condo Development

Nichols Brosch Wurst Wolf & Associates, Inc. – Architecture

- Adolfo Reyna, R.A., Principal

Flynn Engineering – Civil Engineers

- Jay Flynn, P.E.
- Sarah DelNegri, Project Manager

DS Boca – Landscape Architecture

- Isabelle Alarie, PLA, LEED AP

JC Consulting Enterprises, Inc. – Planning

- Cecelia Ward, AICP, President

DC Engineers, Inc. – Transportation Engineering

- J. Suzanne Danielsen, P.E.

Lochrie & Chakas, P.A. – Land Use and Zoning Attorneys

- Nectaria M. Chakas, Esq.



Public Participation Summary 20



Public Participation Summary 21

EXISTING CONDITIONS
VIEW FACING EAST



EXISTING CONDITIONS
VIEW FACING WEST



Public Participation Summary 22



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Public Participation Summary 24



Public Participation Summary 25



DENSITY:

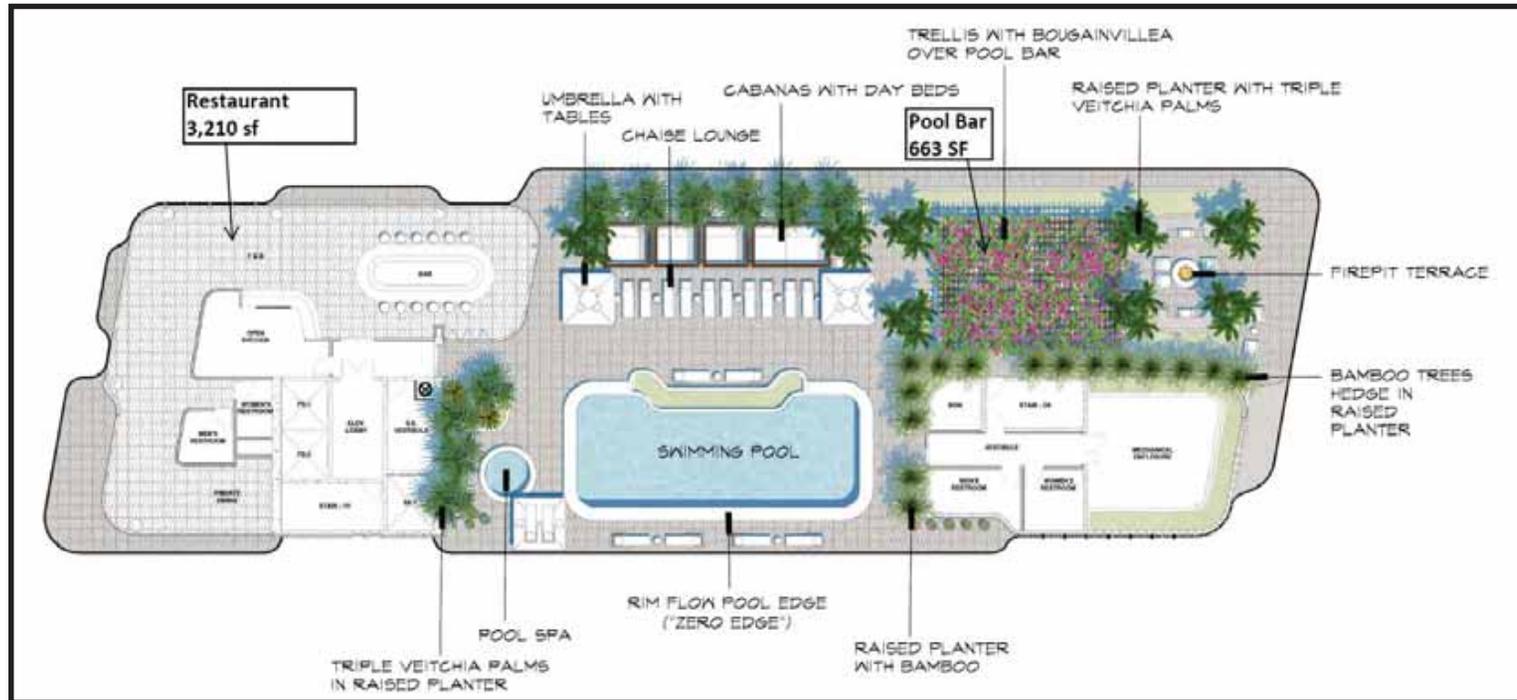
Condo: Allowed up to 60 units (proposed 54 units)
 Hotel: Allowed up to 113 rooms (proposed 100 rooms)

Parking: Meets code (196 required; 205 provided)

Access and Circulation: All on site
Loading Areas: All on site
 Subterranean garage
 New 8" water Main
 New Drainage infrastructure
 Bury Powerlines
 On street parallel parking spaces

Public Participation Summary 26

HOTEL ROOF DECK



Public Participation Summary 28



CASE: UDP-S21031
PZB Exhibit 5
Page 29 of 36

STREETScape AND INFRASTRUCTURE IMPROVEMENTS

Public Participation Summary 30

CASE: UDP-S21031
PZB Exhibit 5
Page 30 of 36

NE 9th Court Facing West

CURRENT CONDITIONS:



PROPOSED:

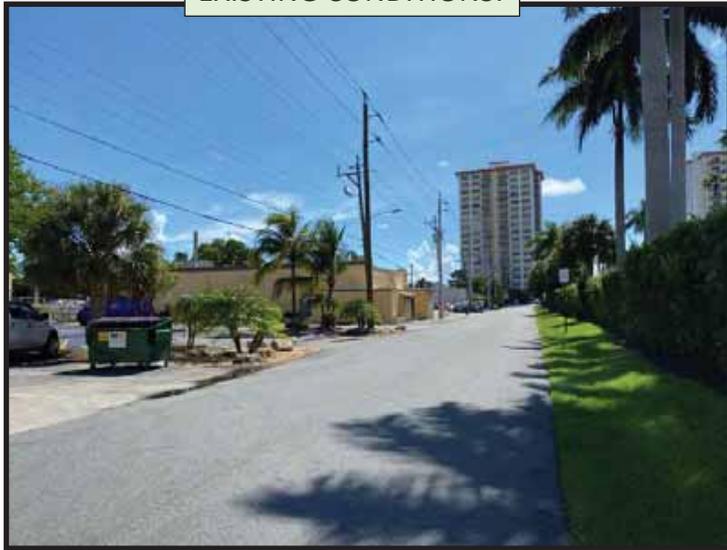


1. Bury overhead powerlines
2. New sidewalks
3. New landscaping
4. New pedestrian lighting
5. New parallel parking
6. New curbs/gutters
7. New drainage (exfiltration trenches, inlets, gutters)
8. New 8" water main

Public Participation Summary 31

NE 9th COURT Facing East

EXISTING CONDITIONS:



PROPOSED:



1. Bury overhead powerlines
2. New sidewalks
3. New landscaping
4. New pedestrian lighting
5. New parallel parking
6. New curbs/gutters
7. New drainage (exfiltration trenches, inlets, gutters)
8. New 8" water main

Public Participation Summary 32



CASE: UDP-S21031
PZB Exhibit 5
Page 33 of 36

SUNRISE BOULEVARD Pedestrian Perspective

Public Participation Summary 33



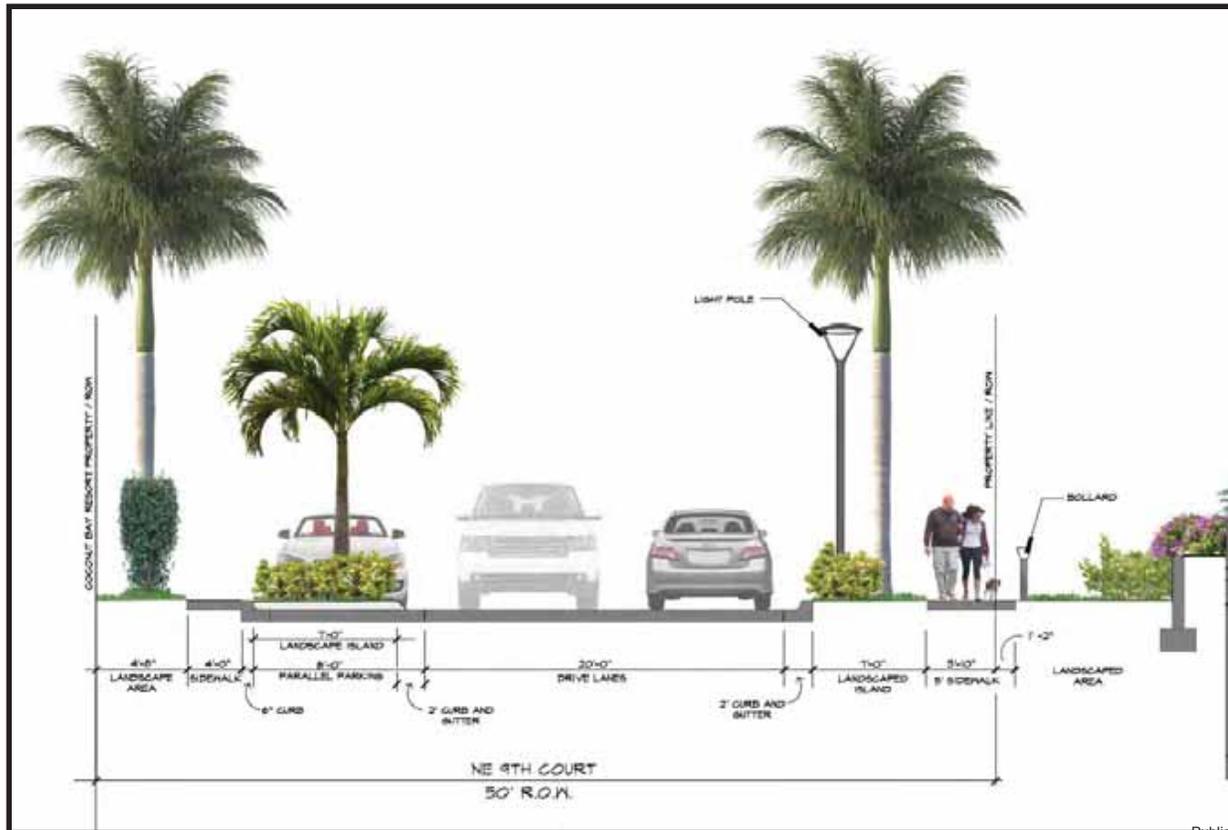
View of Arrival/Motor Court

CASE: UDP-S21031
PZB Exhibit 5
Page 34 of 36

Public Participation Summary 34

NE 9th COURT
Parallel Parking on South Side

DRAFT
(Subject to City Approval)



Public Participation Summary 35



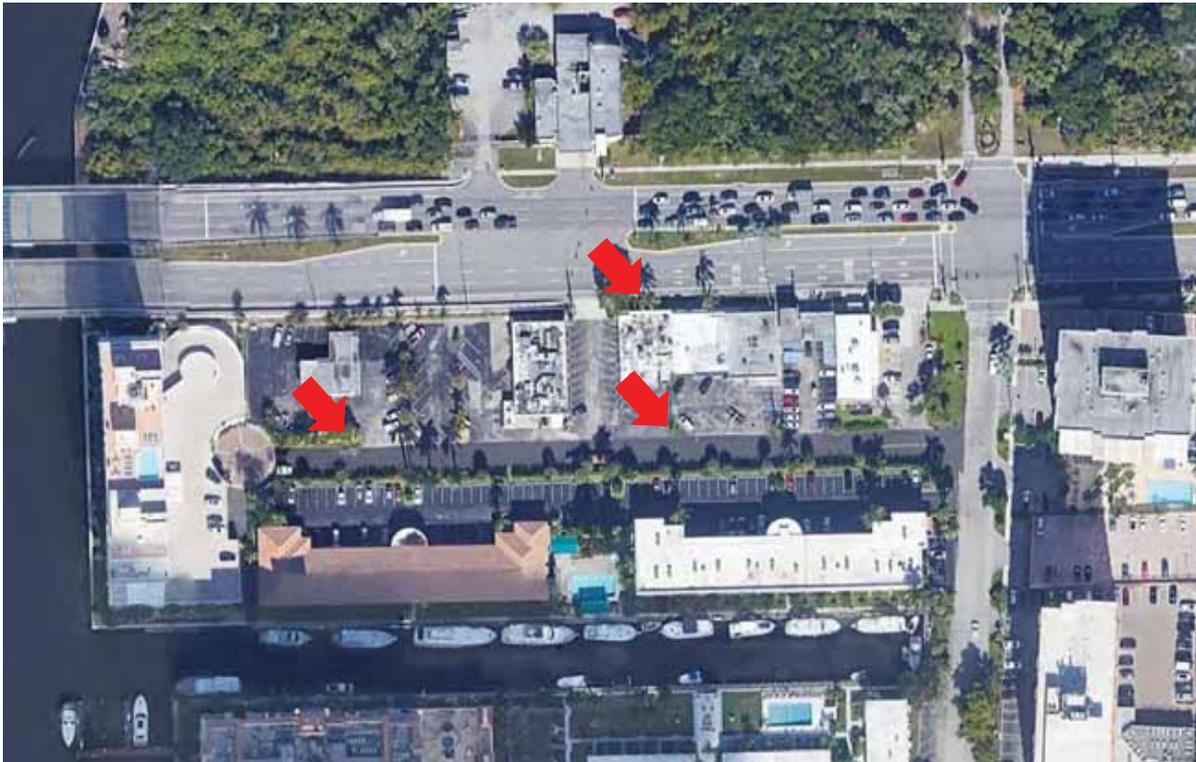
CASE: UDP-S21031
PZB Exhibit 5
Page 36 of 36

UDP-S21031 OCEAN PARK HOTEL AND RESIDENCES

PZB SIGN NOTIFICATION AFFIDAVIT

April 5, 2022

LOCATIONS OF SIGN POSTINGS



North Frontage of Property along SUNRISE BLVD ROW



South-West Frontage of Property along NE 9TH CT ROW



South-East Frontage of Property along NE 9TH CT ROW



Page 3: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Planning and Zoning Board and City Commission Hearings) according to Sec. 47-27.4.

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time and place shall be stated on the sign or changed as applicable.
• The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
• The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
• If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
• If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
• Development applications for more than one (1) contiguous development site shall be required to have sign notice by posting one (1) sign in each geographic direction, (north, south, east and west) on the public right-of-way at the perimeter of the area under consideration.
• If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
• The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
• The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA
BROWARD COUNTY

RE: BOARD OF ADJUSTMENT
HISTORIC PRESERVATION BOARD
x PLANNING AND ZONING BOARD
CITY COMMISSION

CASE NO. UDP-S21031

APPLICANT: Sunrise FTL Ventures LLLP

PROPERTY: 2851, 2901 NE 9 CT

PUBLIC HEARING DATE: APRIL 20, 2022

BEFORE ME, the undersigned authority, personally appeared John Kramer, who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Planning office five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefore.

[Signature]
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 5th day of APRIL, 2022



NOTARY PUBLIC
MY COMMISSION EXPIRES:

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.3.) of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. [Initials] (initial here)
[Initials] Initials of applicant (or representative) receiving sign as per 47-27.2(3)(A-J)



Sunrise East Condominium Association, Inc.

2800 East Sunrise Boulevard
Fort Lauderdale Florida 33304

04/06/2022

To whom it may concern:

The purpose of this letter is to express the support of Sunrise East Condominium Association for the Ocean Park development located on Sunrise Blvd. and NE 9th Court.

The board of directors of Sunrise East has spent considerable time and energy reviewing, discussing with our owners, and investigating the proposed development. We are very familiar with all aspects of the development. The board represents Sunrise East in all matters and has voted unanimously to support this development as it is being presented to the Planning and Zoning Board. We are the only residential property directly abutting the development, and thus are most affected by this proposed project.

Sunrise East believes that the proposed development represents the highest and best use of this property and will provide significant benefit to Sunrise East.

We are excited about the enhancement to our building provided by the landscaping and streetscape along NE 9th Court.

The proposed project enhances the safety of our residents and residents of the neighborhood through construction of sidewalks and pedestrian amenities.

We look forward to not having the existing blighted property at our doorstep.

We are confident that city staff review will assure that drainage on all of NE 9th Court will be improved, including reduction of the impact of King Tides.

We have reviewed the traffic studies and recognize that the proposed development will generate less traffic than if the existing buildings on the site were fully occupied.

We have negotiated an agreement in good faith with the developer and the plans before you represent and are consistent with the results of those negotiations.

Thank you for the opportunity to express our support.

Sunrise East Condominium Association.

Sunrise East Condominium Association, Inc. 2800 East Sunrise Blvd. Fort Lauderdale, FL 33304
Phone: 954-564-9644 - Email: manager@2800sre.com



COCONUT BAY RESORT
919 North Birch Road
Fort Lauderdale, FL 33304

February 7, 2022

VIA E-MAIL: KGrant@FortLauderdale.gov

Karlanne Grant, Planner
City of Fort Lauderdale
700 NW 19th Avenue
Fort Lauderdale, FL 33311

RE: Letter of Support – Ocean Park Hotel and Residences (Case No. UDP S21031)

Dear Ms. Grant,

I, William Girolomoni, am the director of sales at Coconut Bay Resort. I would like you to know that we at the resort overwhelmingly support the proposed development of Ocean Park Hotel and Residences. We feel this new development will dramatically increase our property values and otherwise be a good addition to our area. Many of our owners have expressed to me their excitement to have the area cleaned up and many area also looking forward to having a nice rooftop restaurant and bar to be able to walk to and enjoy. I would be more than happy to speak to you about this further if you would like, you may reach me at 954-358-7038 anytime.

Sincerely,

William Girolomoni
Director of Sales
Coconut Bay Resort

A handwritten signature in black ink, appearing to read 'William Girolomoni', with a long horizontal line extending to the right.

COCONUT BAY RESORT CONDOMINIUM ASSOCIATION, INC.
919 North Birch Road
Fort Lauderdale, FL 33304

Date: January 27, 2022

VIA E-MAIL: KGrant@FortLauderdale.gov

Karlanne Grant, Planner
City of Fort Lauderdale
700 NW 19th Avenue
Fort Lauderdale, FL 33311

RE: Letter of Support – Ocean Park Hotel and Residences (Case No. UDP S21031)

Dear Ms. Grant,

Coconut Bay is the resort located immediately south of the proposed Ocean Park Hotel and Residences. The owner/developer presented the plans for this development which consists of two buildings 12-stories in height – one with 54 multifamily condos and the other building consisting of 100 hotel rooms and related restaurant and retail uses. We are writing to express our full support for this project. We are excited to see this new development constructed. This will be a dramatic improvement to the area and the streetscape along NE 9th Court.

Should you have any questions, please feel free to call me. You may reach me at 561-409-9285.

Sincerely,



Matthew Cain
Managing Agent / Officer
Coconut Bay Resort



COCONUT BAY RESORT
919 North Birch Road
Fort Lauderdale, FL 33304

January 25, 2022

Karlanne Grant, Planner
City of Fort Lauderdale
700 NW 19th Avenue
Fort Lauderdale, FL 33311

RE: Letter of Support – Ocean Park Hotel and Residences - Case No. UDP S21031

Dear Ms. Grant,

My name is Vincent Tio and I am the president of the Board of Directors at Coconut Bay Resort Condominium Association. I am writing this to not only introduce myself, but also to express our support for the development project referenced above. I had the opportunity to speak to many of our owners as well as the chance to review the proposed developments to the property adjacent to ours. The vast majority of the owners, myself included, strongly support this project. The property, as it stands today, is run down and extremely unsightly—I invite you to visit our property and I can show you first hand what I am talking about. We feel that the proposed development will clean the area up substantially and also increase our property values. Please don't hesitate to reach out to me if you wish to meet on property or discuss this further.

Very Truly Yours,

Vincent Tio
Coconut Bay Resort Condominium Association, Inc.
President of the Board of Directors
251-533-3377

From: [Ella Parker](#)
To: [Karlann Grant](#)
Cc: [Nectaria Chakas](#)
Subject: FW: [-EXTERNAL-] AgendaComment
Date: Thursday, April 7, 2022 4:54:05 PM

From: Cindy Gilmour <cgilmour_ca@icloud.com>
Sent: Thursday, April 7, 2022 4:33 PM
To: BrdPlanningAndZoningBoard <PlanningAndZoningBoard@fortlauderdale.gov>
Subject: [-EXTERNAL-] AgendaComment

To: Jacquelyn Scott, Chair
 Brad Cohen, Vice Chair
 John Barranco
 Mary Fetig
 Steve Gannon
 Shari McCartney
 William Rotella
 Jay Shechtman
 Michael Weymouth

Re: Proposed new development Ocean Park Hotel and Residences, 54 multi family residential units and 100 room Hotel

We are writing to you today to express our deep concern respecting the above proposed new development located at 2851 and 2901 NE 9th Court. By way of background, we have been part time residents and full time tax payers of Fort Lauderdale for the past 12 years. Three months ago, we purchased a new home in Le Club International, located on NE 9th Street, just off of Sunrise Boulevard near A1A. We did our due diligence prior to purchasing and were aware that the nearby site on which the above noted development was proposed containing a number of old, active and inactive businesses that could be developed in the future. However, we had obtained informed opinions from a number of sources that because of the incredibly cramped and limited footprint of this site, any development would be of a reasonable and manageable size not to exceed 4 stories in elevation.

We are not sure if you are not fully aware of this location, but it is an incredibly long and narrow strip of property running from Sunrise bridge eastward to Birch Road. A couple of weeks after our arrival in our new home, we were informed that a massive development was being proposed for this site that would involve two buildings, one a 54 unit Condominium and the other a 100 room hotel, both exceeding the height restriction of 4 stories. We were shocked by this news. Sadly, we have become much more aware of development regulations over the last two months, as we have investigated with our Condo Board and others, development guidelines in Fort Lauderdale. It is our understanding, and we are quite certain we are correct on this, that the standard "setbacks" required for ANY development in the city, given the height of the proposed buildings, would need to be 60 feet. For this development, the Developer is requesting that these setbacks be reduced to 20 ft. We understand the Developer has offered some convoluted logic to back up this request to reduce the setbacks from 60 to 20 feet, but the reduction of the setbacks will make an already cramped site, even more so. Even as lay people, when you stop and think about 20 feet, it is an incredibly small and inconsequential buffer zone which would completely defeat the purpose of a setback. We could

go on, and lay out numerous other concerns around Density, Parking, Traffic, Noise, etc., that surround this project. It is also our intention to write to the Mayor and each member of the City Council, in addition to yourselves, to communicate our concerns.

Finally, we implore you, to vote against the request by the Developer for reduced setbacks at your meeting on April 20, 2022. As proud and happy property owners in Fort Lauderdale for over 12 years, we are NOT against development, in fact, the growth and improvement in Fort Lauderdale since we first bought a home here in 2010 has been incredible and frankly encouraging. However, the scale of this proposed development and candidly, the way the Developer is seeking to get around valid, time tested regulations of the City, is just wrong.

Respectfully and sincerely,
D. Craig and Cynthia Gilmour
2845 NE 9th St Apt 906
Fort Lauderdale, FL
33304

Sent from my iPad

Ryan C. Thomas
Community Outreach Director
City of Fort Lauderdale District 4
100 N. Andrews Ave | Fort Lauderdale FL 33301
Office Phone: (954) 828-5059 | Cell: (561) 690-0262
rthomas@fortlauderdale.gov

Get [Outlook for iOS](#)

From: Cindy Gilmour <cgilmour_ca@yahoo.com>
Sent: Thursday, April 7, 2022 12:02 PM
To: Ben Sorensen <BSorensen@fortlauderdale.gov>
Subject: [-EXTERNAL-] Proposed New Development Ocean Park Hotel and Residences located at 2851 and 2901 NE 9th Court

Dear Councillor Sorensen;

Re: Insufficient Parking and Loading/unloading Facilities regarding the proposed Ocean Park Hotel and Residences located at 2851 and 2901 NE 9th Court

We are owners of a condominium in Le Club International located on Ne 9th Street. The proposed new development noted above, will be our immediate neighbour.

We recently purchased this Condominium after suffering through ever increasing parking, and loading and unloading challenges at our previous residence in Fort Lauderdale located at 3020 NE 32nd Avenue, directly across the street from Shooters Restaurant. The reason that things became unliveable at our previous residence was because of the challenge created by putting too many people, too many cars, and too many delivery vehicles in a relatively small geographic footprint.

We mention our previous experience, because that was the ultimate driver for us to sell our home and move south to our current residence, and we are terrified that what we experienced with Shooters, will now follow us here with this proposed new development. We know from sad personal experience, how delivery trucks at all hours, valet drivers going at breakneck speeds, illegal parking by patrons due to a shortage of parking spaces and overall human and vehicle congestion can destroy a neighborhood.

We have lived in our new home on NE 9th Street for 3 months now, and have walked every inch of our immediate neighborhood, and have already seen a shortage of available on-street parking, insane traffic congestion stemming from the Bonnet House, the 6 existing residential condo and hotel developments currently in the area, as well as the 7 Eleven at the corner of NE 9th Court and Birch Road.

This new development will exponentially increase parking and congestion problems in a very, very confined geographical footprint that we all must

live and co-exist in. It is our understanding that the Developer of this project is offering 205 parking spaces for their two multi-story towers. Of those 205 spaces, 114 are either tandem spaces or spaces provided by car lifts. What that tells us is that based on the proposed occupancy of the development, more than 50% of their parking needs will require some sort of Valet system. We also know that lifts do not work in a valet oriented system; they just don't have the time to wait for a lift. In an environment where parking spaces are already at an incredible premium, this proposed arrangement will lead to traffic back ups onto NE 9th Court and therefore Birch Road which already suffers from extreme traffic congestion emanating from the existing 6 developments, Bonnet House, 7 Eleven, and beach goers simply looking for parking spaces. These comments do not even begin to address the challenges that emanate from the Restaurant and Bar that the Developer is including in their project. It is fair to assume, that while some of the patrons of these facilities may be from the Hotel and Condo and may therefore have a parking space, it is also reasonable to assume, that a large percentage will be coming from elsewhere and thus will bring a vehicle onsite. These additional vehicles, as well as the likelihood that this restaurant will have two or more sittings per evening or for weekend brunches, will only make the demands on a limited parking inventory that much worse. To our knowledge, the Developer has made no allowance for this troubling potential. We believe that they are assuming that various constituents such as ourselves will simply not think of this, but having experienced it previously at Shooters, weekend dinners and Sunday brunches during peak season in Fort Lauderdale, generate tremendous traffic and parking challenges.

The parking concerns noted above are in our view, not only real, practical and unassailable, but they do not even touch the very significant concerns we have around the loading and unloading activities associated with the proposed Hotel. Where will the semi trailers, box vans, 3 ton trucks, and garbage and recycling trucks park or even wait to park in this already congested area, especially given that the Developer is requesting a zoning setback variance from 60 to 20 ft? Again, with first hand experience, we know about the laundry, garbage, food and alcohol deliveries, the waste and recycling removals, the hospitality supplies including linens and paper goods that are associated with a hotel/restaurant - where will these trucks go? The Developer has proposed an incredibly small loading area, there is absolutely no question because of the limited size of his proposed loading dock and the already existing traffic congestion, these trucks will have to line up waiting to unload, thus blocking traffic down NE 9th Court and Birch Road, and perhaps even onto Sunrise Boulevard.

We want to be clear that while we are 100% against the development proposal referenced above, in its current form, we are NOT against development. What the developer is trying to do here is such a massive overreach that it will destroy a great little neighborhood. If the developer proposed something that actually fit the site in terms of size and use; we would be all for it, as the current businesses there are not in great shape.

Councillor Sorensen, because the developer is trying to ignore the setback requirements and density restrictions of the City of Fort Lauderdale, we implore you to vote against this proposal and send the

developer back to the drawing board to come up with something that will positively impact this micro-neighborhood and not destroy it.

Respectfully and sincerely,
D. Craig And Cynthia Gilmour
2845 NE 9th St Apt 906
Fort Lauderdale, FL
33304

Sent from my iPad

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

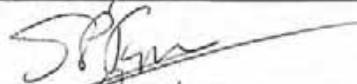
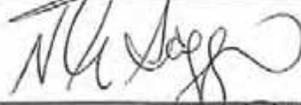
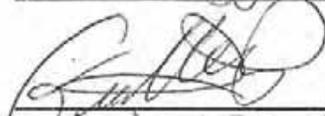
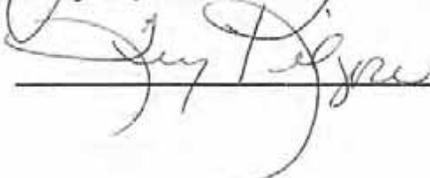
February 5th, 2022

Commissioners and Policy Makers:

We, the undersigned residents of Carlton Tower, 3000, E. Sunrise Blvd., **SAY NO** to the proposed condominium/hotel complex – Ocean Park - planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd., between the Intracoastal bridge and Birch Road.)

Case # UDP S21031

We do not oppose all development. We support smart development.

SIGNATURE	PRINT	UNIT
	Fred Johnson	9H
	JONATHAN FISHER	10F
	NEIL SAGGERSON	17E
	Guillermo Poy	6F
	TERRY JACOB	PH-D

OVER →

We, the undersigned, **SAY NO** to the proposed condominium/hotel complex - Ocean Park - planned for construction at 2851/2901 NE 9th Court. Case # UDP S21031

SIGNATURE	PRINT	UNIT
<u>Legashov</u>	Lauren Garci monde- fisher	10F
<u>Krista Healy</u>	Kristen Herlihy	16E
<u>Mr. Marks</u>	MARCO MARIK	10 G
<u>Thomas Olander</u>	Thomas Olander	8F
<u>Udon</u>	Jadira Udon	2b
<u>Sylvia Nadruz</u>	Sylvia Nadruz	15F
<u>William T. MacLellan</u>	William T. MacLellan	15C
<u>Theodore Wootton</u>	Theodore Wootton	14C
<u>David Finney</u>	David Finney	12B.
<u>SERENA MacKellan</u>	SERENA MacKellan	15C
<u>Ken Bartlett</u>	K. Bartlett	12D
<u>RASHEDA Subhan</u>	RASHEDA Subhan	HC

Build a
Lower-
smaller B1

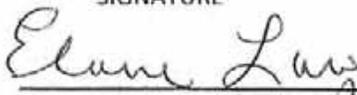
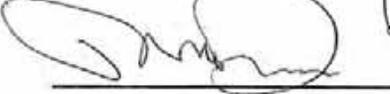
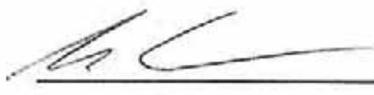
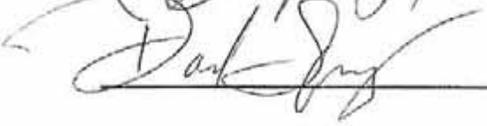
Over →

We, the undersigned, **SAY NO** to the proposed condominium/hotel complex –
 Ocean Park - planned for construction at 2851/2901 NE 9th Court. Case # UDP S21031

SIGNATURE	PRINT	UNIT
Ralisa D Subhaw	RALISA SUBHAW	PHC
Sushila Lalwani	S Lalwani	2F
TAMMY TORRES	TAMMY T.	16H
John H. Law	J H Law	17A
Jerre East	J East	17F
[Signature]	THOMAS GANNY	14E
[Signature]	Jan Ferreira	3 F.
Deborah Subhaw	Deborah Subhaw	PHC
Malisa D Subhaw	Malisa Subhaw	PHC
Nick Spano	NICK SPANO	8G/H
Barbara Reano		9G
Billie Joe Reano		9B

OVER →

We, the undersigned, **SAY NO** to the proposed condominium/hotel complex –
Ocean Park - planned for construction at 2851/2901 NE 9th Court. Case # UDP S21031

SIGNATURE	PRINT	UNIT
	Elaine Law	17A
	Dominique Miniaci	14F
	Robert M. Deau	10-D, 10-E, 11-D
	Sergio Amaro	2H
	Zaniyah Boatwright	
	NANCY SPARBY	4E
	David Sparby	11G

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

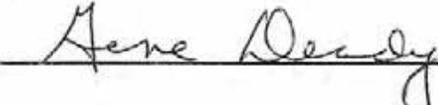
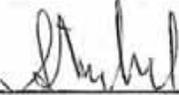
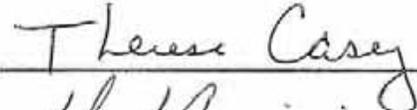
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Case # UDP S21031

We do not oppose all development. We support smart development.

SIGNATURE	PRINT	UNIT
	Barbara P. Ward	11C
	Gene Deady	15B
SOPHIE MICHEL		6A
	T. CASEY	11F
	JOHN J CAMARIONI	2D

We, the undersigned, **SAY NO** to the proposed condominium/hotel complex -
 Ocean Park - planned for construction at 2851/2901 NE 9th Court. Case # UDP S21031

SIGNATURE	PRINT	UNIT
<i>Sally Young</i>	Sally Young	7G
<i>Steve Young</i>	Steve Young	7G
<i>Barbara Pope</i>	BARBARA POPE	14G
<i>Donald A. Haase</i>		
<i>Karyn Levy</i>	Karyn Levy	
<i>Gail Schwartz</i>	Gail Schwartz	5B
<i>Karen Madeira</i>	Karen Madeira	4F
<i>Philip Ruesch</i>	Philip Ruesch	12-G
<i>Charles Martin</i>	Charles Martin	14H
<i>Chris A. Pezzi</i>	Chris A. Pezzi	18A

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, **SAY NO** to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) **Case # UDP S21031**

SIGNED:  _____

Printed Name: JOANNE Lee Date: 2-16-22

Address: 3000 EAST SUNRISE BLVD. APT. 12-H FT LAUDERDALE FL.

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

1. **SAFETY.**
 - (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
 - (b) Current Sunrise Blvd. access to the site is opposite the entrance to Fire and Rescue depot #13 – also scheduled for re-development and expansion. Existing traffic congestion already creates issues for emergency vehicles when traffic is backed up from the bridge, or waiting for the signal at the A1A intersection. This can cause delays, potentially threatening those in need of assistance, and increases the risk of accidents when responder teams are required to drive against traffic. Additional vehicles on, or attempting to enter Sunrise Blvd. would make this worse.
 - (c) During the demolition and construction period, traffic in the form of large trucks, cranes, etc., will need to enter the site from Sunrise Blvd. or, more likely, via Birch Road. There is no "turn-round" place for large vehicles other than the forecourt at 2800 Sunrise, suggesting trucks will need to exit the site directly onto Sunrise.

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, **SAY NO** to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) **Case # UDP 521031**

SIGNED: 

Printed Name: ARTHUR W. LEE Date: 2-16-22

Address: 3000 EAST SUNRISE BLVD. APT 12-A FT LAUDERDALE FL

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

1. SAFETY.

- (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
- (b) Current Sunrise Blvd. access to the site is opposite the entrance to Fire and Rescue depot #13 – also scheduled for re-development and expansion. Existing traffic congestion already creates issues for emergency vehicles when traffic is backed up from the bridge, or waiting for the signal at the A1A intersection. This can cause delays, potentially threatening those in need of assistance, and increases the risk of accidents when responder teams are required to drive against traffic. Additional vehicles on, or attempting to enter Sunrise Blvd. would make this worse.
- (c) During the demolition and construction period, traffic in the form of large trucks, cranes, etc., will need to enter the site from Sunrise Blvd. or, more likely, via Birch Road. There is no "turn-round" place for large vehicles other than the forecourt at 2800 Sunrise, suggesting trucks will need to exit the site directly onto Sunrise.

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, **SAY NO** to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) Case # UDP S21031

SIGNED: _____

Printed Name: Rafael Rodriguez Date: 2/15/2022

Address: 3000 East Sunrise Blvd apt 46, Ft Lauderdale FL 33304

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

1. SAFETY.

- (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
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- (c) During the demolition and construction period, traffic in the form of large trucks, cranes, etc., will need to enter the site from Sunrise Blvd. or, more likely, via Birch Road. There is no "turn-round" place for large vehicles other than the forecourt at 2800 Sunrise, suggesting trucks will need to exit the site directly onto Sunrise.

Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, **SAY NO** to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) **Case # UDP S21031**

SIGNED: _____

Printed Name: RICHARD MARINA Date: 02/16/2022
Address: 3000 EAST SUNRISE BLVD, FT. LAUDERDALE, FLA, 33304, 12F-apt.

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

1. **SAFETY.**

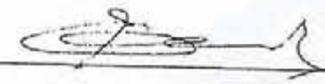
- (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
- (b) Current Sunrise Blvd. access to the site is opposite the entrance to Fire and Rescue depot #13 – also scheduled for re-development and expansion. Existing traffic congestion already creates issues for emergency vehicles when traffic is backed up from the bridge, or waiting for the signal at the A1A intersection. This can cause delays, potentially threatening those in need of assistance, and increases the risk of accidents when responder teams are required to drive against traffic. Additional vehicles on, or attempting to enter Sunrise Blvd. would make this worse.
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Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, SAY NO to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) Case # UDP S21031

SIGNED: 

Printed Name: EUGENE MOURAKIS Date: 2022-02-15
 Address: 3000 SUNRISE BLVD EAST APT 7, FIA LAUDERDALE 33304

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

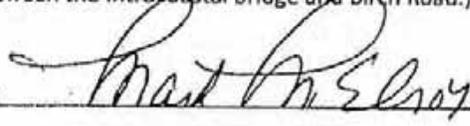
1. SAFETY.
 - (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
 - (b) Current Sunrise Blvd. access to the site is opposite the entrance to Fire and Rescue depot #13 – also scheduled for re-development and expansion. Existing traffic congestion already creates issues for emergency vehicles when traffic is backed up from the bridge, or waiting for the signal at the A1A intersection. This can cause delays, potentially threatening those in need of assistance, and increases the risk of accidents when responder teams are required to drive against traffic. Additional vehicles on, or attempting to enter Sunrise Blvd. would make this worse.
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Dean J. Trantalis, Mayor; Heather Moraitis, Commissioner; Steven Glassman, Commissioner; Robert L. McKinzie, Commissioner; Ben Sorensen, Commissioner; Ella Parker, Urban Design and Planning Manager, Department of Sustainable Development; Shari McCartney, Jacqueline Scott, William Rotella, Mary Fertig, Steve Ganon, Jay Shechtman, Michael C. Weymouth, John Barranco, Brad Cohen, – zoning board members.

February 12, 2022

Commissioners and Policy Makers:

We, the undersigned, **SAY NO** to the proposed 12 story condominium/hotel complex planned for construction at 2851/2901 NE 9th Court (the former "Franco and Vinny's" parcel on Sunrise Blvd. between the Intracoastal bridge and Birch Road.) Case # **UDP S21031**

SIGNED: 

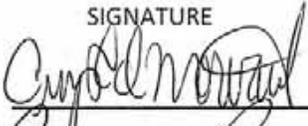
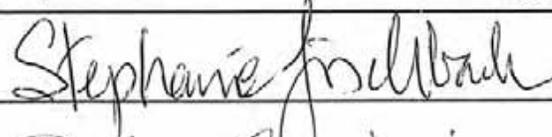
Printed Name: Mark McElroy Date: 2/15/22

Address: 3000 E Sunrise Blvd #10C

We do not oppose all development. We support smart development. This project fails the test for smart development for the following reasons:

1. **SAFETY.**
 - (a) Increased population density on the site will increase the volume of traffic on Sunrise Blvd., Birch Road and NE 9th Ct., already a bottleneck for residents of Carlton Tower (3000 E Sunrise), Le Club (2845 NE 9th St) and 2800 Sunrise, (whose only access is via NE 9th Court, off Birch Road.) Currently, traffic from Birch must navigate the already congested intersection with Sunrise, going either East to A1A or West to the Galleria, Bayview Avenue and the intersection with US1.
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We, the undersigned, **SAY NO** to the proposed condominium/hotel complex –
Ocean Park - planned for construction at 2851/2901 NE 9th Court. Case # UDP S21031

SIGNATURE	PRINT	UNIT
	Crystal Morvant	5A
	Denise Ramos	11E
	Norman Igin	10B
	GERARDO TROISI	6E
	Stephanie Fischler	3C
		Ch 21
		4G

Ralf and Janice Zissel
 2845 NE 9th St. Unit 1403
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Commissioner Sorensen:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
- **Setback Requirements** mandated by the city code require that any building on this 80 foot wide site be no more than 40 feet tall with a 20 foot front and rear setback. (Article II, Section 47-12.5 C.d.) As such, the developer will need a waiver of this important setback requirement from the city to move forward. These setback requirements should not be taken lightly and should only be granted for the public's benefit in extenuating circumstances. They were included in the code to avoid oversized structures and to preserve green or open space where appropriate, among other things. They were not intended to be used as a mechanism for a developer's increased profits. The fact is that a 100-room hotel and a tower with 55 residences is too intensive for an 80 foot wide site.
- A **Subterranean Garage** will have a negative impact on the surrounding water table, which is already in jeopardy, and the foundation of my building which is one block away and bordered by the Intracoastal and a secondary canal.
- **Water and Sewer capacity** and flooding in our area is already compromised with recent broken water mains and sinkholes on NE 9th St.
- **King Tides** are also regularly flooding both NE 9th Court and NE 9th Street even with marginal rainfall. Rising sea levels, current visible surface water issues, and poor drainage of the entire area is already a problem. Adding two large towers to this small neighborhood will only exacerbate these issues and adversely affect the public safety.
- **Fire Station #13 and Public Safety** will be negatively affected as this station is already challenged by increased traffic on Sunrise. The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise and the Bridge to respond to the public's emergency medical and fire needs.

Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Ralf and Janice Zissel
 2845 NE 9th St. Unit 1403
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,

Ralf Zissel
Janice Zissel

John and Tess Nord
 2845 NE 9th St. Unit 602
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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- **Water and Sewer capacity** and flooding in our area is already compromised with recent broken water mains and sinkholes on NE 9th St.
- **King Tides** are also regularly flooding both NE 9th Court and NE 9th Street even with marginal rainfall. Rising sea levels, current visible surface water issues, and poor drainage of the entire area is already a problem. Adding two large towers to this small neighborhood will only exacerbate these issues and adversely affect the public safety.
- **Fire Station #13** and **Public Safety** will be negatively affected as this station is already challenged by increased traffic on Sunrise. The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise and the Bridge to respond to the public's emergency medical and fire needs.

Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,




Elyse Felder
 2845 NE 9th St. Unit 504
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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- **Water and Sewer capacity** and flooding in our area is already compromised with recent broken water mains and sinkholes on NE 9th St.
- **King Tides** are also regularly flooding both NE 9th Court and NE 9th Street even with marginal rainfall. Rising sea levels, current visible surface water issues, and poor drainage of the entire area is already a problem. Adding two large towers to this small neighborhood will only exacerbate these issues and adversely affect the public safety.
- **Fire Station #13** and **Public Safety** will be negatively affected as this station is already challenged by increased traffic on Sunrise. The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise and the Bridge to respond to the public's emergency medical and fire needs.

Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Eric & Sharon Lahti
 2845 NE 9th St. Unit 501
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,

Sharon Lahti
 #501

Jerry and Rebecca Rosenbaum
 2845 NE 9th St. Unit 1204
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,

Lina Lombardo
 2845 NE 9th St. Unit 1503
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Peter and Diane Angel
 2845 NE 9th St. Unit 905
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karianne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Richard and Marianne Holmes
 2845 NE 9th St. Unit 1206
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

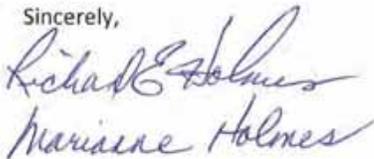
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Sincerely,



Richard E. Holmes
 Marianne Holmes

Beverly Yanowitch
 2845 NE 9th St. Unit 1504
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

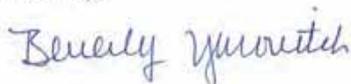
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Sincerely,



Joel Werchowsky
 2845 NE 9th St. Unit 704
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

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Sincerely,

Debra Gill
 2845 NE 9th St. Unit 605
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

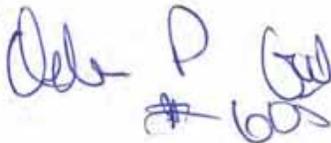
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Sincerely,



Tom Daly
 2845 NE 9th St. Unit 1606
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Dawn Doyle
 2845 NE 9th St. Unit 1604
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

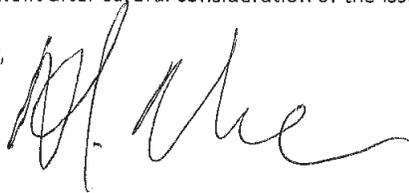
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Sincerely,



Ted Turner
 2845 NE 9th St. Unit 801
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

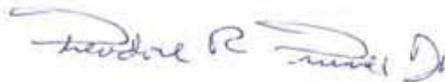
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Steve Goodman
 2845 NE 9th St. Unit 1203
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Kris Kocher
 2845 NE 9th St. Unit 802
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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- **Setback Requirements** mandated by the city code require that any building on this 80 foot wide site be no more than 40 feet tall with a 20 foot front and rear setback. (Article II, Section 47-12.5 C.d.) As such, the developer will need a waiver of this important setback requirement from the city to move forward. These setback requirements should not be taken lightly and should only be granted for the public's benefit in extenuating circumstances. They were included in the code to avoid oversized structures and to preserve green or open space where appropriate, among other things. They were not intended to be used as a mechanism for a developer's increased profits. The fact is that a 100-room hotel and a tower with 55 residences is too intensive for an 80 foot wide site.
- A **Subterranean Garage** will have a negative impact on the surrounding water table, which is already in jeopardy, and the foundation of my building which is one block away and bordered by the Intracoastal and a secondary canal.
- **Water and Sewer capacity** and flooding in our area is already compromised with recent broken water mains and sinkholes on NE 9th St.
- **King Tides** are also regularly flooding both NE 9th Court and NE 9th Street even with marginal rainfall. Rising sea levels, current visible surface water issues, and poor drainage of the entire area is already a problem. Adding two large towers to this small neighborhood will only exacerbate these issues and adversely affect the public safety.
- **Fire Station #13** and **Public Safety** will be negatively affected as this station is already challenged by increased traffic on Sunrise. The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise and the Bridge to respond to the public's emergency medical and fire needs.

Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Dave Pracker
 2845 NE 9th St. Unit 505
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Charles and Isabelle Schuette
 2845 NE 9th St. Unit 705
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Charles and Isabelle Schuette

George Mallinckrodt
 2845 NE 9th St. Unit 605
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

Dear Karlanne Grant:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Dean Amahboub
 2845 NE 9th St. Unit 1004
 Fort Lauderdale, FL 33304
 November 22, 2021

Re: Proposed Development UDP-S21031 - 2851 and 2901 NE 9th Court

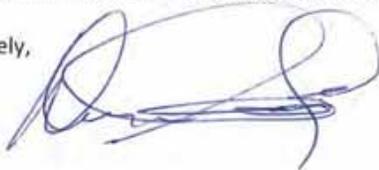
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,



Karlanne Grant

From: Victoria de la Huerga <vicdane@hotmail.com>
Sent: Saturday, November 20, 2021 4:03 PM
To: Dean Trantalis; Scott Wyman; Heather Moraitis; Robert McKinzie; Ben Sorensen; Karlanne Grant; BrdPlanningAndZoningBoard; cbaftlcom@gmail.com; mike@renuny.com; rbulger@castlegroup.com; Steven Glassman
Subject: [-EXTERNAL-] Sunrise FTL Ventures project

To all the decision makers regarding the Sunrise FTL Ventures project:

May I first ask that each of you respond with your position on this matter. I do not expect a from letter. My expectations are to receive a complete and inclusive reply to all matters addressed below. Please include all documentation to support your position.

This project is proposing to build 2 – 12 story buildings on that land on Sunrise by Birch Road.

I currently live at Le Club International located at 2845 NE 9th Street. Our building is dealing with Traffic Congestion, Gridlock, King Tides and Rising Sea Levels on 9th street. We have layers of Infrastructure challenges specifically, Sewage and Drinking Water. Setback variances compound multiple layers of safety issues. How are the current issues planned to be handled? The Sunrise FTL Ventures project adds multiple complications to the existing issues. Including safety, congestion, gridlock, flooding, and infrastructure challenges.

The traffic congestion and gridlock will be unbearable. The intercoastal bridge opens every half hour during the busy time of day. It backs up traffic in both directions onto A1A westbound and past the Mall East bound. This is coupled with the fire department operation, which is constantly stopping traffic to enter and exit the firehouse, Traffic flow from Birch Park and the Bonnet House.

The very small and limited Birch Road intersection that is already overloaded with traffic from numerous buildings in the neighborhood and cannot handle more. I have had wait for multiple green lights to get access to Sunrise and several lights to pass through to Birch from Sunrise. Weekends, peak season and holidays exacerbates the problem with beach traffic. The addition more additional traffic the Sunrise FTL Ventures project will bring and service vehicles daily flowing into the area for the hotel and condominium building will compound the congestion, enable paralyzing gridlock, and drive safety concerns to a high-risk level.

Additionally, The Developer is requesting a significant variance to decrease the setbacks currently in place (from 60 feet to 20 feet) to provide a larger footprint and height for the proposed buildings. The Developer can only construct its current plan by obtaining a variance to reduce these setbacks. This will result in less public space, including green space, as well as providing less space for sidewalks, driveways, trash removal, parking, etc. I absolutely do not want to see this variance approved by city officials!

To further build concerns, The additional traffic to the area daily will delay the fire department gaining access to Sunrise from the Fire Station located on the east side of the bridge to respond to the area residents' emergency medical and fire needs. This puts the me, my family and the public dependent on these services at great risk. Furthermore, as a pedestrian, safety concerns are at a much higher level as the Crosswalk at the corner of Birch Rd. - Sunrise Blvd. and the crosswalk across Sunrise Blvd. to Birch Park are already a safety hazard currently. Can I have the name of the person(s) who approves creating these risks so I may forward their name to my attorney if my family is put at risk?

Not to pile on but the King Tides and Rising Sea Levels are driving regular flooding on 9th Street and 9th Court. The Rising sea levels and current visible surface water issues are coupled with poor drainage of the entire area.

The area is plagued with Sewage and Drinking Water infrastructure challenges as there have been two (2) underground pipe breaks in a period of one (1) year resulting in boil water orders for our area. We were forced to drive through the Bonnet House property to bypass the damaged roadway. It's not reasonable or prudent to further burden a stressed infrastructure that cannot handle the current load. Why would a reasonable person add an additional strain on capacity? The current infrastructure for city utilities in our area is old and fragile. Adding this size of new development will only compound future problems with city services in our area.

I can not imagine someone approving a 12 story condo/hotel complex in this environment.

I kindly await your reply.

Victoria de la Huerga
2845 NE9th St
Unit 1106
Ft Lauderdale, FL 33304

Lawrence and Elyse Felder
2845 NE 9th Street # 504
Fort Lauderdale, Florida 33304

Commissioner Ms. Glassman

RE: Proposed development by Sunrise FTL Ventures.

Dear Commissioner Glassman:

I am writing to express my strong opposition to the above referenced development which will include two 12 story buildings (residential and hotel) with a 204-car subterranean garage. I am not against a redevelopment of this parcel, but this proposed plan is not acceptable for several reasons as stated below.

- **Traffic Issues/Gridlock** will negatively affect the entire neighborhood. The only ingress and egress for the project will be on NE 9th Court for a project that includes parking for 204 vehicles. This is a dead-end street that is only 1/10th of a mile. This means that a small portion of our barrier island neighborhood which already has 4 large condominium complexes, 2 resorts, and traffic for the Bonnet House will have hundreds of additional cars utilizing one small stretch of Birch Road to exit onto East Sunrise Boulevard. Increase in traffic trips on an already overstrained traffic system due to our proximity to the beach and the Sunrise Bridge will only get worse.
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Thank you for your attention to this matter. I am hopeful that you will vote no on this proposed development after careful consideration of the issues presented above.

Sincerely,

Lawrence D. Felder

Lawrence and Elyse Felder
2845 NE 9th Street # 504
Fort Lauderdale, Florida 33304

Mayor of the City of Fort Lauderdale
City Hall, 8th Floor
Fort Lauderdale, Florida 33311

RE: Proposed development by Sunrise FTL Ventures.

Dear Sirs:

As a long time, resident, homeowner, and voter in Broward County, allow this letter to serve as our objection to the proposed development by Sunrise FTL Ventures along N. Birch Road and NE 9th Court, East of the Sunrise Blvd bridge.

As you may know Sunrise FTL Ventures proposes to build two (2) twelve (12) story buildings which would face E Sunrise Blvd and be parallel to NE 9th Court. One building proposed is to contain fifty-five (55) Condominium Units and the other building proposed is a one hundred (100) room full-service hotel.

Access to both proposed buildings would be through NE 9th Court which is a small two-lane dead-end street which dead ends at Sunrise East Condominium (2800 E. Sunrise Blvd.) which is a building containing ninety-three (93) units. The only ingress and egress to that building is along the NE 9th Court. The developer's proposed condominium/hotel project would as well have ingress and egress access only along dead-end NE 9th Court. As proposed, NE 9th Court as sole access, is to accommodate both the residents of the existing 93 units of Sunrise East along with the residents of the proposed 55 condominium units (148 condominium units) as well as the transit guests and their needed transportation as needed for the proposed 100 room full-service hotel.

By the number of units proposed and the existing traffic density alone, the small two-lane dead-end street NE 9th Court cannot reasonably be expected to safely service the increase of traffic density. (See photo attached of NE 9th Court) As well, on the East side of N. Birch Road at the intersection with E. Sunrise Blvd, the Carlton Towers Condominium contains 128 units which is accessed only through N. Birch Road.

Due to the obvious increase in traffic density overload and site space requirements, the developer has related it would seek a variance from existing building and zoning requirements in order

the proposed project be allowed to proceed. The proposed variance is need due to narrow dimensions of the building site East and West along E. Sunrise Blvd between E. Sunrise Blvd and NE 9th Court. The site is presently too narrow to allow the project to be built. The developer is aware the variance sought is contrary to long standing Fort Lauderdale building requirements not only as to building set-back requirements but also necessary to comply with existing vehicle parking site requirements. To attempt compliance with the required site space requirements to build the proposed project and as well attempt to comply with both condominium and transient hotel needed site parking requirements, the developer proposes to build a subterranean parking garage. The subterranean garage beneath the proposed condominium and hotel buildings would link both structures. Access to the subterranean garage again would only be through dead-end NE 9th Court. The proposed subterranean parking garage on such a barrier island site causes much concern as it relates to the environmental impact, the stability of the structures and to a location which is already prone to flooding and sewage problems.

As not being a professional in the field, it seems obvious to me as a resident of the area the impact of the proposed project to the surrounding community would be highly detrimental to the health, safety and overall wellbeing to the existing residents and business owners. The detrimental impact would occur due to the dramatic increase in the density of the traffic along NE 9th Court as well as adversely impacting the environment due to the site location on a barrier island.

I am sure there are many other considerations which professionals in the field and City Officials would have to consider in deciding of the feasibility of the proposed project. However, as members of the various committees and governmental positions with an overriding duty which seeks to protect the health and safety of the public from potential harm, we would hope the developer be denied the necessary governmental documentation to proceed with its proposed project.

If you can be so kind, please pass this letter on to who you believe will have a part in making a decision on the subject project.

Very Truly Yours:

s/

Lawrence D. Felder

Cc/ Attached to E-Mail

From: [Mario Schiavo](#)
To: [Dean Trantalis](#); [Scott Wyman](#); [Steven Glassman](#); [Heather Moraitis](#); [Robert McKinzie](#); [Ben Sorensen](#); [Karlanne Grant](#); [BrdPlanningAndZoningBoard](#); cbafccom@gmail.com
Cc: rbulger@castlegroup.com
Subject: [-EXTERNAL-]
Date: Sunday, November 14, 2021 2:11:07 PM

Mario Schiavo
 2845 NE 9th Street, unit 901
 Fort Lauderdale, Florida

Dear Mayor Trantalis, Chief-of-Staff Wyman, Commissioners Glassmann, Moraitis, McKenzie, Sorensen, Case Planner Grant, the Planning and Zoning Board, and the Central Beach Alliance Board:

I am a homeowner and resident of Le Club Condominium. I am writing to you to express my concerns about the proposed mixed-use project by Sunrise FTL Ventures at 2884 E. Sunrise Blvd.

The surrounding neighborhood consists of:

1. three high rise condominium buildings (Le Club, Sunrise East, and the Carlton),
2. high-rise hotel (Fort Lauderdale Beach Resort),
3. low rise two building multi-unit time-share apartments,
4. low rise four building multi-unit condominium,
5. Seven-Eleven convenience store, and
6. The Bonnet House and Gardens.

All of these are serviced by Birch Road and 9th Street. **Both streets are 1 lane in each direction.** There is no additional room to widen these streets. With the many homeowners, residents, and visitors, trying to access Sunrise Boulevard from Birch Road can be challenging particularly with the Sunrise Bridge opening every 30 minutes. Weekend beach traffic exacerbates the congestion. Another traffic contributor is the many patrons to the Bonnet House, particularly when it hosts special events.

The addition of a 12 story residential building and a 12 story hotel will only cause the congestion to increase. Besides the residents of the proposed condo building, there will be a constant flow of daily delivery trucks, trash trucks, shuttle vans, taxi cabs, and Uber drivers to the hotel. Where will these vehicles go? The Birch Road intersection is already overloaded, the street connection is too narrow, and does not provide enough room for delivery vehicles, other traffic, or pedestrians.

The developer has requested a variance to decrease the setback from 60 feet to 20 feet in order to provide a larger footprint to accommodate the proposed buildings. This represents a decrease to the setback by approximately 70 percent. This factor alone is an obvious indication that the proposed project is too large for the small parcel of land.

Also, both structures will add significant stress to the water and sewer infrastructure currently in place. In the past year, there have been multiple water main breaks and floods on 9th street. These breaks resulted in boil water orders for the neighborhood. This is appalling! How can the current infrastructure process a huge increase in demand?

I understand the city supports new development and the additional tax revenue it provides. I support smart development too. New development should provide additional benefits to a neighborhood. Good development should enhance the living experience and ambiance in the neighborhood. This project does nothing to benefit the neighborhood. It will only add gridlock to an already congested area.

Please to do the right thing for the homeowners, residents, and the neighborhood!

Respectfully,

Mario Schiavo

From: [Lauren Anderson](#)
To: [Karlanne Grant](#)
Subject: [-EXTERNAL-] Concerned Citizen regarding Sunrise Blvd FTL Ventures Project
Date: Saturday, November 13, 2021 9:15:26 AM

Hello,

I am writing about the project proposed to be constructed by Integra Investments and Flying Point Holdings at 2884 E Sunrise Blvd in Ft Lauderdale. The proposal envisions a mixed-use project comprising a 55-unit condo tower, a 100-room hotel adjacent thereto, restaurant facilities, and shared parking beneath the two 12-story structures.

Setback-Variance

I wish to express my serious concern about allowing this project to go forward. Without a feat of magic, a mammoth 242,500-square foot project such as the one proposed cannot reasonably be wedged into a sliver of land as tiny as the site the Developers purchased. They clearly know this and are hoping to procure that magic from the City of Ft Lauderdale in the form of an egregious and unreasonable setback variance. The City granting such a variance would seriously reduce green space, and space accessible to the public, and would impact the normal flow of services to neighboring buildings and to the project itself. In my view, the City should reject such a variance.

Gridlock

It is not only the project itself that is of concern, but it is also access to the towers, hotel, and restaurants envisioned in the project. It is no surprise to any of us that Sunrise Boulevard is one of the busiest thoroughfares in Ft Lauderdale. Traffic on the east side of the Intracoastal Waterway, where its flow from the Intracoastal bridge to A1A is impeded and excessively clustered by the closings-and-openings of the bridge every half hour, is severe and often intractable. Cars pile up for blocks. The traffic often ends up at a dead stop that extends well beyond the entire length of the proposed project. Moreover, it is usually difficult to pass through, and especially to turn at, the intersection of E. Sunrise Blvd and N. Birch Rd., exactly where access is proposed for the vast flow of people attempting to enter the hotel, condo, restaurants, bus stop (which is in the wrong place...it should be further east on Sunrise Blvd) and subterranean parking lots associated with this project.

There will be, and already is a very high level of frustration of those putative residents, hotel guests, restaurant patrons, and service-vehicle drivers seeking to negotiate the gridlock on Sunrise, and then having to try to squeeze their way through the traffic light at that intersection to round the corner at the 7-11, and then having to negotiate the narrow lane known as NE 9th Ct that is the entrance to the project. Of course, there are also the existing residents in the neighborhood, like myself at LeClub, who already find access difficult and sporadic because of the jammed traffic situation. It is also necessary to consider how to accommodate access for fire trucks, emergency vehicles, and ambulances, to say nothing of pedestrians. Allowing this project to go forward would lead to gridlock galore.

As you may know, the fire house is going to be rebuild starting in January of 2022 and will not be completed until the first quarter of 2023. Have two massive development projects at the same time and across of each other on a major street like Sunrise Blvd. is unfathomable.

Pipe Rupture or King Tides?

The infrastructure in our neighborhood has been under severe stress for quite some time. In the past year alone, there have been two underground pipe ruptures on NE 9th St that have impeded access to, and egress from, our homes and Bonnet House, and have damaged our cars. Those events resulted not only in loss of water to the surrounding residences (including mine), but also to boil-water restrictions that followed the breaks. Moreover, there are the King Tides that have been increasingly flooding NE 9th St. & NE 9th Ct, which provides the only access to, and egress from, the proposed project. I think is this flooding event a result of King Tides or of yet another underground pipe rupture. The existing infrastructure would be gravely strained by the added burden of a project as enormous as this. We cannot afford the catastrophic breakdown to which this project could well lead.

In my opinion, and that I my neighbors at Le Club and the surrounding buildings this proposed project by Sunrise FTL ventures should not be sited on the thin and delicate slice of barrier island as the Developers propose. I therefore respectfully request that the project be disapproved by the City.

Thank you,
Lauren Anderson
2845 NE 9th Street
Suite 506
Fort Lauderdale, FL 33304
201 446 1646

Lauren Anderson
Lauren Anderson Associates, Inc
2845 NE 9TH STREET
Suite 606
Fort Lauderdale, FL 33304

Telephone 954 566 1931
Mobile 201 446 1646

Website www.LaurenAnderson.com
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Books "MO" and "Jumpstart Your Customer Service"

Karlanne Grant

From: tony donofrio <tonydon@hotmail.com>
Sent: Saturday, November 13, 2021 8:55 AM
To: Dean Trantalis; Scott Wyman; Scott Wyman; Heather Moraitis; Robert McKinzie; Ben Sorensen; Karlanne Grant; cbaftlcom@gmail.com; BrdPlanningAndZoningBoard
Cc: tony donofrio; Renee Bulger; mike@renuny.com
Subject: [-EXTERNAL-] Sunrise FTL Ventures project

To the attention of:

Mayor Dean Trantalis: dtrantalis@fortlauderdale.gov
Scott Wyman, Chief of Staff to the Mayor: swyman@fortlauderdale.gov
Commissioner Steve Glassman: swyman@fortlauderdale.gov
Commissioner Heather Moraitis: hmoraitis@fortlauderdale.gov
Commissioner Robert McKinzie: rmckinzie@fortlauderdale.gov
Commissioner Ben Sorensen: bsorensen@fortlauderdale.gov

City of Fort Lauderdale | Urban Design and Planning:

Karlanne Grant, Case Planner: kgrant@fortlauderdale.gov

Planning and Zoning

Board: PlanningAndZoningBoard@fortlauderdale.gov

Central Beach Alliance Board: cbaftlcom@gmail.com

From:

Anthony Donofrio PhD

2845 NE 9th street. #1105
Fort Lauderdale ,FL 33304

To all addressed above,

I am writing in relation to the Sunrise FTL Ventures project which is proposing to build 2 – 12 story buildings on that land on Sunrise near Birch road.

I currently live in the Le Club condo complex which is already dealing with Traffic Congestion, Gridlock, King Tides and Rising Sea Levels on 9th street, and layers of

Infrastructure challenges specifically, Sewage and Drinking Water. Setback variances compound multiple layers of safety issues.

Let me address the traffic congestion and gridlock. The intercoastal bridge opens every half hour during the busy time of day. It backs up traffic on to A1A westbound and the Mall East bound. This is coupled with the fire department operation, which is constantly stopping traffic to enter and exit the firehouse, Traffic flow from Birch park and the Bonnet House. The very small and limited Birch Road intersection that is already overloaded with traffic from numerous buildings in the neighborhood, including LeClub. I have had 2 wait for 2 green lights to get access to Sunrise. Weekends exacerbates the problem with beach traffic. The addition of hundreds of cars and service vehicles daily flowing into the area for the hotel and condominium building will compound the congestion, provide for paralyzing gridlock, and drive safety concerns to a new level.

Additionally, The Developer is requesting a significant variance to decrease the setbacks currently in place (from 60 feet to 20 feet) to provide a larger footprint and height for the proposed buildings. The Developer can only construct its current plan by obtaining a variance to reduce these setbacks. This will result in less public space, including green space, as well as providing less space for sidewalks, driveways, trash removal, parking, etc. I absolutely do not want to see this variance approved by city officials!

To further build concerns, The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise from the Fire Station located on the east side of the bridge to respond to the area residents' emergency medical and fire needs. This puts the me, my family and the public dependent on these services at great risk. Furthermore, as a pedestrian, safety concerns are at a much higher level as the Crosswalk at the corner of Birch Rd. - Sunrise Blvd. and the crosswalk across Sunrise Blvd. to Birch Park are already a safety hazard currently. Can I have the name(s) of the person(s) who approves creating these risks? These individuals should be subject to liability for any safety hazards created. Additionally, the King Tides and Rising Sea Levels are driving regular flooding on 9th Street and 9th Court. The Rising sea levels and current visible surface water issues are coupled with poor drainage of the entire area.

The area is plagued with Sewage and Drinking Water infrastructure challenges as there have been two (2) underground pipe breaks in a period of one (1) year resulting in boil water orders for our area. We were forced to drive through the Bonnet House property to bypass the damaged roadway. It's not reasonable or prudent to further burden a stressed infrastructure that cannot handle the current load. Why would a reasonable person add an additional strain on capacity? The current infrastructure for city utilities in our area is old and fragile. Adding this size of new development will only compound future problems with city services in our area.

I cannot imagine someone approving a 12 story condo/hotel complex with layers of safety, gridlock and infrastructure concerns.

Awaiting your rapid reply,

Anthony Donofrio 201-602-4972

Best Regards,

Tony Donofrio PhD
201 602 4972

From: [Isabelle Schuette](#)
To: [Dean Trantalis](#); [Scott Wyman](#); [Steven Glassman](#); [Heather Moraitis](#); [Robert McKinzie](#); [Ben Sorensen](#); [Karlanne Grant](#); [BrdPlanningAndZoningBoard](#); cbafitcom@gmail.com
Subject: [-EXTERNAL-] Proposed New Development - Ocean Park Hotel and Residences
Date: Friday, November 12, 2021 2:48:30 PM

I live at Le Club International Condominium on NE 9th St. I was forwarded a copy of Bev Yanowitch's email to all of you regarding this proposed development on East Sunrise Blvd.

I am in total agreement with all that Bev set out in her well articulated letter in opposition to this development. Our neighborhood has been exhibiting signs of stress in flooding, traffic, noise and safety issues.

I encourage you to make a thorough investigation and be diligent in your efforts before any decision is made regarding this proposed project. PLEASE do not send the residents in this neighborhood into a crisis made solely for the purpose of filling the coffers of local government.

Regards,

Isabelle Schuette
Le Club International Condominium
2845 NE 9th St., #705
Fort Lauderdale FL 33304
954-565-1002

From: [Lauren Anderson](#)
To: [Karlanna Grant](#)
Subject: [-EXTERNAL-] From Concerned citizens regarding Sunrise Blvd FTL Ventures Development Project
Date: Tuesday, November 9, 2021 8:43:16 AM
Attachments: [IMG_8832.jpg](#)
[IMG_8830.jpg](#)
[IMG_8842.jpg](#)
[IMG_8836.jpg](#)
[IMG_8834.jpg](#)
[IMG_8866.jpg](#)
[IMG_8924.JPG](#)
[IMG_8841.jpg](#)
[IMG_8918.JPG](#)
[IMG_8845.jpg](#)

November 9, 2021

Hello,

I am a resident at Le Club International Condominium Complex and have for 6 years. We have lived in Fort Lauderdale for 40+ years in several homes and have been taxpayers for that long too. What we are seeing happen to this once fabulous town is hard to take. The over building and the amount of people this over building is attracting is denigrating our once fabulous and special town. I see it as a money grab relating to more tax money to continue to over build. Shame on our city leaders!

Today I am writing regarding the Sunrise FTL Ventures project which is proposing to build 2 – 12 story buildings on that land on Sunrise near Birch road.

Le Club condominium complex is already dealing with traffic congestion, dangerous intersections for autos and pedestrians, gridlock, king tides and rising sea levels on 9th street, and layers of Infrastructure challenges specifically, sewage and drinking water. Setback variances compound multiple layers of safety issues and MORE.

Addressing the traffic congestion and gridlock.... The intercoastal bridge opens every half hour during the busy time of day. It backs up traffic on to A1A westbound and the Mall East bound. This is coupled with the fire department at that same intersection, which is constantly stopping traffic to enter and exit the firehouse, traffic flow from Birch Park and the Bonnet House. The very small and limited Birch Road intersection that is already overloaded with traffic from numerous buildings in the neighborhood, including LeClub, not to mention the many pedestrians crossing to go to the beach, go to the mall or the 7-11 store. Often cars wanting to go east or west at this corner to go East or West have to wait through 2 light cycles to get access to Sunrise Blvd. Weekends exacerbate the problem with beach traffic, etc. The addition of hundreds of cars and service vehicles daily flowing into the area for the hotel and condominium building will compound the congestion, provide for paralyzing gridlock, and drive safety concerns to a new level.

The Developer is requesting a significant variance to decrease the setbacks currently in place (from 60 feet to 20 feet) to provide a larger footprint and height for the proposed buildings. The Developer can only construct its current plan by obtaining a variance to reduce these setbacks. This will result in less public space, including green space, as well as providing less space for sidewalks, driveways, trash removal, parking, etc. For these reasons and many not mentioned, this variance cannot be approved by city officials. It must be stopped!

The addition of hundreds of cars and service vehicles to the area daily will delay the fire department gaining access to Sunrise from the Fire Station located on the east side of the bridge

to respond to the area residents' emergency medical and fire needs. This puts all of us tax paying residents (full time resident, by the way) and the public dependent on these services at great risk of safety. As a pedestrian myself, very often, safety concerns are at a much higher level at the crosswalk at the corner of Birch Rd. and Sunrise Blvd. and the crosswalk across Sunrise Blvd. to Birch Park are already safety hazards. As a tax paying, upstanding citizen of Fort Lauderdale, I would like to have the name(s) of the person(s) who approves creating these risks? These individuals should be subject to liability for any safety hazards created. I am asking for common sense and responsibility to the citizenry here.

The king tides and rising sea levels are driving regular flooding on 9th Street and 9th Court. The rising sea levels and current visible surface water issues are coupled with poor drainage of the entire area. See photos attached of a pipe break problem. And this is just from one episode. This, breakage and flooding happens dozens of times a year!

The area is plagued with sewage and drinking water infrastructure challenges as there have been two (2) underground pipe breaks in a period of one (1) year resulting in boil water orders for our area. We were then forced to drive through the Bonnet House property to bypass the damaged roadway. It's not reasonable or prudent to further burden a stressed infrastructure that CANNOT handle the current load. Why would a reasonable person add an additional strain on capacity? The current infrastructure for city utilities in our area is old and fragile. Adding this size of new development will only compound future problems with city services in our area.

The approval of a 12 story condo/hotel complex with layers of safety, gridlock and infrastructure concerns, is simple reckless and unconscionable.

I expect a response to these concerns by not approving this project.

Thank you very much,

Lauren and Scott Penley
 2845 NE 9th Street
 Suite 606
 Fort Lauderdale, FL 33304

Lauren Anderson
 Lauren Anderson Associates, Inc
 2845 NE 9TH STREET
 Suite 606
 Fort Lauderdale, FL 33304

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<http://www.linkedin.com/pub/lauren-anderson/7/9b4/430/>



CASE: UDP-S21031
PZB Exhibit 7
Page 58 of 60

Karlanne Grant

From: xavim@comcast.net
Sent: Saturday, November 6, 2021 9:29 AM
To: Karlanne Grant; BrdPlanningAndZoningBoard; cbaftlcom@gmail.com
Cc: Dean Amahboub; Renee Bulger
Subject: [-EXTERNAL-] Fwd: Oppose development between Sunrise Blvd and NE 9th Court

City of Fort Lauderdale Urban Design and Planning;
 City of Fort Lauderdale Planning and Zoning Board;
 Central Beach Alliance Board.

Please see below our message to the Mayor and City Commissioners opposing the development proposed by Sunrise FTL Ventures for the parcel of land between Sunrise Blvd and NE 9th Ct. Thank you.

Javier Miyares & Dean Amahboub
 2845 NE 9th St #1004
 Fort Lauderdale, FL 33304

----- Original Message -----

From: "xavim@comcast.net" <xavim@comcast.net>
 To: "dtrantalis@fortlauderdale.gov" <dtrantalis@fortlauderdale.gov>, "sglassman@fortlauderdale.gov" <sglassman@fortlauderdale.gov>, "hmoraitis@fortlauderdale.gov" <hmoraitis@fortlauderdale.gov>, "rmckinzie@fortlauderdale.gov" <rmckinzie@fortlauderdale.gov>, "bsorensen@fortlauderdale.gov" <bsorensen@fortlauderdale.gov>
 Cc: "swyman@fortlauderdale.gov" <swyman@fortlauderdale.gov>, Dean Amahboub <dean1908@comcast.net>, Renee Bulger <rbulger@castlegroup.com>
 Date: 11/05/2021 11:57 AM
 Subject: Oppose development between Sunrise Blvd and NE 9th Court

Dear Mayor Trantalis and Commissioners Glassman, Moraitis, McKinzie, and Sorensen:

We are owners and residents of Le Club (Unit #1004), a condominium community located at 2845 NE 9th St., and are writing to encourage you to reject the proposal by Sunrise FTL Ventures for development of a small parcel of land between Sunrise Blvd. and NE 9th Court. The developers are proposing to build two 12 story towers with 55 residential units (west building) and a 100-room hotel east building). The buildings would be accessed via narrow NE 9th Ct.

Specifically, we are asking you to reject the developer's request to decrease the setbacks from property lines currently in place (from 60 to 20 feet) so they can achieve the larger footprint and height of the proposed buildings. Please note that our opposition is not to developing this parcel of land, rather to changing the setbacks already in place so they can build two much bigger buildings. For the following reasons, we believe that this small parcel of land can't simply support such large buildings.

1. If the setbacks are approved, our neighborhood would lose a significant amount of green space and would end up with less space for sidewalks, driveways, trash removal, etc.
2. The proposed development would add hundreds of cars and service vehicles daily and will increase traffic congestion and gridlock in our neighborhood. Please note that the small and limited Birch Road and Sunrise Blvd. intersection is already overloaded with traffic from numerous buildings (condos, resort time shares, Bonnet House), from raising and lowering of the intracoastal bridge, and from beach traffic. As it is, beach traffic already backs up on Sunrise quite often.
3. There are safety implications to the proposed development. Specifically, the daily addition of hundreds of cars and service vehicles will delay the fire department gaining access to Sunrise from the fire station located on the east side of the bridge to respond to the area residents' emergency medical and fire needs. Pedestrian safety would also be negatively impacted - as it is, the crosswalk at the corner of Birch Rd. and Sunrise Blvd. and the crosswalk across Sunrise Blvd. to Birch Park are already a safety hazard.
4. We already have increasing king tides impacting our neighborhood, which will only get worse with rising sea levels. This is compounded by the poor drainage in the area, which is already a problem when our streets flood after any significant amount of rain. The proposed development will only get a negative situation much worse.
5. The existing sewage and drinking water infrastructure is already at crisis point. We have had two underground pipe breaks in a period of one year resulting in orders to boil water. The current infrastructure for city utilities in our area is old and fragile. It cannot handle additional capacity. Adding a new development of this size will only compound future problems with city services in our area.

We respectfully ask that you not approve the set backs requested by Sunrise FTL Ventures.

Regards,

Javier Miyares & Dean Amahboub
2845 NE 9th St.
Unit 1004
Fort Lauderdale, FL. 33304
240-472-5663
xavim@comcast.net
dean1908@comcast.net